

PARKVIEW SENIORS EXPANSION

BUILDING No. 2 - 3 STOREY MULTI-UNIT SENIORS RESIDENTIAL DEVELOPMENT

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3



1 SOUTH EAST PERSPECTIVE FROM KING AVE



2 KEY PLAN

A000 COVER SHEET

CIVIL

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- SG-1 SITE GRADING PLAN
- SS1 SITE SERVICING PLAN
- ES-1 EROSION CONTROL PLAN
- SL-1 SITE LIGHTING PLAN

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- L1.1 SHRUB & PERENNIAL PLANTING PLAN
- L1.2 TREE PLANTING & PRESERVATION PLAN
- L1.3 LANDSCAPE DETAILS
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- S3 FOUNDATION PLAN
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- S7 STRUCTURAL ROOF PLAN
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- M1.2 PLUMBING GROUND FLOOR
- M1.3 PLUMBING SECOND FLOOR
- M1.4 PLUMBING THIRD FLOOR
- M1.5 PLUMBING ROOF
- M1.6 PLUMBING NOTES AND DETAILS
- M2.1 HVAC GROUND FLOOR
- M2.2 HVAC SECOD FLOOR
- M2.3 HVAC THIRD FLOOR
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- M2.5 HVAC NOTES
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- M3.2 GAS SECOND FLOOR
- M3.3 GAS THIRD FLOOR
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- E1.1 POWER GROUND FLOOR
- E1.2 POWER SECOND FLOOR
- E1.3 POWER THRID FLOOR
- E1.4 ELEC. ROOF PLAN
- E1.5 LIGHTING FIRST FLOOR
- E1.6 LIGHTING SECOND FLOOR
- E1.7 LIGHTING THIRD FLOOR
- E1.8 ELECTRICAL NOTES & DETAILS
- E1.9 ELECTRICAL NOTES & DETAILS

NAME OF PRACTICE : BARRY BRYAN ASSOCIATES
 CERTIFICATE OF PRACTICE NUMBER : 5192
 250 WATER STREET, SUITE 201
 WHITBY, ONTARIO, CANADA L1N 0G5
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NAME OF PROJECT :
 PARKVIEW SENIORS RESIDENCE

LOCATION OF PROJECT :
 153 KING STREET E, NEW CASTLE, ONTARIO

Ontario Building Code Data Matrix Part 3		OBC Reference
3.00 Building Code Version:	O.Reg. 332/12 Last Amendment: O.Reg. 79/18	
3.01 Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and Renovation Description: 3 STOREY AFFORDABLE SENIORS INDEPENDANT LIVING RESIDENTIAL APARTMENT BUILDING	[A] 1.1.2.
3.02 Major Occupancy Classification:	Occupancy: C Use: RESIDENTIAL	3.1.2.1.(1)
3.03 Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.2.7
3.04 Building Area (m ²)	Description: GROUND FLOOR Existing: - New: 995.27m ² Total: 995.27m ²	[A] 1.4.1.2.
3.05 Gross Area (m ²)	Description: GROUND FLOOR Existing: - New: 995.71m ² Total: 995.71m ² SECOND FLOOR Existing: - New: 973.42m ² Total: 973.42m ² THIRD FLOOR Existing: - New: 933.42m ² Total: 933.42m ² TOTAL=2899.55m ²	[A] 1.4.1.2.
3.06 Mezzanine Area (m ²)	Description: NOT APPLICABLE Existing: - New: - Total: -	3.2.1.1
3.07 Building Height	3 Stores above grade 11.375 (m) Above grade N/A Stores below grade	[A] 1.4.1.2 & 3.2.1.1
3.08 High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
3.09 Number of streets/ fire fighter access:	1 street(s)	3.2.2.10 & 3.2.5
3.10 Building Classification:	3.2.2.44 Group/ Div. GROUP C, UP TO 4 STOREYS, NONCOMBUSTIBLE CONSTRUCTION	3.2.2.44.
3.11 Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> none	3.2.1.5 & 3.2.2.17
3.12 Standpipe System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required (LESS THAN 14m HIGH)	3.2.9
3.13 Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required	3.2.4
3.14 Water Service/ Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
3.15 Construction Type:	Restriction: <input type="checkbox"/> Combustible Permitted <input checked="" type="checkbox"/> Non-combustible Required Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	3.2.2.20 - 83 & 3.2.1.4
3.16 Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosives or hazardous substances <input type="checkbox"/> Post-disaster	4.1.2.1.(3) & T4.1.2.1.B
3.17 Seismic Hazard Index:	(I, Fa Sa (0.2))= 0.24 Seismic design required for Table 4.1.1.18, Items 6 to 21: (II, Fa Sa (0.2))= or = 0.35 or Post-disaster) <input type="checkbox"/> No <input type="checkbox"/> Yes	4.1.2.1.(3) & 4.1.8.18.(2)
3.18 Occupant Load:	Based On Occup. Load 1st fl: assembly w/ non A: 94m ² m ² /person 20 2 persons per sleeping room 1st fl: sleeping rooms C: 10m ² m ² /person 3 3 persons per sleeping room 1st fl: office D: 36m ² m ² /person 3 3 persons per sleeping room 1st fl: storage E: 3.125m ² m ² /person 3 3 persons per sleeping room 2nd fl: sleeping rooms C: 17m ² m ² /person 34 2 persons per sleeping room 3rd fl: sleeping rooms C: 17m ² m ² /person 34 2 persons per sleeping room Total=194	3.1.17.(2) 4.1.8.18.(2)
3.19 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: -	3.8
3.20 Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Explanation: -	3.3.1.2 & 3.3.1.19
3.21 Required Fire Resistance Ratings:	Horizontal Assembly Rating Supporting Non combustible in lieu of rating Assembly (I) <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Floors over basement 1hr 1hr <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Mezzanine 1hr 1hr <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Roof 1hr 1hr <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A	3.2.2.44.
3.22 Spatial Separation:	Wall Area Of EBF (m ²) L.D. (m) or L/H Permitted Max. % Of Openings Proposed % Of Openings FRR (Hours) Noncombustible construction Combustible construction w/ noncombustible cladding North 224 20 L/H 100% 40% 0 Hr Y - South 223 25&26 L/H 0% & 100% 31% & 40% 1 Hr N Not Applicable East 390 15&25 L/H 100% 31% & 40% 0 Hr Y - West 348 6.0 L/H 100% 31% 0 Hr Y -	3.2.3
3.23 Plumbing Fixture Requirements:	Ratio: Male/Female = 50/50 Except as noted otherwise Floor level / Area Occupant OBC Sentence Fixtures Required Fixtures Provided 1st fl: community dining room 50 max. 3.7.4.3(A) 1 unisex 1 unisex 1st fl: office 3 max. 3.7.4.7 1 unisex shared un. 3.7.4.7 1st fl: sleeping rooms 2-4 persons per suite 3.7.4.5 1 fixture/unit 1 wc per suite 3.7.4.5 2nd fl: sleeping rooms 2-4 persons per suite 3.7.4.5 1 fixture/unit 1 wc per suite 3.7.4.5 3rd fl: sleeping rooms 2-4 persons per suite 3.7.4.5 1 fixture/unit 1 wc per suite 3.7.4.5	3.7.4.3, 3.7.4.7, 3.7.4.5, 3.7.4.5, 3.7.4.5
3.24 Energy Efficiency:	Compliance Path: - Climatic Zone: 5 OBC Table: -	
3.25 Notes:	EXT WIND CALCULATION Star Wind: 52m/s per person (44 plus) Agg. wind 175mm 175mm star +80mm min. width per star Door vents at 11m min per person (190 plus) Agg. wind 184mm 118mm star +80mm min. width per fire exit door Door vents at ground floor 6.1m per person (ground floor occupant load 194pp) Agg. wind 115mm+50mm min. width per fire exit door	

NO.	ISSUES	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
2	COORDINATION SET	2019-02-13	
3	M+E COORDINATION SET	2019-02-20	
4	FOR PERMIT	2019-03-11	
5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

ARCHITECTURAL :

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STRUCTURAL:

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 CONTACT: David Biddle, P.Eng.
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MECHANICAL/ ELECTRICAL:

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CIVIL:

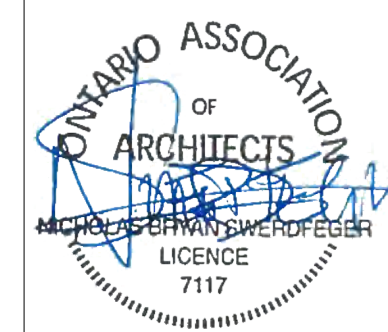
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LANDSCAPE:

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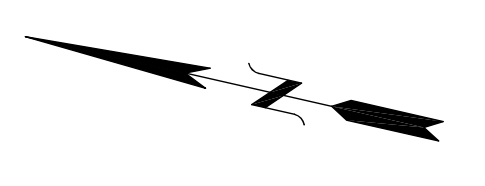
SURVEY:

Ivan B. Wallace Ontario Land Surveyor Ltd.
 T: 905-623-2205
 E: info@ibwsurveyors.com
 W: https://ibwsurveyors.com/

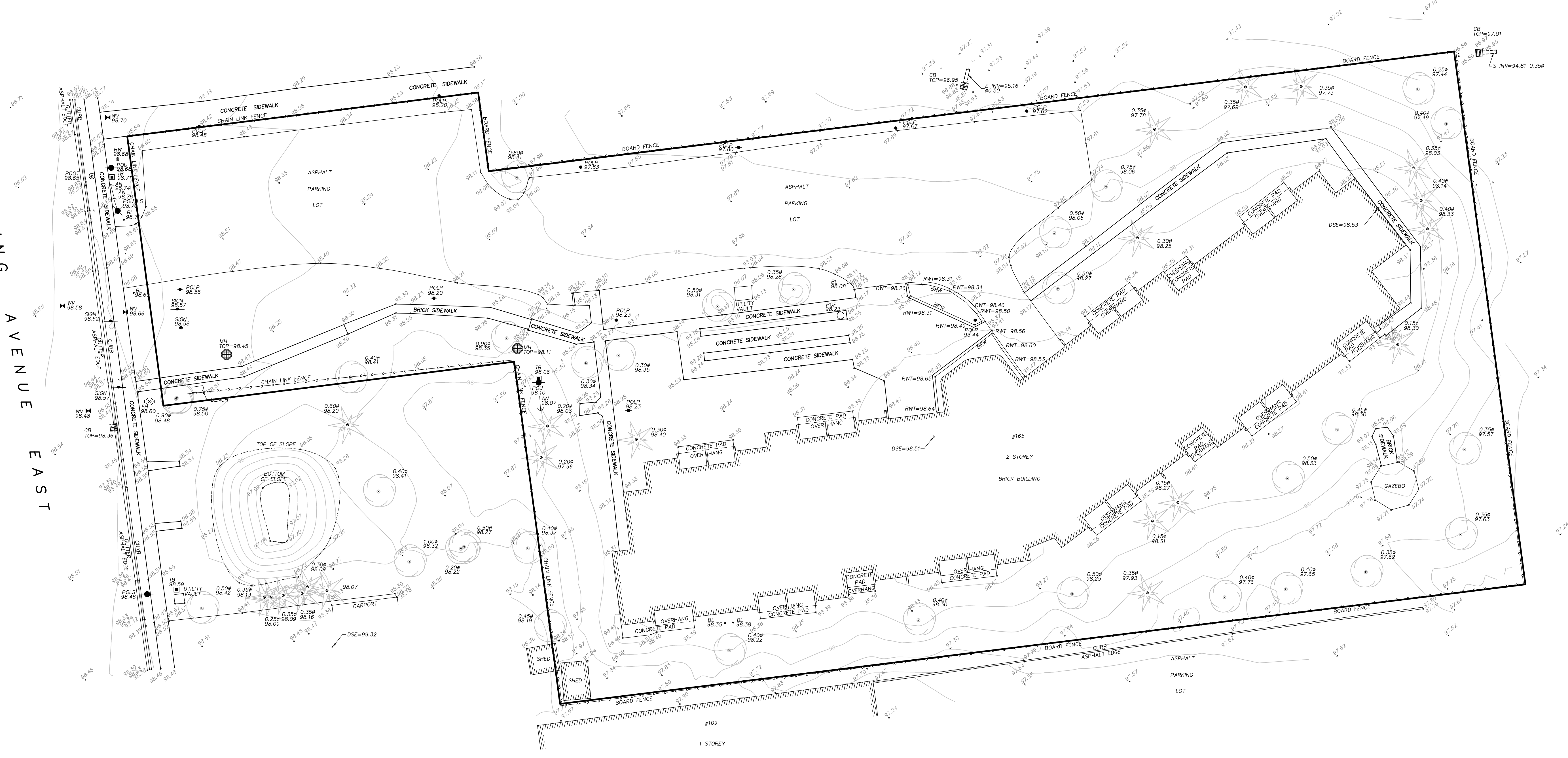


Project No. 18811

A000



KING AVENUE EAST



KEY PLAN - NOT TO SCALE
COPYRIGHT © IVAN B. WALLACE O.L.S. LTD. 2018
TOPOGRAPHIC BASE PLAN OF
165 KING AVENUE EAST
MUNICIPALITY OF CLARINGTON

SCALE 1 : 250 METRES
0 1 2 3 4 5 10 20

CAUTION
THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

COORDINATES
COORDINATE VALUES AND DIGITAL FILE ARE IN GRID SYSTEM, UTM ZONE 17N, NAD83(CSR)(2010).
COMBINED SCALE FACTOR = 1.000054

CONTOURS
CONTOURS SHOWN HEREON ARE DRAWN AT 0.20 METRE INTERVALS.

ELEVATIONS
ELEVATIONS ARE GEODETIC AND REFERRED TO BENCHMARK 32U520S AND HAVING A GEODETIC ELEVATION OF 99.229 METRES.

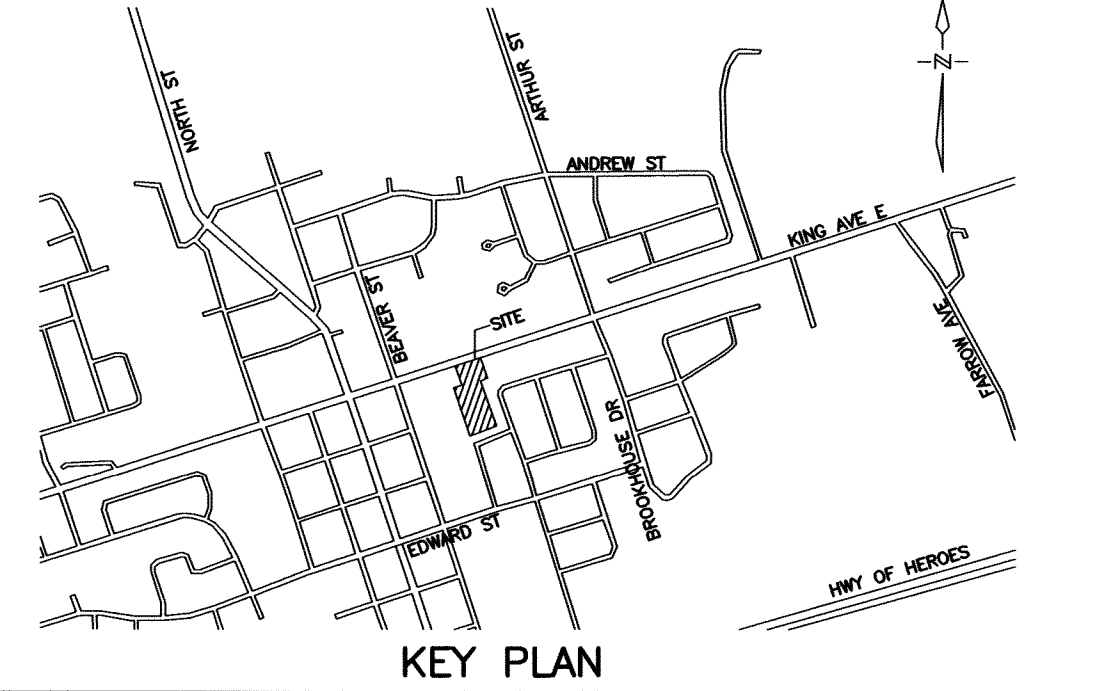
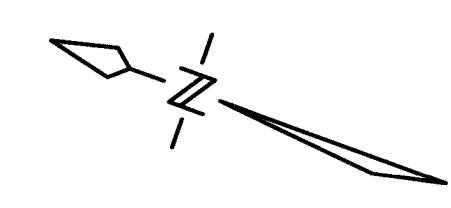
IMAGERY
AERIAL IMAGERY SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT DEPICT CURRENT FEATURES.

- LEGEND**
- DSE DENOTES DOOR SILL ELEVATION
 - HW DENOTES WATER VALVE/KEY
 - FH DENOTES FIRE HYDRANT
 - BL DENOTES BOLLARD
 - AN DENOTES ANCHOR POINT
 - POU DENOTES UTILITY POLE
 - POLS DENOTES LIGHT STANDARD
 - POLP DENOTES LIGHT POST
 - POULS DENOTES UTILITY/TRAFFIC/LIGHT STANDARD
 - POF DENOTES FLAG POLE
 - HW DENOTES HAND WELL
 - MH DENOTES MAINTENANCE HOLE ELEVATION AT CENTRE
 - CB DENOTES CATCH BASIN ELEVATION AT TOP CENTRE
 - RWT DENOTES RETAINING WALL ELEVATION AT TOP
 - BRW DENOTES BRICK RETAINING WALL
 - TB DENOTES TERMINAL BOX
 - SD DENOTES SIGN
 - CT DENOTES CONIFEROUS TREE W/TRUNK DIAMETER
 - DT DENOTES DECIDUOUS TREE W/TRUNK DIAMETER
 - SE DENOTES SPOT ELEVATION

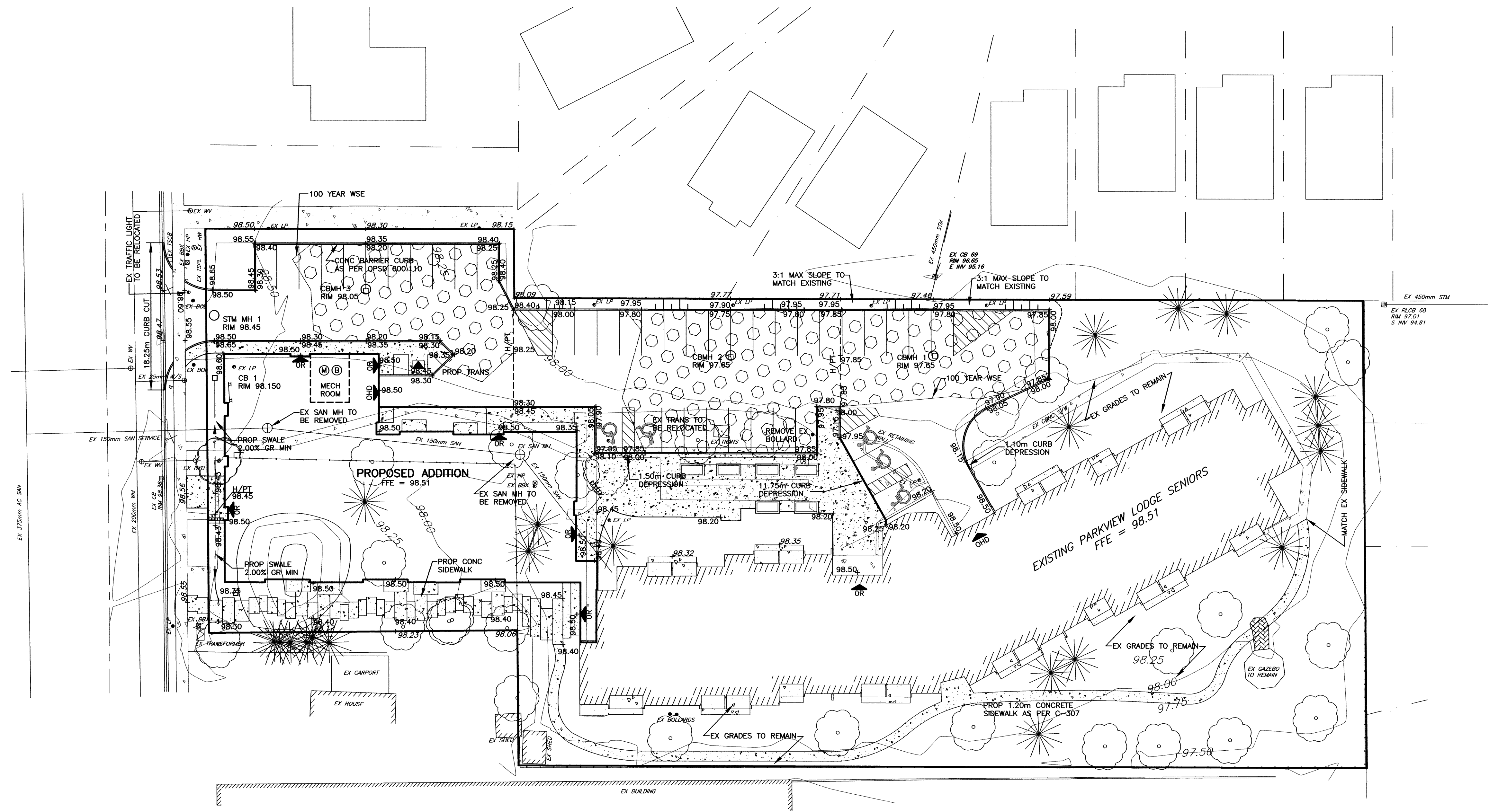


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PARTY CHIEF: JL DRAWN BY: AC CHECKED BY: * PLOT DATE: JAN 22, 2019
FILE NAME: S:\2251_Topo_v4.dwg



KING AVE E



BENCH MARK

STATION: 0011932U5205
 NEWCASTLE - COMMUNITY HALL, FRONT OR SOUTH WALL, RECTANGULAR BENCH MARK PLATE IN WATER TABLE COURSE OF STONEWORK, 1.52M EAST OF ENTRANCE.
 ELEV: 99.228

SITE GRADING NOTES

1. RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOUR PRIOR NOTICE TO THE CLARINGTON ENGINEERING SERVICES DEPARTMENT STAFF AT 905-623-3379.
2. A ROAD OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY WORK DONE IN THE MUNICIPAL ROAD ALLOWANCE. EXCAVATION OF THE ROAD SURFACE IS NOT PERMITTED BETWEEN DECEMBER 1ST AND APRIL 30TH.
3. ALL RESTORATION OR WORK DONE IN THE ROAD ALLOWANCE MUST BE COMPLETED AS PER MUNICIPAL FIELD STAFF DIRECTION.
4. THE PERFORMANCE GUARANTEE WILL NOT BE REFUNDED BY THE MUNICIPALITY OF CLARINGTON UNLESS WORKS HAVE BEEN INSPECTED BY MUNICIPAL FORCES AND DEEMED TO BE COMPLETE AND SATISFACTORY.
5. THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND SERVICES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. CONCERNED UTILITIES TO BE GIVEN ADVANCED NOTICE FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THE DRAWINGS.
6. QUANTITIES, DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
7. ALL SLOPES SHALL BE CONSTRUCTED AT 3:1 (MAXIMUM) UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. ALL SWALES SHALL BE CONSTRUCTED WITH 2% MINIMUM GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
9. ALL SLOPES, SWALES AND OPEN SPACE AREAS SHALL BE SODDED ON A MINIMUM OF 150mm OF TOPSOIL.
10. ALL DISTURBED AREAS WITHIN ADJUTING MUNICIPAL RIGHT OF WAYS SHALL BE SODDED ON A MINIMUM OF 150mm OF TOPSOIL.
11. DRIVE AISLE SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE APPROVED BY THE ENGINEER:
 - 300mm GRANULAR 'B'
 - 150mm GRANULAR 'A'
 - 50mm HLB ASPHALT
 - 40mm HLB ASPHALT
 - CURB AS PER OPSD 600.110

LEGEND

- ORIGINAL SURVEY ELEVATION 101.15
- ORIGINAL ELEVATION TO REMAIN 101.35
- PROPOSED ELEVATIONS 103.15
- PROPOSED SWALE
- DIRECTION OF DRAINAGE
- DIRECTION OF OVERLAND FLOW
- LIMIT OF PONDING

NO.	DATE	REVISION	BY
REVISIONS			

PARKVIEW SENIORS LODGE - 153 KING AVE E, NEWCASTLE

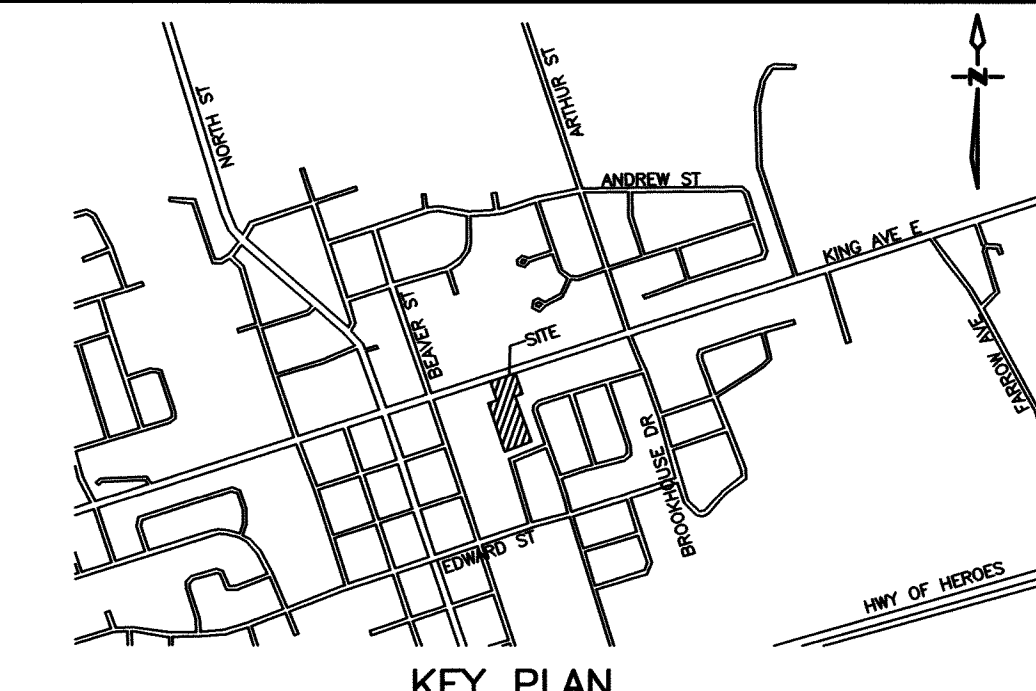
SITE GRADING PLAN

D.G. Biddle & Associates Limited
 consulting engineers and planners
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	SCALE: 1:300	PROJECT NO. 118129
	DRAWN BY: R.P.H.	DRAWING NO. SG-1
	DESIGN BY: R.P.H.	
	CHECKED BY: P.D.C.	
	DATE: JAN 2019	

EX RLCB 67
 RM 96.54
 S. INV. 94.49

\\P:\SHR\STAFF\JOB FILES\18000\18129 - P&S PARKVIEW RETIREMENT\18129 DRAWINGS\18129 DRAWINGS\18129-30-SITE PLAN.DWG 07/02/2019



BENCH MARK
 STATION: 0011932U5205
 NEWCASTLE - COMMUNITY HALL, FRONT OR
 SOUTH WALL, RECTANGULAR BENCH MARK
 PLATE IN WATER TABLE COURSE OF
 STONEMARK, 1.52M EAST OF ENTRANCE.
 ELEV: 99.228

SITE SERVICING NOTES

- RESPECTING ALL WORK IN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR IS TO PROVIDE AT LEAST 48 HOUR PRIOR NOTICE TO THE CLARINGTON ENGINEERING SERVICES DEPARTMENT STAFF AT 905-623-3379.
- A ROAD OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY WORK DONE IN THE MUNICIPAL ROAD ALLOWANCE. EXCAVATION OF THE ROAD SURFACE IS NOT PERMITTED BETWEEN DECEMBER 1ST AND APRIL 30TH.
- ALL RESTORATION OR WORK DONE IN THE ROAD ALLOWANCE MUST BE COMPLETED AS PER MUNICIPAL FIELD STAFF DIRECTION.
- THE PERFORMANCE GUARANTEE WILL NOT BE REFUNDED BY THE MUNICIPALITY OF CLARINGTON UNLESS THE WORKS HAVE BEEN INSPECTED BY MUNICIPAL FORCES AND DEEMED TO BE COMPLETE AND SATISFACTORY.
- THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND SERVICES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. CONCERNED UTILITIES TO BE GIVEN ADVANCED NOTICE FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THE DRAWINGS.
- QUANTITIES, DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
- ALL SANITARY SEWER AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM STANDARDS AND THE ONTARIO PLUMBING CODE.
 - SANITARY SEWER SERVICE PIPES, 150mm TO BE CL DR28 PVC PIPE, CL P BEDDING.
 - SANITARY MANHOLES AS PER OPSD 701.010 C/W GRATE AS PER OPSD 401.010
 - TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS.
- ALL WATER MAINS AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM STANDARDS AND THE ONTARIO PLUMBING CODE.
 - WATER MAINS SHALL BE CONSTRUCTED A MINIMUM OF 1.80m BELOW FINISHED GRADE.
 - TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS
 - 100mm & 150mm WATERMAIN TO BE DR18 PVC PIPE, CL P BEDDING
- ALL STORM SEWERS AND APPURTENANCES SHALL COMPLY WITH THE MUNICIPALITY OF CLARINGTON STANDARDS AND THE ONTARIO PLUMBING CODE.
 - STORM SEWER PIPE 450mm AND SMALLER SHALL BE DR35 PVC PIPE, CL P BEDDING
 - STORM SEWER MANHOLES AND CATCH BASIN MANHOLES SHALL BE AS PER OPSD 701.010
 - CATCH BASINS SHALL BE AS PER OPSD 705.010
 - MANHOLE GRATES SHALL BE AS PER OPSD 401.010
 - CATCH BASIN GRATES SHALL BE AS PER OPSD 400.020
 - TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH OPSD STANDARDS
 - GENERALLY, A MINIMUM OF 0.20m SHALL BE PROVIDED BETWEEN THE OUTSIDE OF PIPE BARRELS AT THE POINT OF CROSSING FOR STORM AND SANITARY SEWERS. A MINIMUM OF 0.50m SHALL BE PROVIDED BETWEEN THE OUTSIDE OF PIPE BARRELS AT THE POINT OF CROSSING FOR ALL SEWERS CROSSING WATER MAINS.
- DRIVE AISLE SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE APPROVED BY THE ENGINEER:
 - 300mm GRANULAR 'B'
 - 150mm GRANULAR 'A'
 - 50mm HL3 ASPHALT
 - 40mm HL3 ASPHALT

12. RESTORATION NOTES:
- KING AVENUE EAST TO BE RESTORED WITH THE FOLLOWING UPON INSTALLATION OF ALL SERVICE CONNECTION TRENCHES:
 - 300mm GRANULAR 'B'
 - 150mm GRANULAR 'A'
 - 50mm HL3 ASPHALT
 - 40mm HL3 ASPHALT
 - OR MATCH EXISTING
 - CURB AND GUTTER SHALL BE RESTORED AS PER C-302 OR MATCH EXISTING
 - SIDEWALK SHALL BE RESTORED AS PER C-307.
 - BOULEVARD TO BE RESTORED WITH 150mm TOPSOIL AND SOD.
 - EXISTING REAR LOT AREA AROUND EX CB 69:
 - 150mm TOPSOIL AND SOD.
 - REPLACE EXISTING FENCE IN KIND

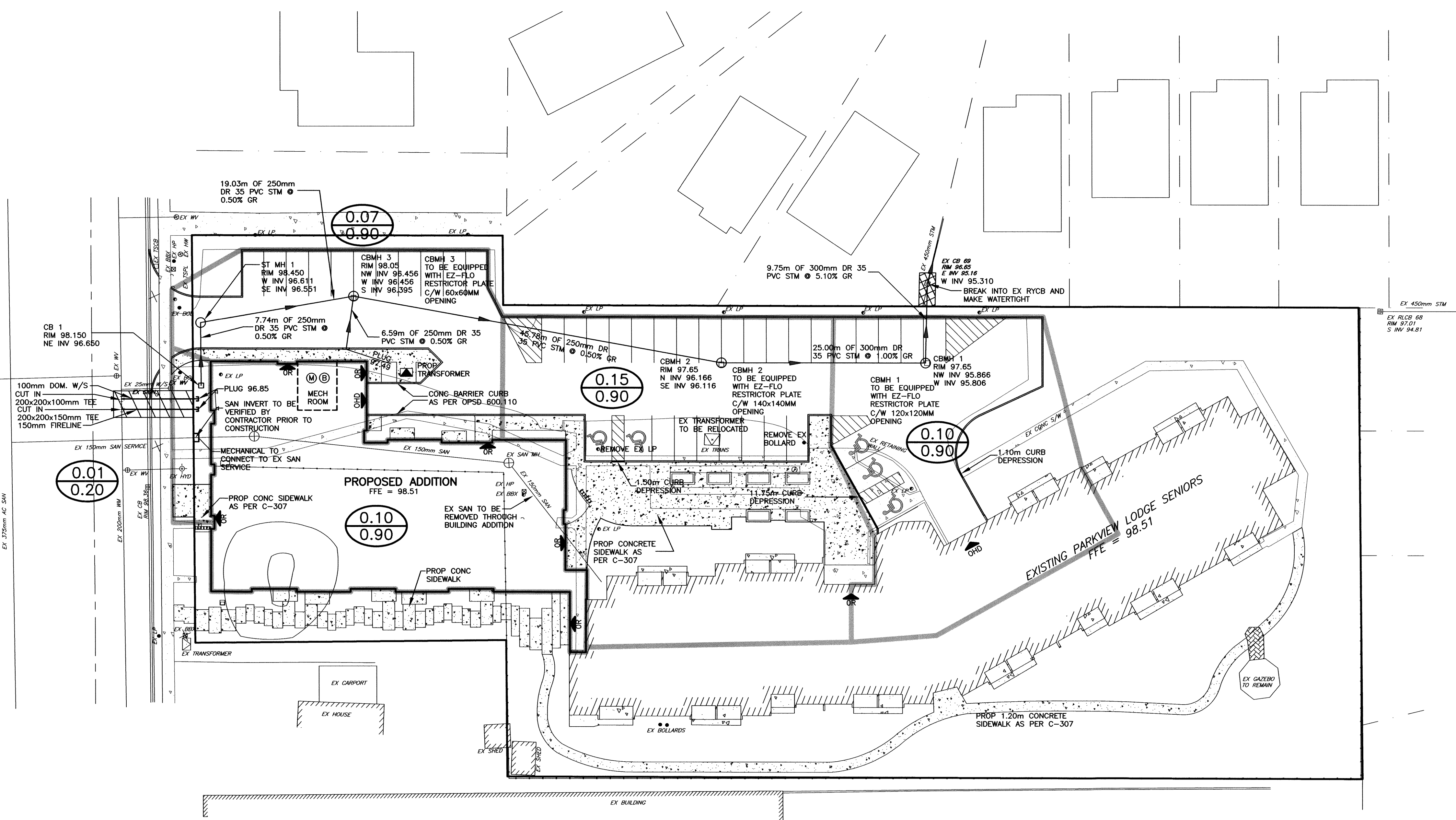
NO.	DATE	REVISION	BY
REVISIONS			
PARKVIEW SENIORS LODGE - 153 KING AVE E, NEWCASTLE			

SITE SERVICING PLAN

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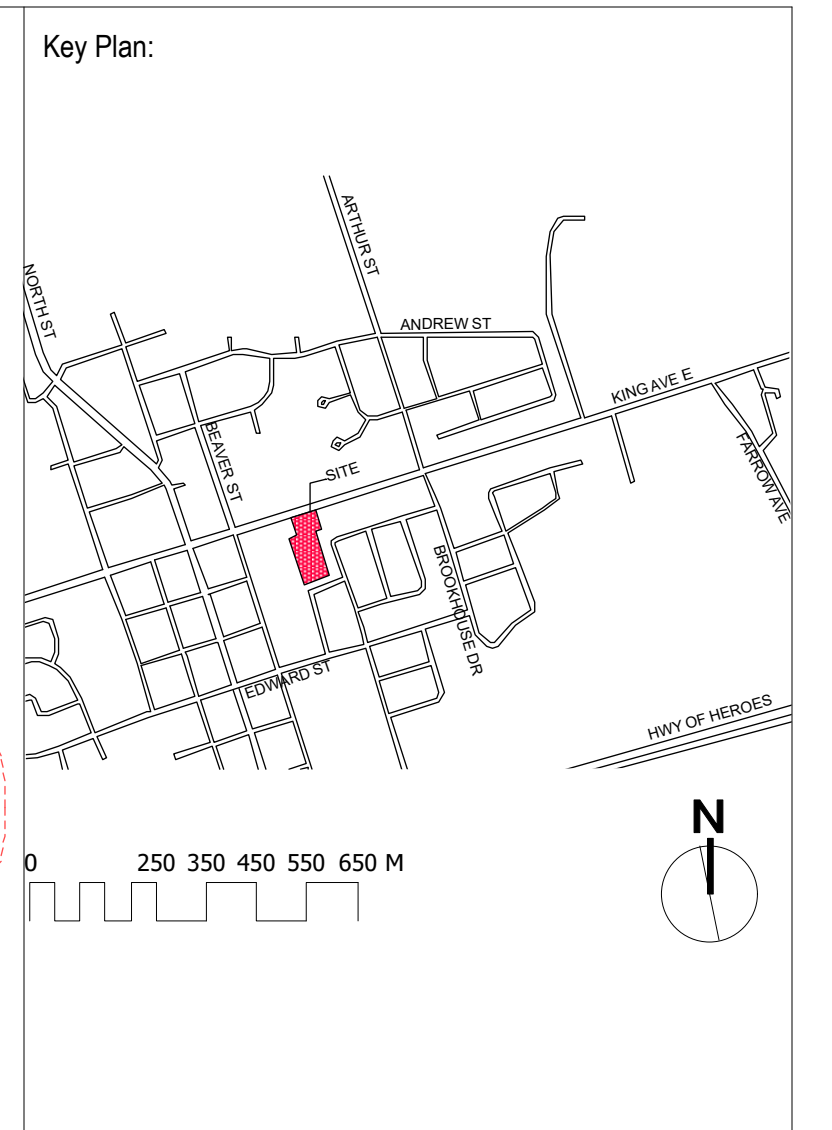
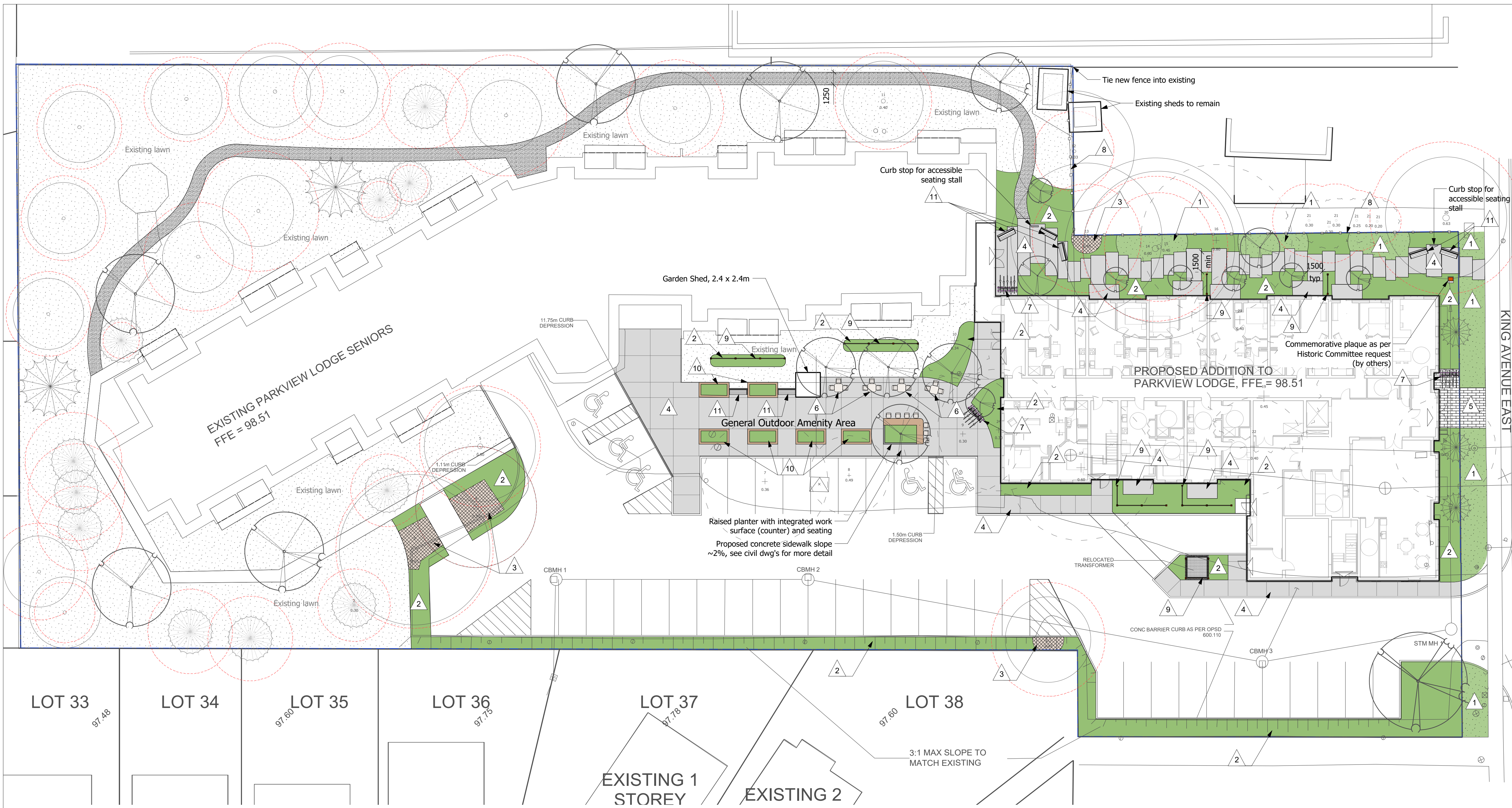
KING AVE E



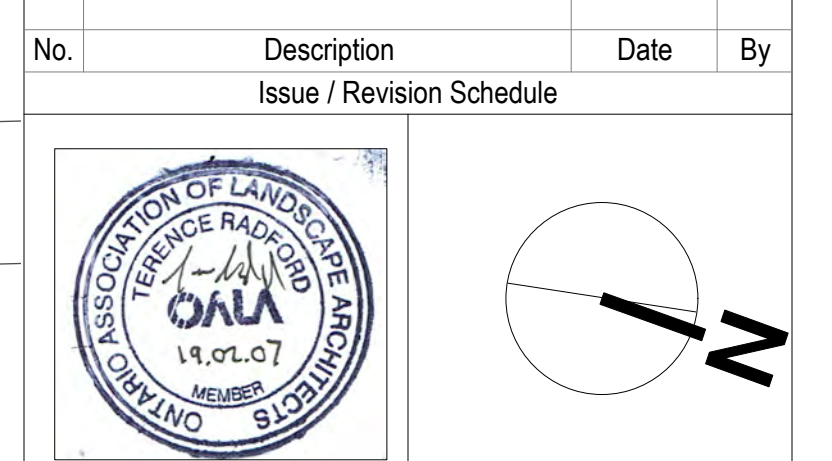
LEGEND

- DRAINAGE BOUNDARY
- DRAINAGE AREA
- RUN-OFF COEFFICIENT
- OVERLAND FLOW DIRECTION
- WATER METER LOCATION
- BACKFLOW PREVENTOR

EX R/CB 67
 RM 96.54
 S INV 94.81



No.	Description	Date	By
1	SPA	19.02.01	TR
2	#	#	#
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LANDSCAPE MATERIALS		LANDSCAPE STRUCTURES/FURNISHINGS		PLANT MATERIALS	
1	Maintained Lawn Area Seeded, type 2 growing medium, min depth 150mm. Seed with a creeping red fescue @ a rate of 4-6lbs/1000sq ft. Recommended Supplier: Pickseed, Jasper II or approved equivalent	10	Community Garden Bed Accessible raised timber planter, 3x1.5x0.75m (LxWxH).	4	Proposed Deciduous Trees- See plant list for additional details
2	Shrub and Tree Area Type 1 growing medium, min depth 450mm.	11	Bench (7 total) 1800mm length Bench, Maglin MLB-300-MH or approved equivalent	5	Proposed Coniferous Trees- See plant list for additional details
3	Tree Mulch Area Four-Season Mulch, min depth 300mm.	DBH	Existing Deciduous Trees to be removed	ID	Proposed Shrub/Perennial/Vine- See plant list for additional details
4	Cast in Place Concrete See civil dwg's for details	DBH	Existing Coniferous Trees to be removed	3	Existing Deciduous Trees to be retained
5	Concrete Unit Paving Supplier: UniLock, Style: Promenade Plank Paver, Size: 8x24, Pattern- 1/3 Unit Offset, Colour: Opal.	PRZ	Existing Coniferous Trees to be retained	2	Existing Deciduous Trees to be retained
6	Table and Chairs Tables (4) & Chairs (12)- Supplier: IKEA, Style Tunholmen or approved equivalent.	DBH	Existing Deciduous Trees to be retained	1	Existing Deciduous Trees to be retained
7	Bike Rack (3 total) 7 Bicycle Surface Mount Rack, Maglin MBR300 Series Item# MBR300-7-S	DBH	Existing Deciduous Trees to be retained	1	Existing Deciduous Trees to be retained
8	Wood Fence 1800mm height	DBH	Existing Deciduous Trees to be retained	1	Existing Deciduous Trees to be retained
9	Wood Screen 1800mm height	DBH	Existing Deciduous Trees to be retained	1	Existing Deciduous Trees to be retained

PROTECTION and PRESERVATION OF EXISTING VEGETATION
 All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully and in accordance with accepted arboricultural practices.

Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the Landscape Completion Notification Certificate from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner:
 Name of Owner:
 Address:
 Date:
 I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect:
 Name of Landscape Architect: Gina Brouwer
 Date: February 01, 2019

Client:
PARKVIEW SENIORS LODGE
 153/165 KING AVE., NEWCASTLE

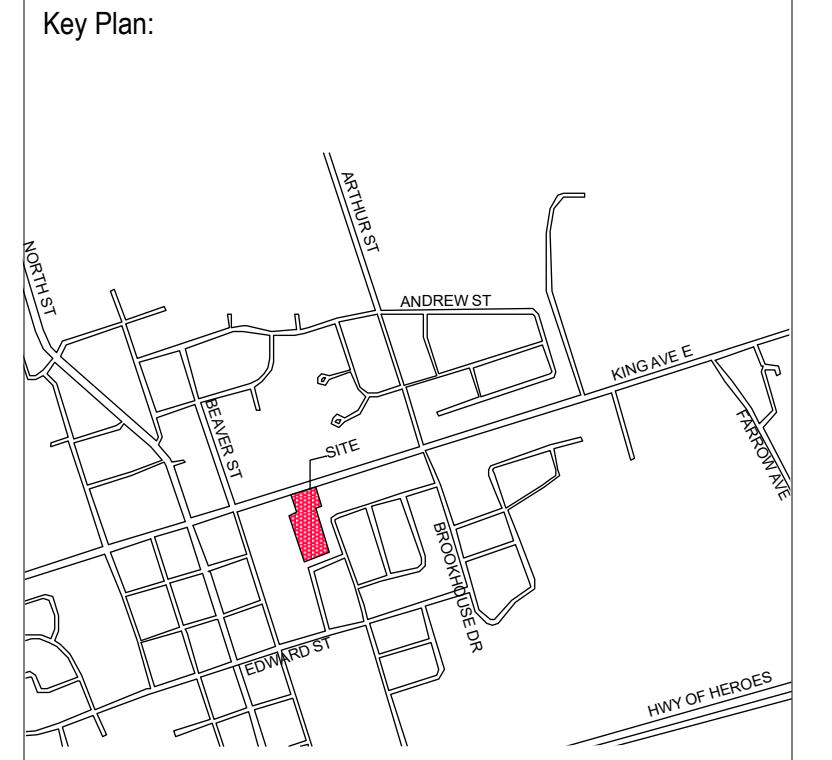
Project:
PARKVIEW SENIORS EXPANSION

Drawing Title:
Landscape Layout & Materials

Designed By: TR	Project #: PC2018-0045
Drawn By: TR	Drawing #: L 1.0
Approved By: GB	
Date: 19/01/17	

ID	Common Name	Latin Name	Scheduled Size	Quantity
SHRUBS, VINES AND PERENNIALS				
Cs	Red Osier Dogwood	Cornus sericea	50cm	13
Hse	Elegans Plantain Lily	Hosta sieboldiana 'Elegans'	15cm (#1 pot)	27
Mat	Ostrich Fern	Matteuccia struthiopteris	15cm (#1 pot)	43
Aff	Lady Fern	Athyrium filix-femina	#1 pot	31
Hak	Golden Japanese Forest Grass	Hakonechloa macra 'Aureola'	#1 pot	103
Hp	Fire and Ice Hydrangea	Hydrangea paniculata 'Fire and Ice'	#3 pot	19
CsM	Bloodwing Dogwood	Cornus sanguinea 'Mid-Winter Fire'	50cm	24
Hu	Alba-Marginata Plantain Lily	Hosta undulata 'Alba-Marginata'	15cm (#1 pot)	35
SjF	Flaming Mound Spirea	Spiraea japonica 'Flaming Mound'	50cm	27
Jc	Dwarf spreading common juniper	Juniperus communis 'Green Carpet'	30cm	33
Nxf	Catmint	Nepeta x faassenii	15cm (#1 pot)	125
HxS	Stella De Oro Dwarf Daylily	Hemerocallis x 'Stella de Oro'	#1 pot, 15cm	155
Rr	Rugosa Rose	Rosa rugosa	60cm	31
Sv	Common Lilac	Syringa vulgaris	100cm	6
Coe	Variegated Japanese Sedge	Carex oshemensis 'Evergold'	15cm (#1 pot)	33
Is	Siberian Iris	Iris sibirica	Sp4	29
Cxa	Foerster's Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	15cm (#1 pot)	109
Go	Sweet Woodruff	Galium odoratum	Sp4	14
Cam	Tall Bellflower	Campanula americana	Sp4	14
Mf	Wild bergamot	Monarda fistulosa	#1 pot	5
Ac	Nodding wild onion	Allium cernuum	11cm PT	9
Ep	Sundown Coneflower	Echinacea purpurea 'Sundown'	15cm (#1 Pot)	10
Lir	Big Blue Lilyturf	Liriope muscari 'Big Blue'	#1 pot	22
Car	Trumpet Creeper, Trumpet Vine	Campsis radicans	#2 pot	6
Hpe	Climbing Hydrangea	Hydrangea petiolaris	#1 pot	4
Mp	Northern Bayberry	Myrica pennsylvanica	50cm	3
HxF	Tawny Daylily	Hemerocallis x 'Fulva'	#1 pot	73
Hv	Witch Hazel	Hamamelis virginiana	175cm (WB)	3
TREES, REFER TO L. 2 FOR LOCATIONS				
Ov	American Hophornbeam	Ostrya virginiana	60mmCT/WB	2
Cc	American Hornbeam	Carpinus caroliniana	60mmCT/WB	1
LI	American Larch Tamarack	Larix laricina	250cm	1
Lit	Tulip Tree	Liriodendron tulipifera	70mmCT/WB	1
Ps	Eastern White Pine	Pinus strobus	200cm	1
Axf	Autumn Blaze Maple	Acer x freemanii	80mmCT/WB	1
Co	Hackberry	Celtis occidentalis	60mmCT/WB	3
Cl	Yellow-wood	Cladrastis lutea	60mmCT/WB	1
Ca	Pagoda Dogwood	Cornus alternifolia	200cm WB, Multistem	1
Pla	Exclamation Planetree	Platanus acerifolia 'Morton Circle'	80mm CT/WB	1
Tia	American Basswood	Tilia americana	80mmCT/WB	3
Alm	Allegheny Serviceberry	Amelanchier laevis	60mmCT/WB	6
Pco	Serbian Spruce	Picea omorika	250cm	3

LEGEND		
(ID DBH)	Existing Deciduous Trees to be removed	
(ID DBH)	Existing Coniferous Trees to be removed	
(PRZ)	Existing Coniferous Trees to be retained	3 (L 1.3)
(ID DBH)	Existing Deciduous Trees to be retained	3 (L 1.3)
(ID DBH)	Proposed Deciduous Trees - See plant list for additional details	1 (L 1.3)
(ID DBH)	Proposed Coniferous Trees - See plant list for additional details	1 (L 1.3)
(ID)	Proposed Shrub/Perennial/Vine - See plant list for additional details	2 (L 1.3)



No.	Description	Date	By
1	SPA	19.02.01	TR
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No. Description Date By

Issue / Revision Schedule

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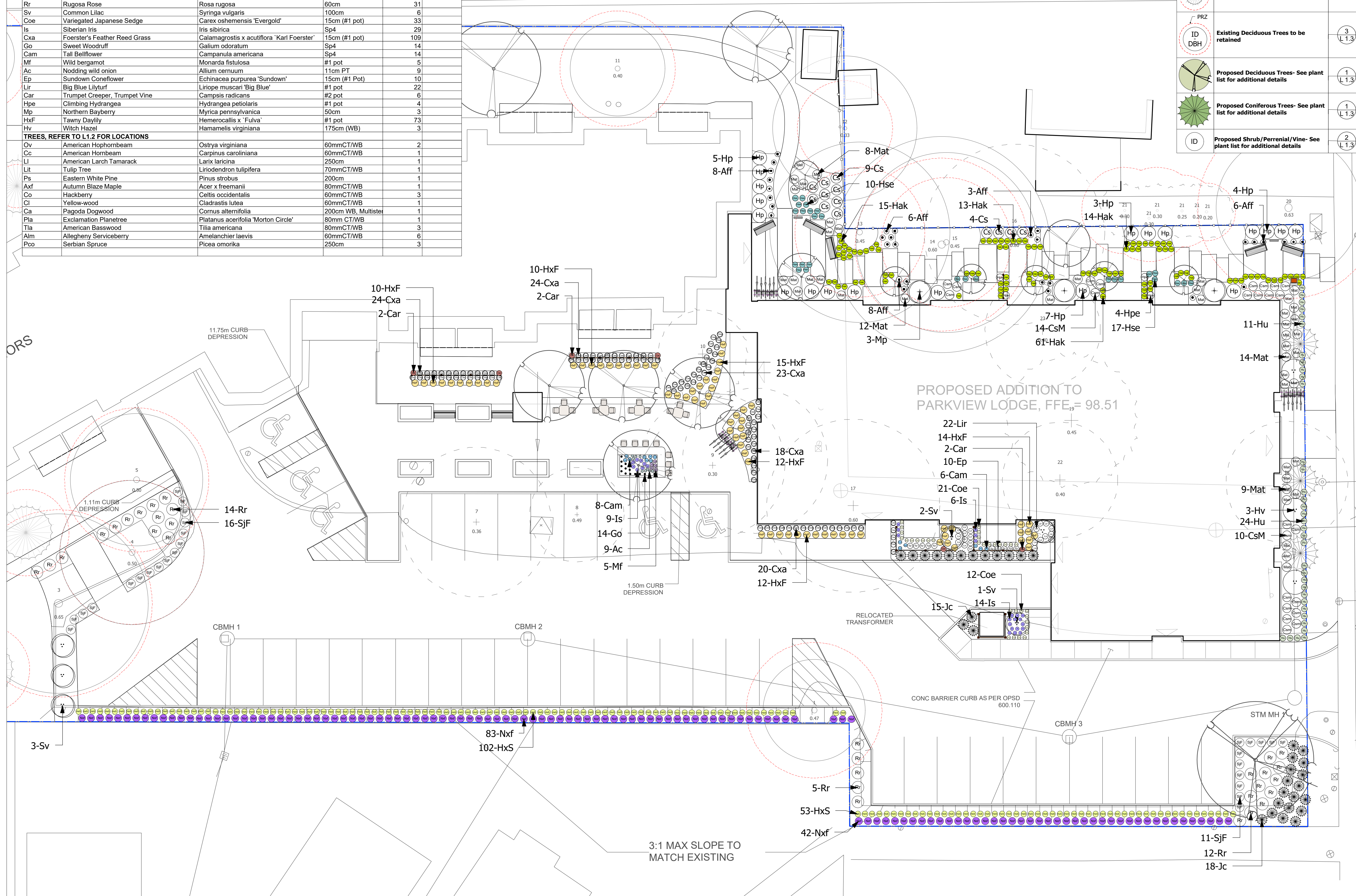
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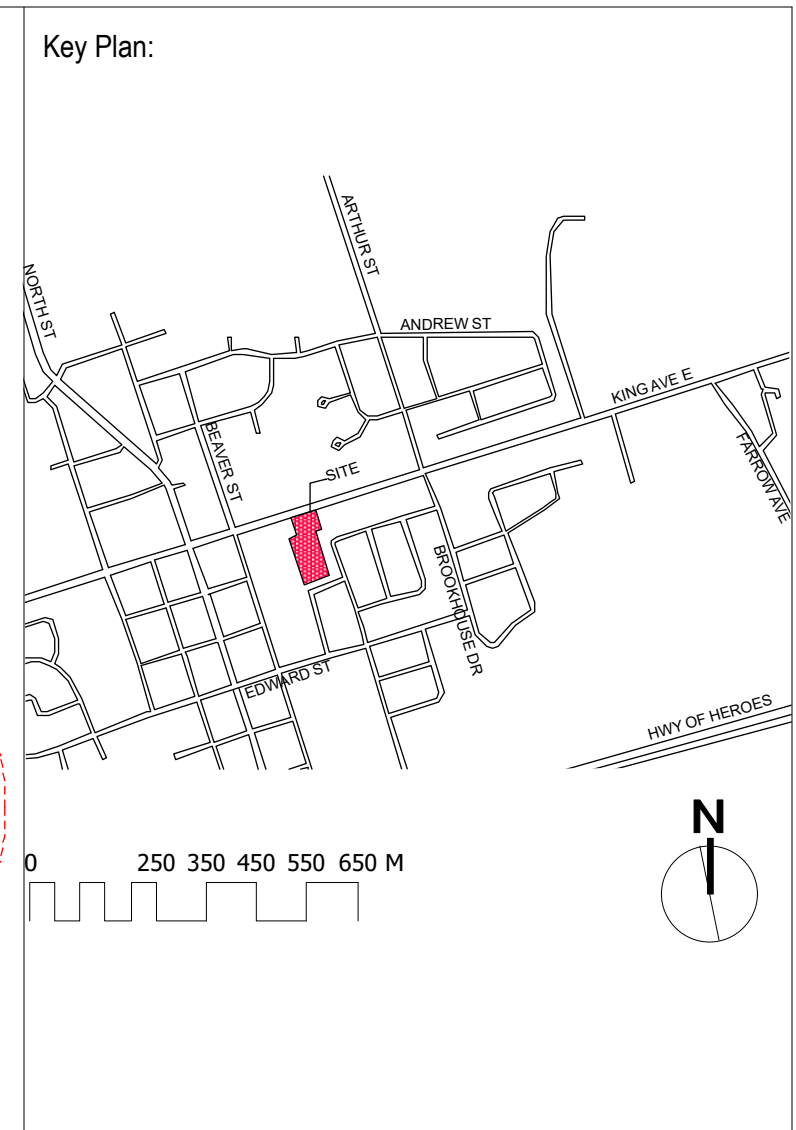
Client:
PARKVIEW SENIORS LODGE
 153/165 KING AVE., NEWCASTLE

Project:
PARKVIEW SENIORS
 EXPANSION

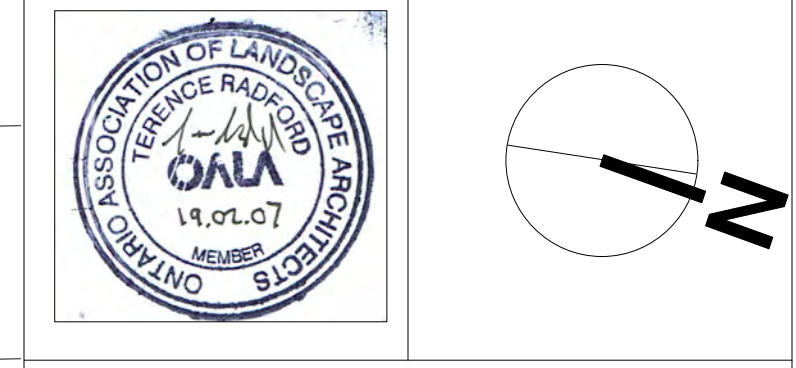
Drawing Title:
Shrub & Perennial
Planting Plan

Designed By: TR	Project #: PC2018-0045
Drawn By: TR	Drawing #: L 1.1
Approved By: GB	
Date: 19/01/17	





No.	Description	Date	By
1	SPA	19.02.01	TR
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Client:
PARKVIEW SENIORS LODGE
 153/165 KING AVE., NEWCASTLE

Project:
PARKVIEW SENIORS EXPANSION

Drawing Title:
Tree Planting & Preservation Plan

Designed By: TR | Project #: PC2018-0045
 Drawn By: TR | Drawing #:
 Approved By: GB
 Date: 19/01/17

EXISTING TREE INVENTORY*

REMOVED TREES

TREE ID #	**DBH (cm)	PRZ (cm)	SPECIES	CROWN SPREAD (m)	CONDITION	Preservation Priority	Direction
07	36	432	Acer	12	Not Identified	Low	Remove
08	49	588	Tilia	8	Not Identified	Low	Remove
09	30	360	Acer	12	Not Identified	Low	Remove
10	34	408	Abies	8	Not Identified	Low	Remove
16	80	960	Fraxinus	15	Poor	Low	Remove
17	60	720	Acer	20	Not Identified	Low	Remove
18	73	876	Catalpa	10	Not Identified	Low	Remove
19	45	540	Larix	10	Not Identified	Low	Remove
22	40	480	Not Identified	Not Identified	Not Identified	Low	Remove
23	40	480	Not Identified	Not Identified	Not Identified	Low	Remove
24	30	360	Not Identified	Not Identified	Not Identified	Low	Remove

TOTAL TREES TO BE REMOVED: 11

* Tree inventory is based on Cosburn Nauboris Ltd Tree Preservation and removal Plan (17-01-30) and IBW Surveyors Topographic Base Plan (19.01.04).

**Diameter at Breast Height' (DBH) refers to the diameter of the stem of a tree measured outside the bark at a point of 1.37m (4.5') above the highest point of the tree where the ground meets the trunk.

REPLACEMENT TREES

TREE SPECIES	CALIPER (cm)	QUANTITY
Picea omorika	250cm height	3
Platanus acerifolia	8	1
Cladastis lutea	6	1
Celtis occidentalis	6	3
Cornus alternifolia	200cm height	1
Ostrya virginiana	6	2
Carpinus caroliniana	6	1
Tilia americana	8	3
Larix laricina	250cm height	1
Liriodendron tulipifera	7	1
Pinus strobus	200cm height	1
Acer x freemanii	8	1
Amelanchier laevis	6	6

TOTAL REPLACEMENT TREES @ 2:1: 22
ADDITIONAL TREES TO BE PLANTED: 3
TOTAL NEW TREES: 25

TREES, REFER TO L1.2 FOR LOCATIONS

Code	Species	Caliper	Quantity
Ov	American Hophornbeam	60mmCT/WB	2
Cc	American Hornbeam	60mmCT/WB	1
Li	American Larch Tamarack	250cm	1
Lit	Tulip Tree	70mmCT/WB	1
Ps	Eastern White Pine	200cm	1
Axf	Autumn Blaze Maple	80mmCT/WB	1
Co	Hackberry	60mmCT/WB	3
Cl	Yellow-wood	60mmCT/WB	1
Ca	Pagoda Dogwood	200cm WB, Multistem	1
Pla	Exclamation Planetree	Platanus acerifolia 'Morton Circle'	1
Tia	American Basswood	Tilia americana	3
Alm	Allegheny Serviceberry	Amelanchier laevis	6
Pco	Serbian Spruce	Picea omorika	3

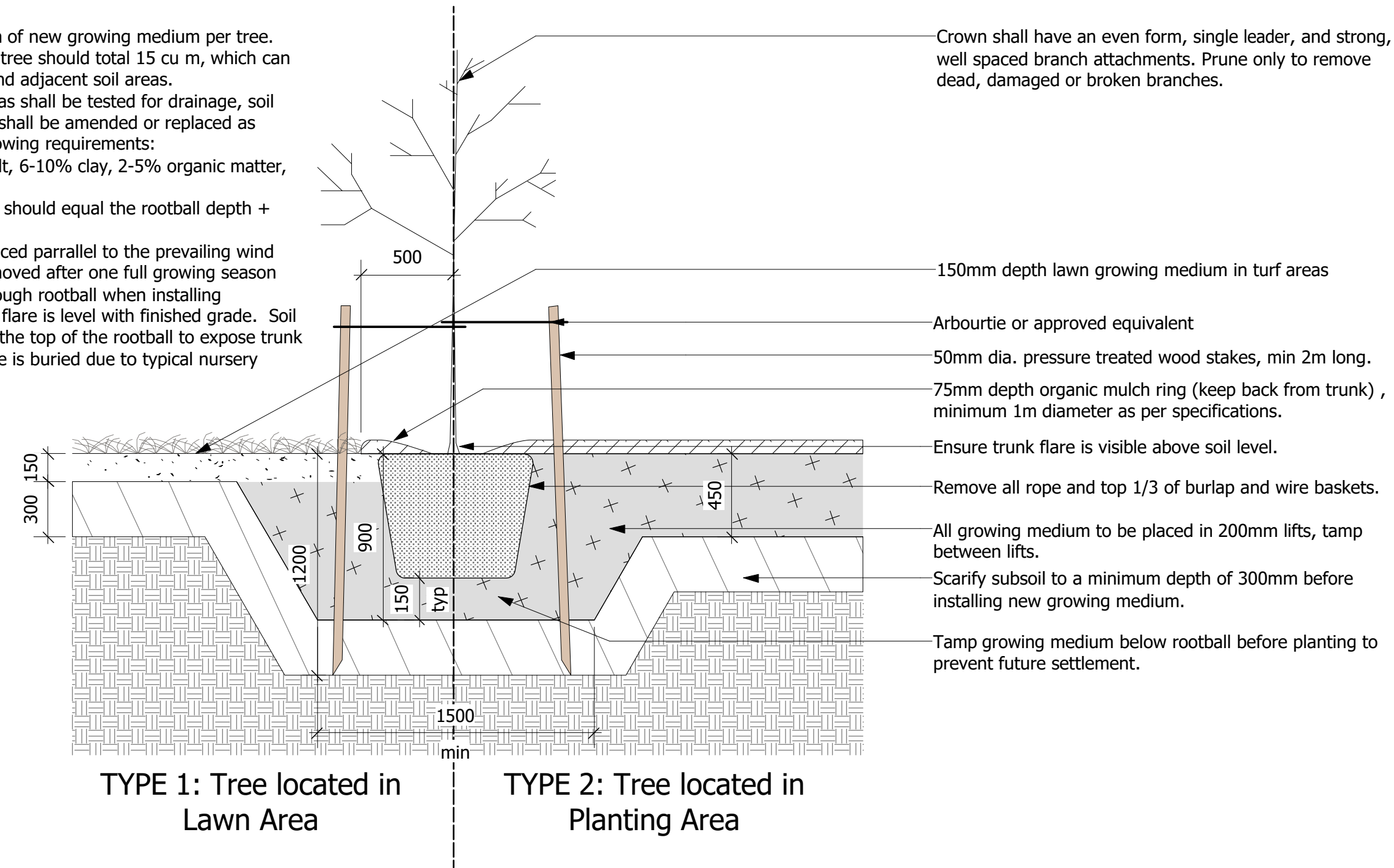
LEGEND

(ID DBH)	Existing Deciduous Trees to be removed	
(ID DBH)	Existing Coniferous Trees to be removed	
(PRZ)	Existing Coniferous Trees to be retained	(3 L 1.3)
(ID DBH)	Existing Deciduous Trees to be retained	(3 L 1.3)
(Green Circle)	Proposed Deciduous Trees- See plant list for additional details	(1 L 1.3)
(Green Starburst)	Proposed Coniferous Trees- See plant list for additional details	(1 L 1.3)

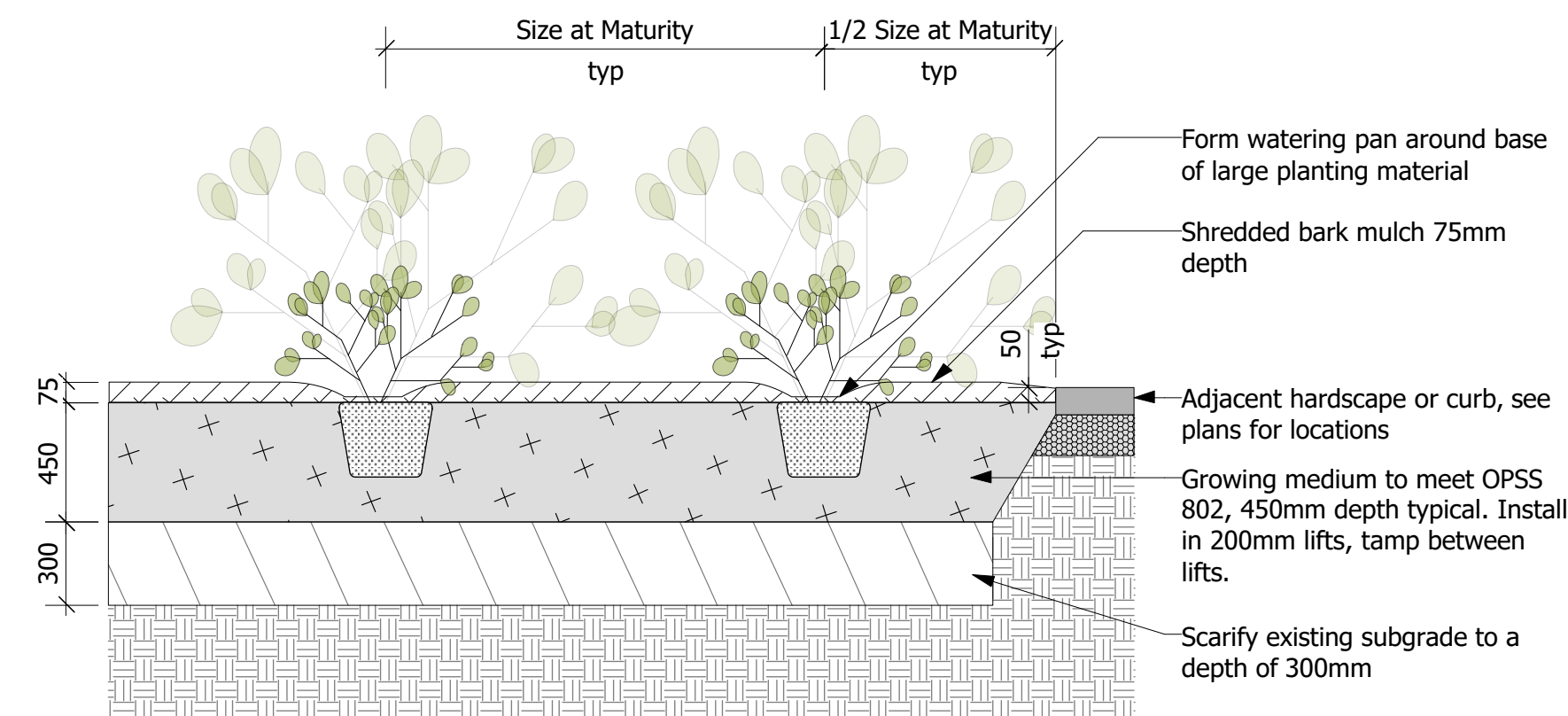
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General Notes

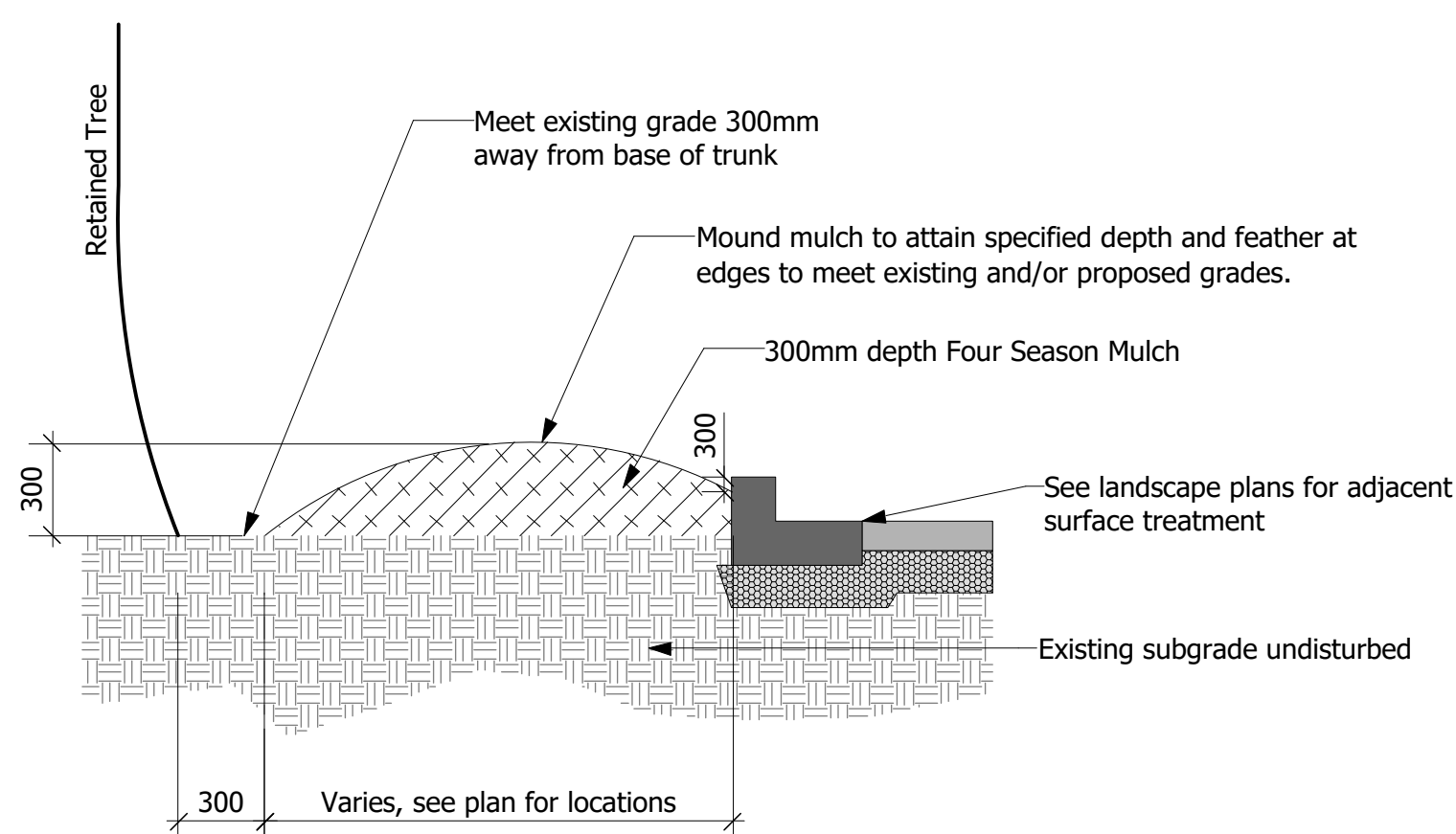
1. Install a minimum 5 cu m of new growing medium per tree. Available soil volume per tree should total 15 cu m, which can include shared, offsite, and adjacent soil areas.
2. All proposed planting areas shall be tested for drainage, soil quality and pH. Poor soil shall be amended or replaced as required to meet the following requirements: 50-60% sand, 20-40% silt, 6-10% clay, 2-5% organic matter, and pH between 6.5-7.5.
3. Max depth of planting pit should equal the rootball depth + 150mm
4. Tree stakes should be placed parallel to the prevailing wind
5. Wooden stakes to be removed after one full growing season
6. DO NOT drive stakes through rootball when installing
7. Set tree so base of trunk flare is level with finished grade. Soil should be removed from the top of the rootball to expose trunk flare (often the trunk flare is buried due to typical nursery practices)



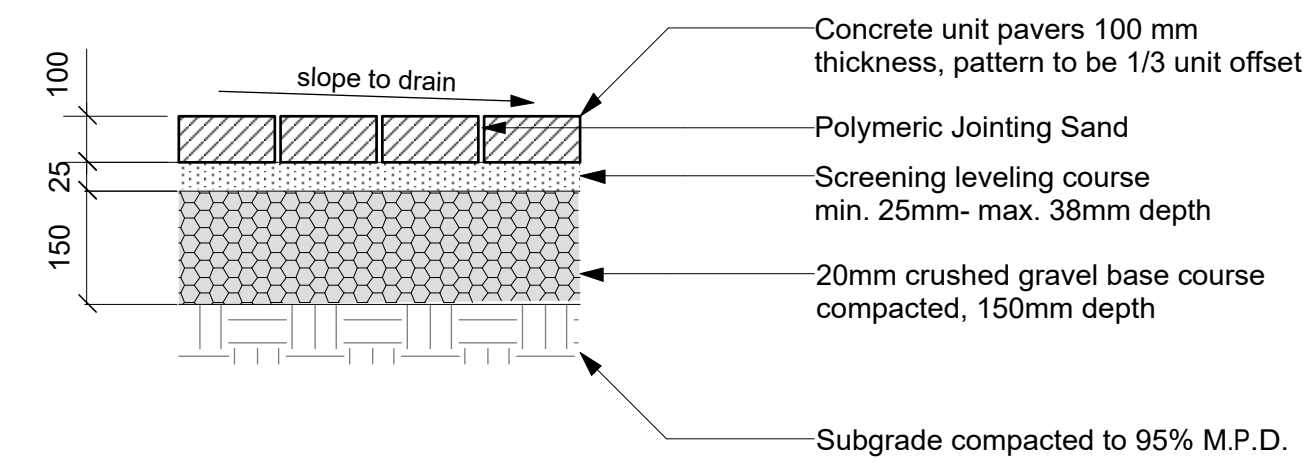
1 Tree Planting Detail
Scale: 1:25



2 Shrub Planting Detail
Scale: 1:25

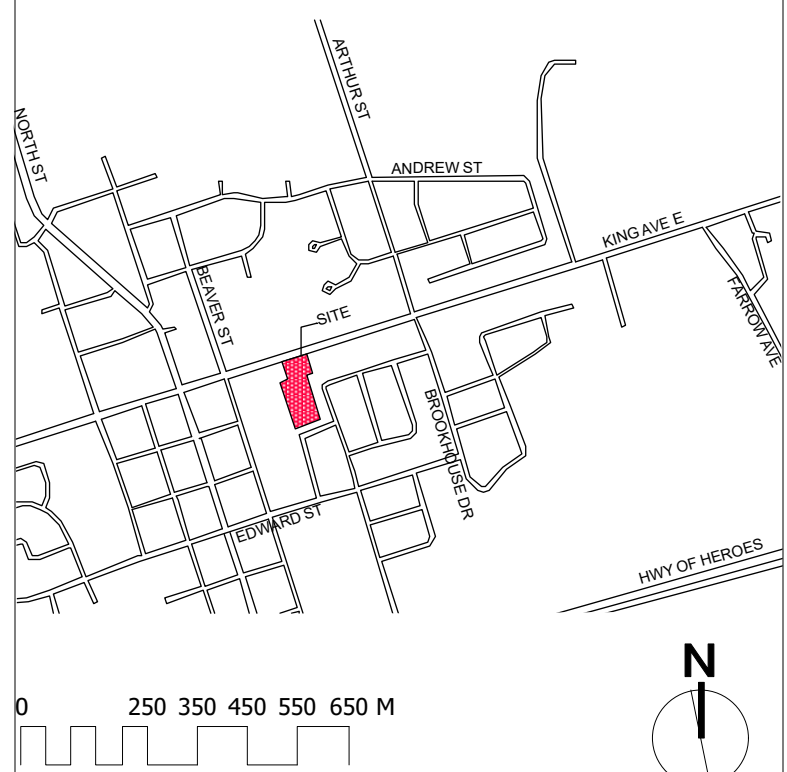


3 Mulch Surfacing: Retained Tree(s)
Scale: 1:25



4 CUP Detail
Scale: 1:10

Key Plan:



1	SPA	19.02.01	TR
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No.	Description	Date	By
Issue / Revision Schedule			



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Client:
PARKVIEW SENIORS LODGE
153/165 KING AVE., NEWCASTLE

Project:
PARKVIEW SENIORS EXPANSION

Drawing Title:
Landscape Details

Designed By: TR	Project #: PC2018-0045
Drawn By: TR	Drawing #:
Approved By: GB	L 1.3
Date: 19/01/17	

LANDSCAPE NOTES:

The Contractor shall review all existing conditions and utilities prior to commencement of work. Protect all existing plant material, structures and adjacent areas from damage. Layout shall be approved by the Contract Administrator prior to commencement of work.

TOPSOIL & SOD

All areas requiring sod shall first be neatly prepared for 150mm depth topsoil. This preparation depth must be verified by the Consulting Engineer prior to placement of any topsoil. After approval by the consultant, 150mm topsoil shall be placed and levelled. The consultant shall then complete a final inspection for topsoil grade and the removal of larger stones, branches or other improper material, prior to any sod being laid. Any topsoil or sod placed without prior verification and approval from the consultant shall be deemed unacceptable. Topsoil and sod shall meet the requirements of OPSS 802, 804 and 805, in addition to meeting any additional requirements set out in these specifications. Boulevards shall have 2% positive drainage toward the curb and shall be fully sodded, except for areas covered by driveway aprons or sidewalk.

All topsoil shall be free from native till or clay, roots, vegetation, weeds or debris, stones and clods over 50mm diameter. Imported topsoil, if required, shall be fertile, loamy, screened material of a quality acceptable to the Director (containing approx. 4% organic matter for clay loams and 2% organic matter for sandy loams with acidity range of 6.0 Ph). Topsoil infested by the seeds of noxious weeds will not be acceptable.

All sod shall meet the requirements of Ontario Sod Grower's Association No. 1 Bluegrass Fescue Nursery Sod. The sod shall be taken from good loamy soil and shall be healthy, well permeated with roots, have uniform texture and appearance and be free from weeds. Sod must be laid within thirty-six (36) hours of being cut. Care must be taken during its transportation and placement to prevent any drying out. Sod shall match flush with all adjacent surfaces and shall have no open gaps, overlapping edges or uneven joints. Where adjacent or fronting lands have already been sodded, care must be taken to ensure drainage is maintained and a smooth transition is achieved.

Laid sod shall be immediately rolled to produce an even surface and watering shall commence immediately thereafter and shall continue on a regular basis until healthy roots are well established and permanent. If sod fails to establish immediately, it shall be removed and replaced. No attempt shall be made to try to re-establish weak/dead sod through continual watering, unless specific permission is granted by the Director. The entire work shall be done in a thorough workmanlike manner with an even surface, and professional in appearance. Any sod deemed unfit by the Director shall be immediately removed from the site and replaced.

PLANTING

All plant material shall be nursery grown, true to type, conforming to the current edition of the Canadian Nursery Landscape Association's Canadian Standards for Nursery Stock. All plants shall be healthy and vigorous with all parts free from defects, decay, disfigurement, injury, disease and pests.

All trees shall have a reasonably straight trunk, free of any decay or wounds. Trees shall have a balanced canopy with a minimum of 12 branches. The branching height shall be a minimum of 1.8m from the root ball. Columnar trees shall possess one main trunk and no multiple competing stems. Branching shall be uniform and characteristic of the growing habit for the species. The root ball shall be a minimum of 750mm in diameter and shall have a depth of 2/3 the diameter. The root ball must be solid with little or no movement at the trunk and free of girdling roots.

- Prior to any trees arriving on site, an onsite meeting between the landscaper, contractor, Developer's Landscape Architect and Municipal Staff must be held to review planting locations and procedures. The Developer's landscaper shall ensure that trees are planted under ideal seasonal conditions and according to the following procedures:
- All tree pits shall be prepared in accordance with Clarington Tree Planting Detail C-508.
- Trees shall be placed so that the root flare is 50mm above the finished boulevard grade. Sub-grade levels will not be accepted. The ball or basket must be untied with the trunk free from choking ties. All trunk wrap must be removed after planting. The top 1/3 of the wire basket and burlap must be removed, (not bent down). The remainder of the basket must be clipped randomly throughout the remaining 2/3. Waste from these procedures shall be properly disposed of off site.
- The hole shall be backfilled halfway with a blended mix of topsoil. The hole shall be backfilled and compacted to remove all air pockets and to ensure the tree is stable without the installation of tree stakes.
- The tree planting pit surface and all planting beds shall be mulched with 75mm of shredded bark mulch. Wood chips will not be accepted. Mulch must not be placed against the trunk of the tree. A sample of mulch shall be submitted for approval.

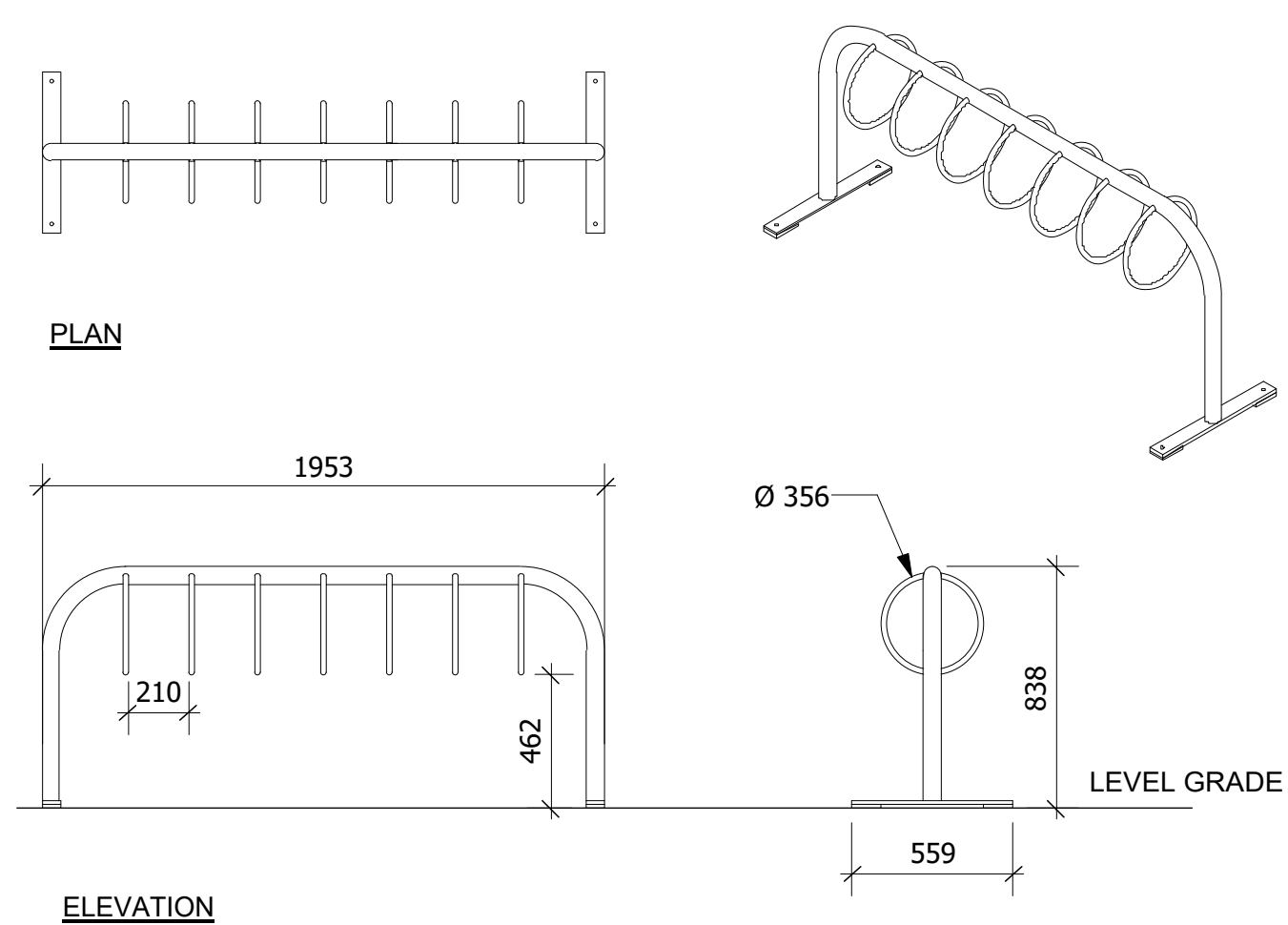
The Contract Administrator may reject any plant material, whether planted or not, that does not conform to the specifications. Substitutions for specified plants will not be accepted unless approved in writing by the Contract Administrator. Plant material shall be unwrapped prior to inspection with labels left on. The Contract Administrator shall inspect and provide written acceptance of installation.

The Municipality reserves the right to investigate, inspect and reject any substandard material, tree or procedure at any time during, or subsequent to, the planting process. Immediately following planting, each tree shall be inspected for damage. Damaged trees shall be replaced or treated in accordance with proper horticultural standards, as directed.

The Developer's landscaper shall implement an ongoing maintenance program of all trees and plant material and shall monitor their progress at 3 and 12 months. Any trees showing signs of distress shall be treated or replaced immediately, as directed. The Contractor shall maintain all plant material and assume full responsibility for protection of all planted areas until final acceptance of all project work at the end of the specified warranty period. The Contractor shall water plants as necessary with sufficient quantities to maintain healthy growth.

All plants that are dead, or not in healthy, satisfactory growing condition, or which in any way do not meet the specifications, shall be replaced within two weeks of notification at the Contractor's expense.

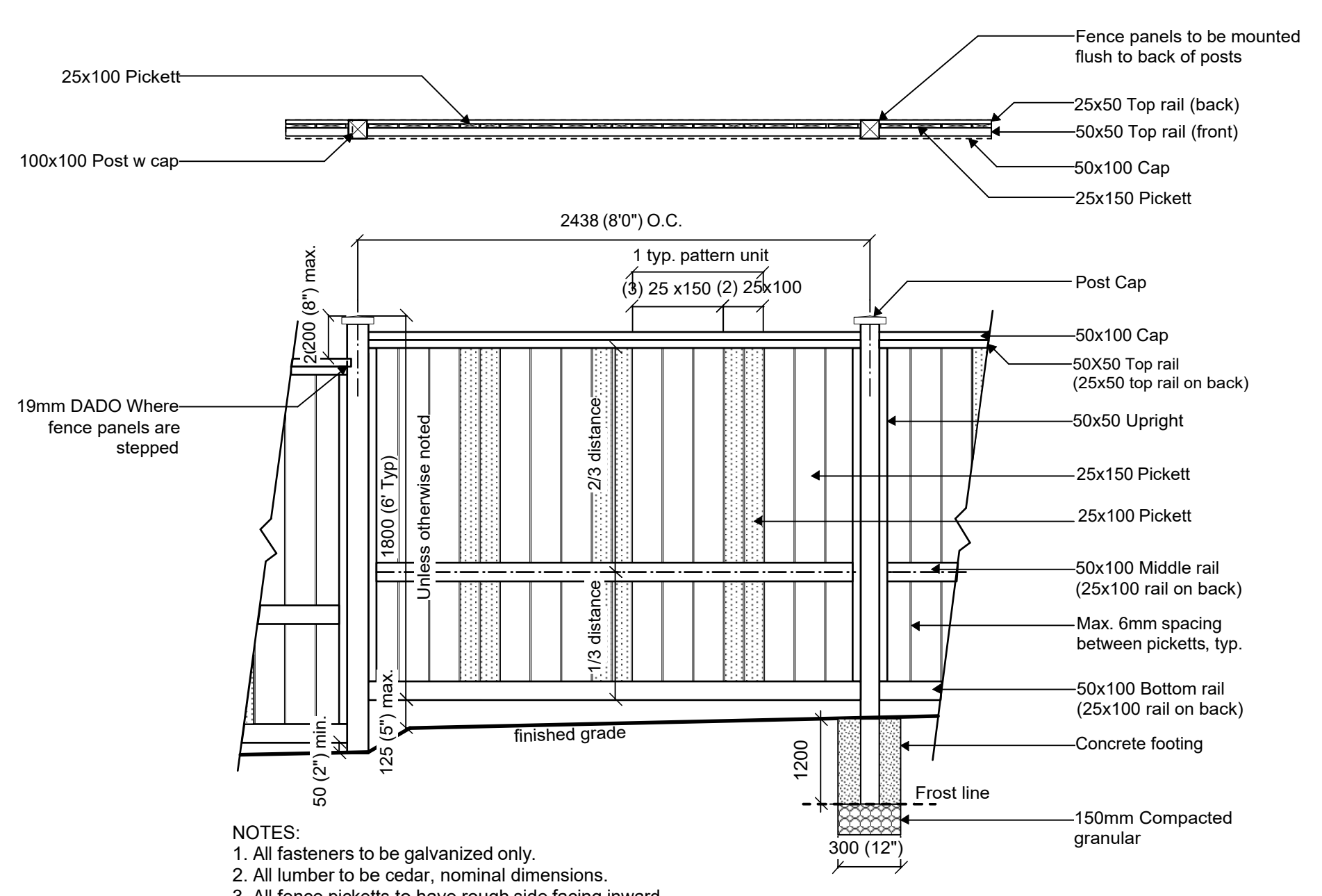
The Contractor shall remove all stakes and staking material at the end of the warranty period. The Contract Administrator shall inspect and provide final acceptance.



NOTES

- BIKE RACK MODEL MBR300-7-S BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
- GLOSS BLACK COLOUR TO ACCOMMODATE 7 BIKES
- SURFACE MOUNT ON HORIZONTALLY LEVEL CONCRETE PAD
- INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
- APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
- DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

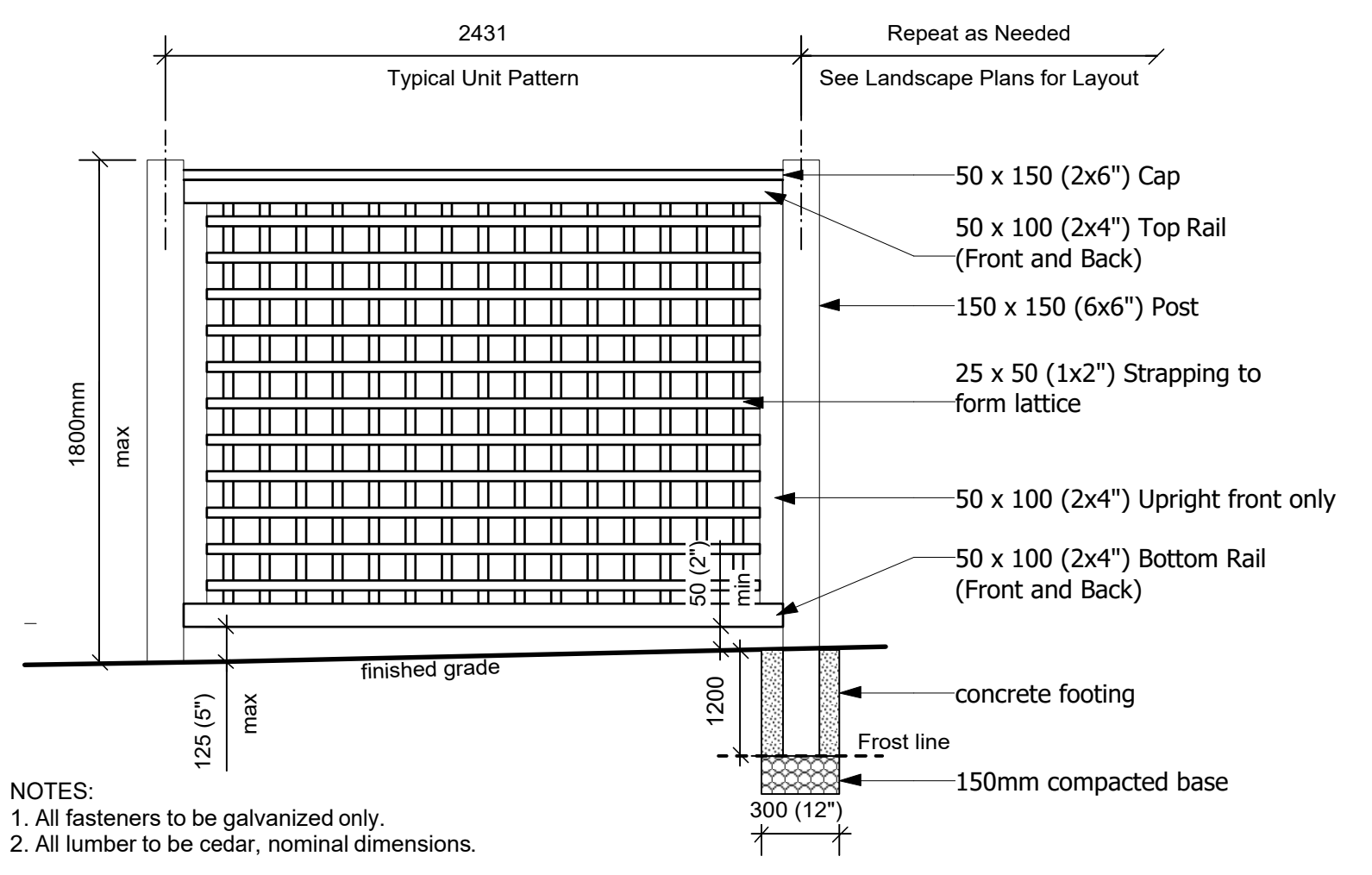
1 Bike Rack Detail
Scale: 1:25



NOTES:

1. All fasteners to be galvanized only.
2. All lumber to be cedar, nominal dimensions.
3. All fence picketts to have rough side facing inward.

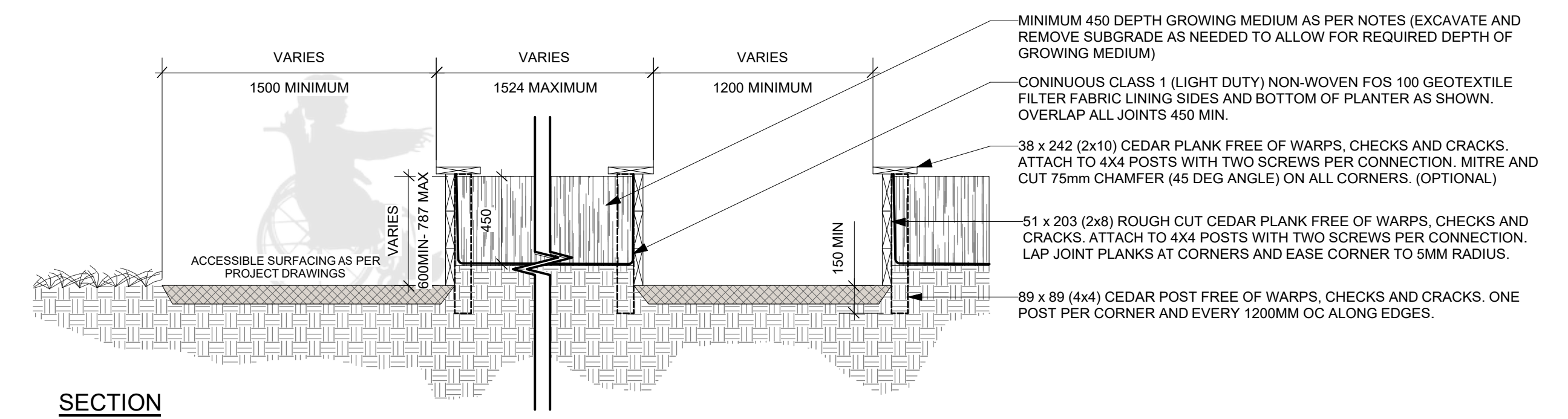
2 Fence Detail
Scale: 1:25



NOTES:

1. All fasteners to be galvanized only.
2. All lumber to be cedar, nominal dimensions.

3 Wood Screen
Scale: 1:25



MINIMUM 450 DEPTH GROWING MEDIUM AS PER NOTES (EXCAVATE AND REMOVE SUBGRADE AS NEEDED TO ALLOW FOR REQUIRED DEPTH OF GROWING MEDIUM)

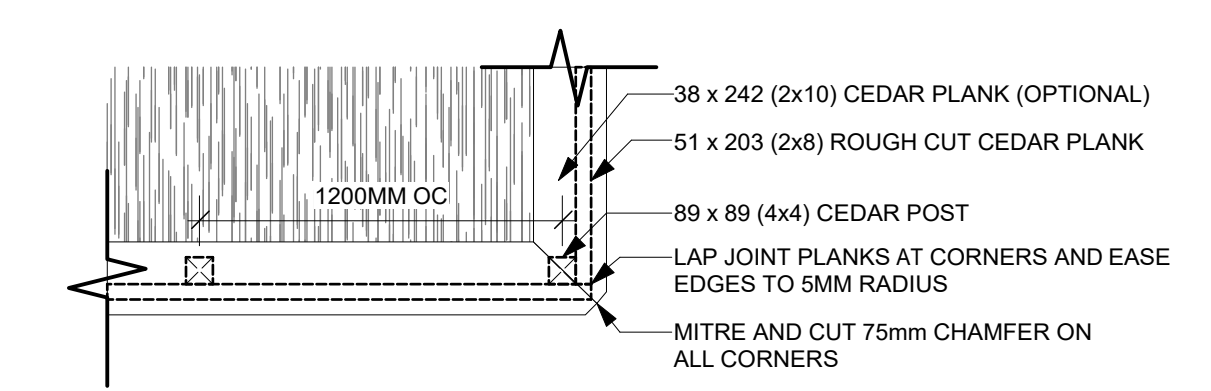
CONTINUOUS CLASS 1 (LIGHT DUTY) NON-WOVEN FOS 100 GEOTEXTILE FILTER FABRIC LINING SIDES AND BOTTOM OF PLANTER AS SHOWN. OVERLAP ALL JOINTS 450 MIN.

38 x 242 (2x10) CEDAR PLANK FREE OF WARPS, CHECKS AND CRACKS. ATTACH TO 4X4 POSTS WITH TWO SCREWS PER CONNECTION. MITRE AND CUT 75mm CHAMFER (45 DEG ANGLE) ON ALL CORNERS. (OPTIONAL)

51 x 203 (2x8) ROUGH CUT CEDAR PLANK FREE OF WARPS, CHECKS AND CRACKS. ATTACH TO 4X4 POSTS WITH TWO SCREWS PER CONNECTION. LAP JOINT PLANKS AT CORNERS AND EASE CORNER TO 5MM RADIUS.

89 x 89 (4x4) CEDAR POST FREE OF WARPS, CHECKS AND CRACKS. ONE POST PER CORNER AND EVERY 1200MM OC ALONG EDGES.

SECTION

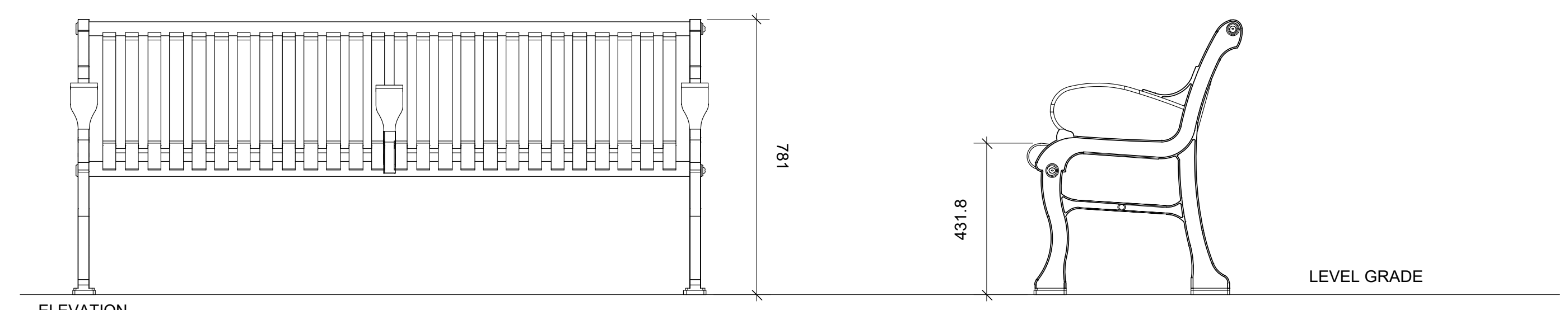


PLAN

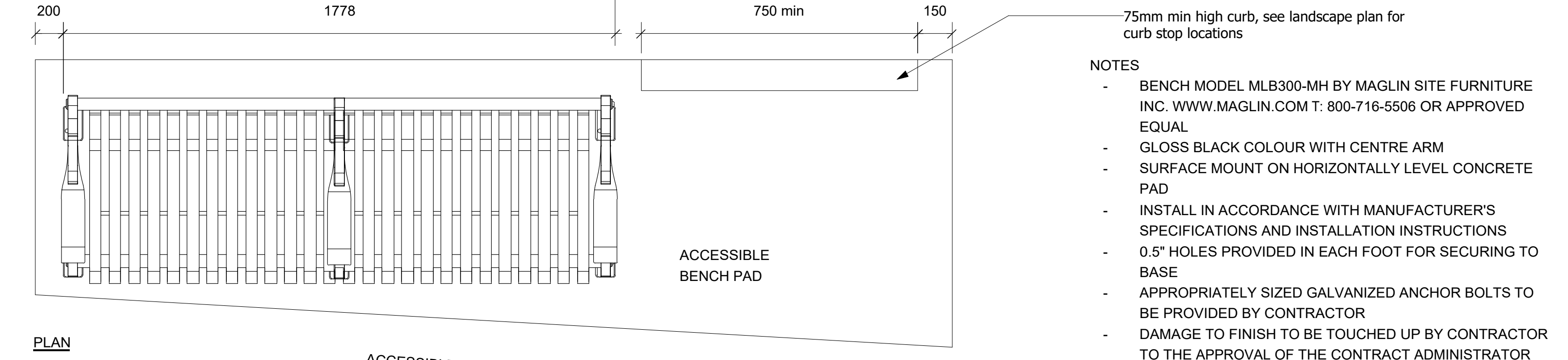
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWING.
2. SPECIFIED DEPTHS OF MULCH, TOPSOIL AND PLANTING MIX ARE DEPTHS AFTER SETTLEMENT. SPECIFIED DEPTH OF GRANULAR BASES IS COMPACTED DEPTH.
3. WHERE MORE THAN ONE PLANTER IS INSTALLED IN A LINEAR CONFIGURATION, USE A STRING LINE TO LAY OUT AND ALIGN (LINE UP) PLANTERS.
4. PLANTING MIX: APPROVED 3-WAY MIX, OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT. ADD 0.75 kg SUPERPHOSPHATE PER m3.
5. PLANTER CONSTRUCTION TO BE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

4 Raised Garden Bed
Scale: 1:25



ELEVATION

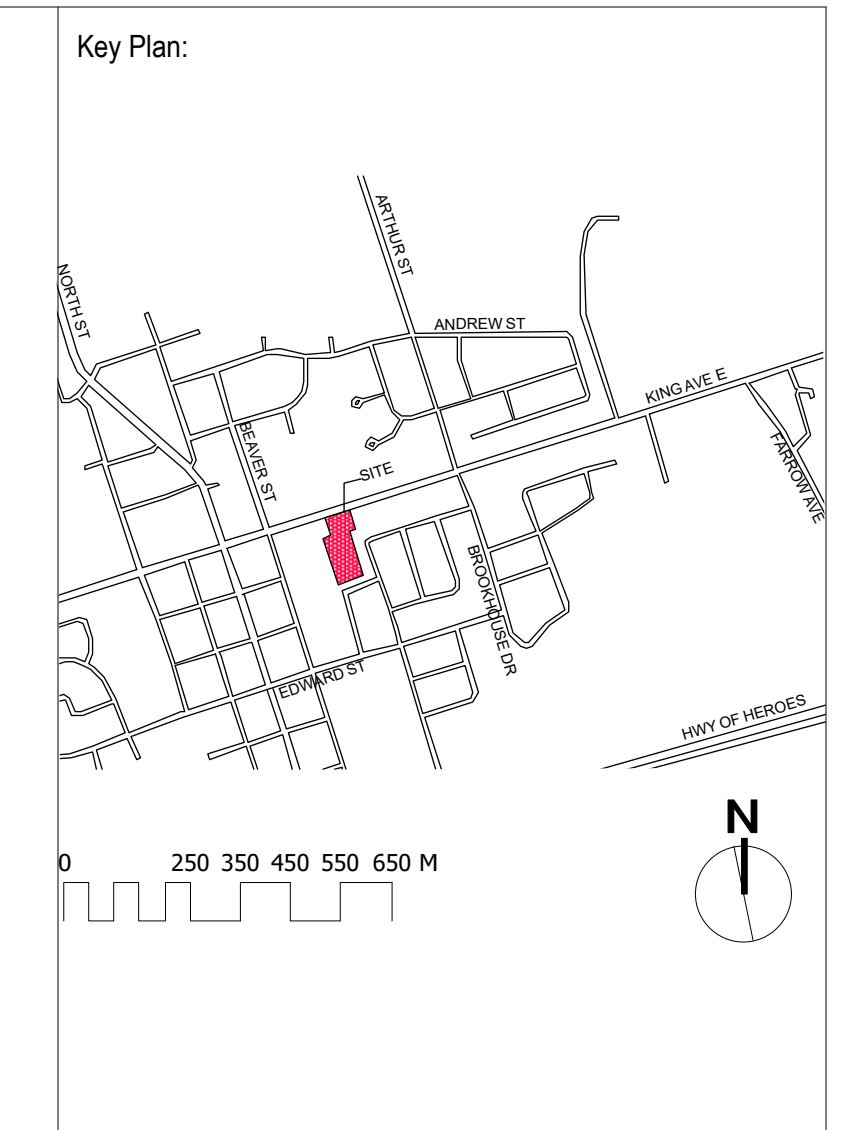


PLAN

NOTES

- BENCH MODEL MLB300-MH BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
- GLOSS BLACK COLOUR WITH CENTRE ARM
- SURFACE MOUNT ON HORIZONTALLY LEVEL CONCRETE PAD
- INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
- 0.5" HOLES PROVIDED IN EACH FOOT FOR SECURING TO BASE
- APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
- DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

5 Bench
Scale: 1:10



No.	Description	Date	By
1	SPA	19.02.01	TR
2	#	#	#
3	#	#	#
4	#	#	#
5	#	#	#
6	#	#	#
7	#	#	#
8	#	#	#

Ontario Association of Landscape Architects
Terence R. Proffitt
19.01.17
Member

NewLeaf Landscape Architecture Ltd.
T: 905-373-5015
E: info@newleaf.pro
W: www.newleaf.pro

Trophic Design
29A King St W, Cobourg, ON K9A 2M1
T: 289-251-4398
E: terence@trophicdesign.ca
W: www.trophicdesign.ca

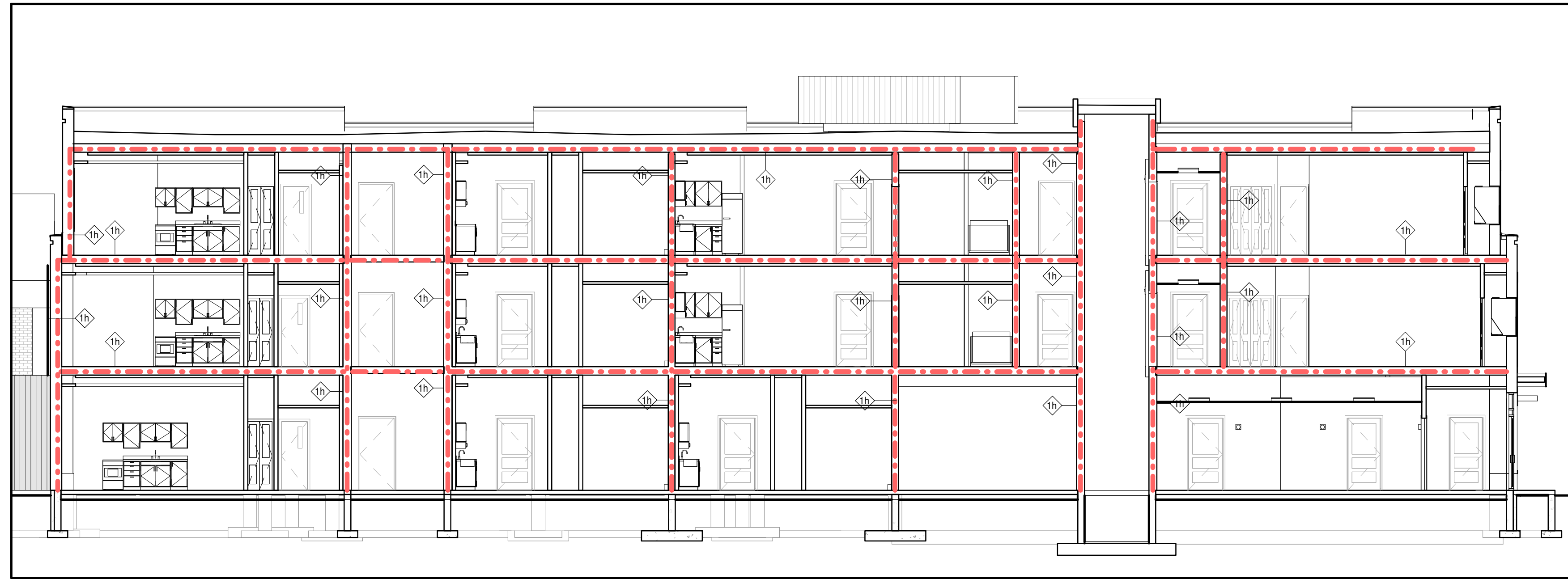
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Client:
PARKVIEW SENIORS LODGE
153/165 KING AVE., NEWCASTLE

Project:
PARKVIEW SENIORS EXPANSION

Drawing Title:
Landscape Details

Designed By: TR	Project #: PC2018-0045
Drawn By: TR	Drawing #:
Approved By: GB	L 1.4
Date: 19/01/17	



LIFE SAFETY PLAN LEGEND

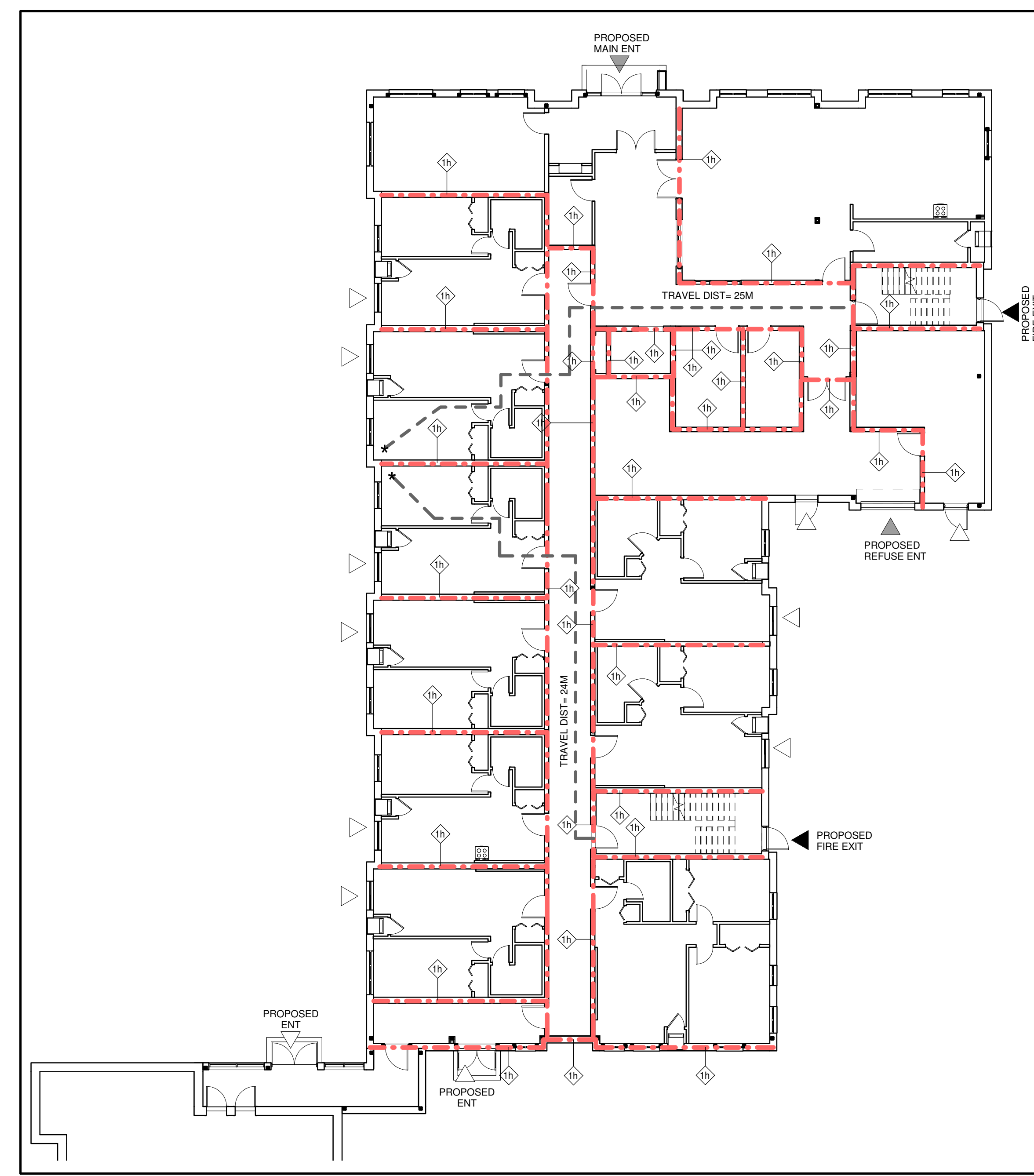
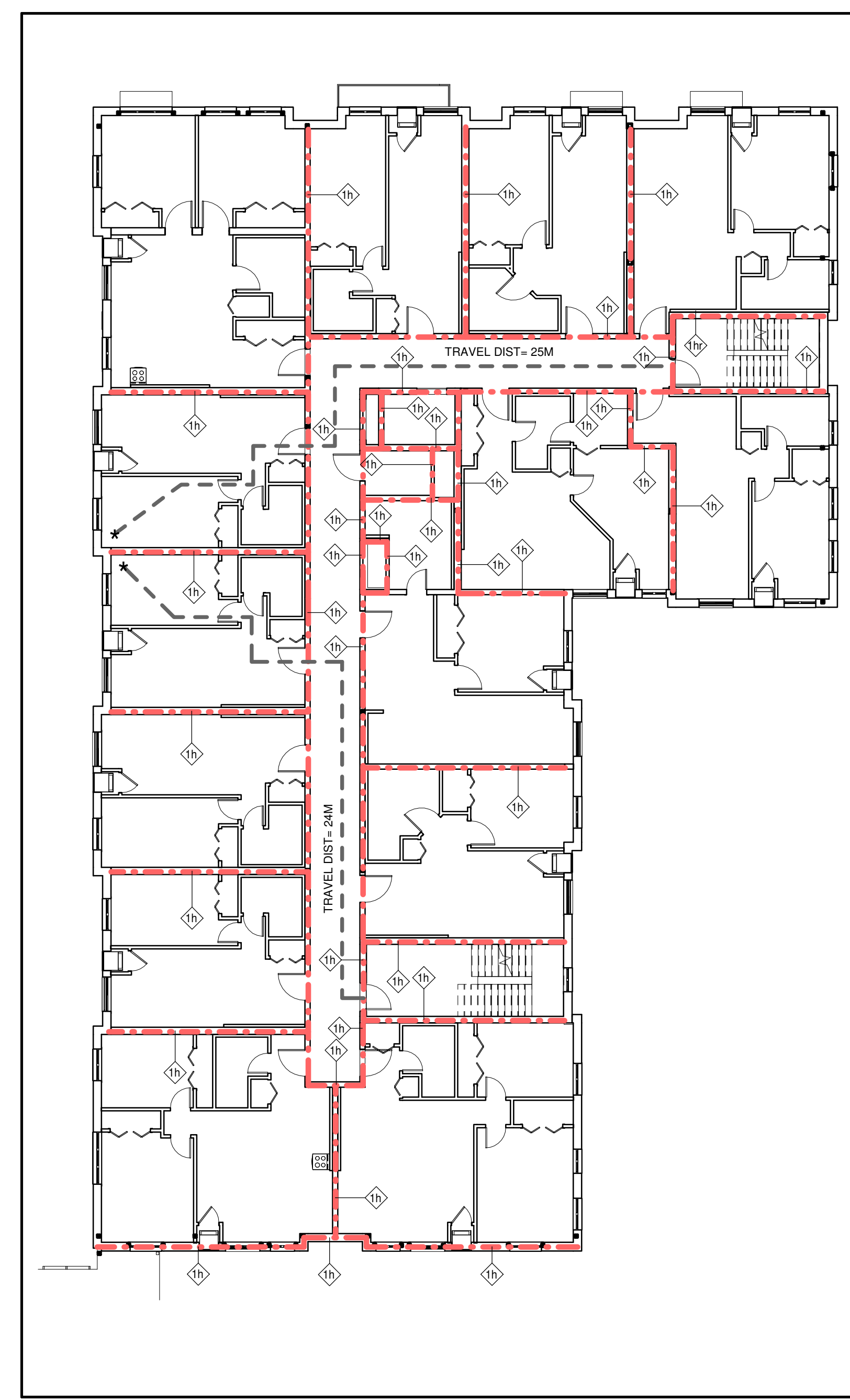
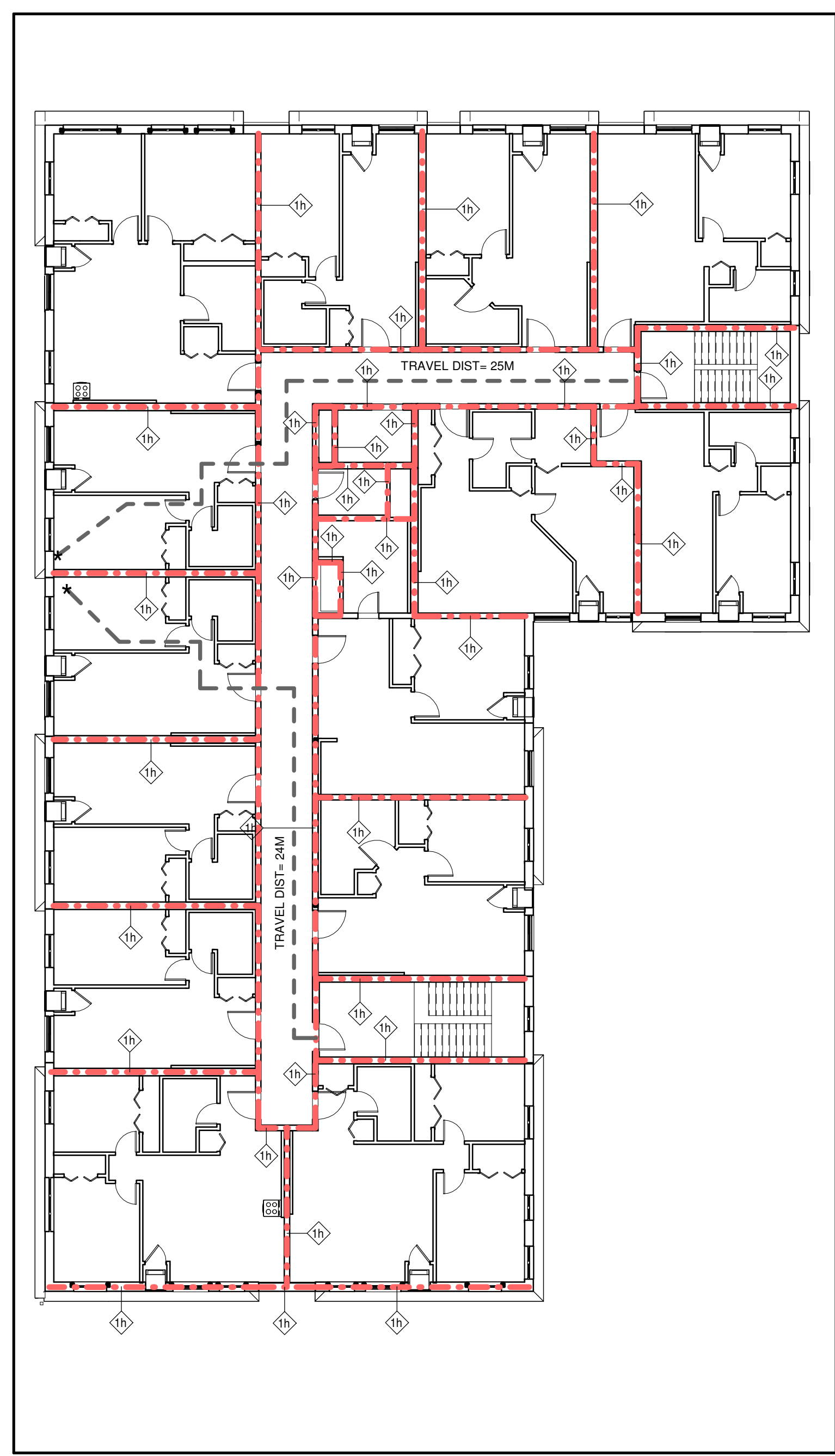
- TRAVEL DISTANCE (m)
- - - 45min F.R.R SEPERATION
- . - 1HR F.R.R SEPERATION
- - - 1.5HR F.R.R SEPERATION
- . - 2HR F.R.R SEPERATION

NOTES:
 1. ALL FIRE SEPERATIONS AND ASSEMBLIES TO BE CONSTRUCTED IN ACCORDANCE WITH ONTARIO BUILDING CODE 2012, OR ULC, AS SPECIFIED.

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1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
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3	M+E COORDINATION SET	2019-02-20	
4	FOR PERMIT	2019-03-11	
5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

4 LIFE SAFETY SECTION
 A002 1:100



3 THIRD FLOOR - LIFE SAFETY PLAN
 A002 1:100

2 SECOND FLOOR - LIFE SAFETY PLAN
 A002 1:100

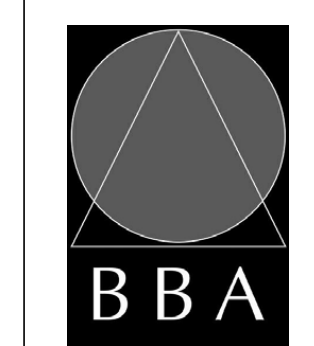
1 GROUND FLOOR - LIFE SAFETY PLAN
 A002 1:100

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
LIFE SAFETY PLANS



BARRY BRYAN ASSOCIATES
 Architects
 Engineers
 Project Managers

201-250 Water Street
 Whitby Ontario L1N 0G5
 Tel: (905) 666-5252
 Fax: (905) 666-5256
 e-mail: bba@bba-arch.com



DESIGN BY: NS
 DRAWN BY: RG
 CHECKED BY: [Signature]

DATE: 02/15/19
 SCALE: As indicated
 FILE:

PROJECT NO: **18811**
 DRAWING NO: **A002**

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3	M+E COORDINATION SET	2019-02-20	
4	FOR PERMIT	2019-03-11	
5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
EXPANSION**

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
**OBC EXPOSED
BUILDING FACE
CALCULATIONS**

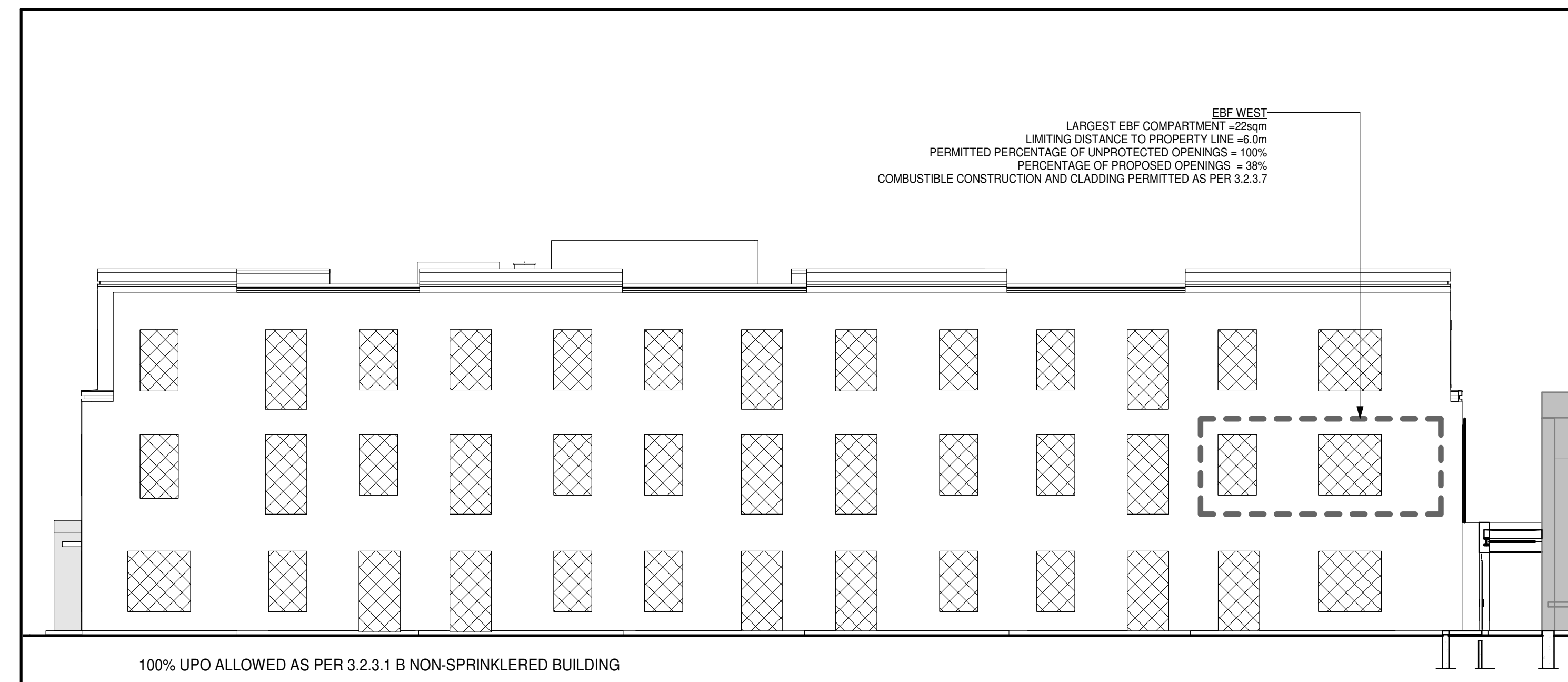


BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers

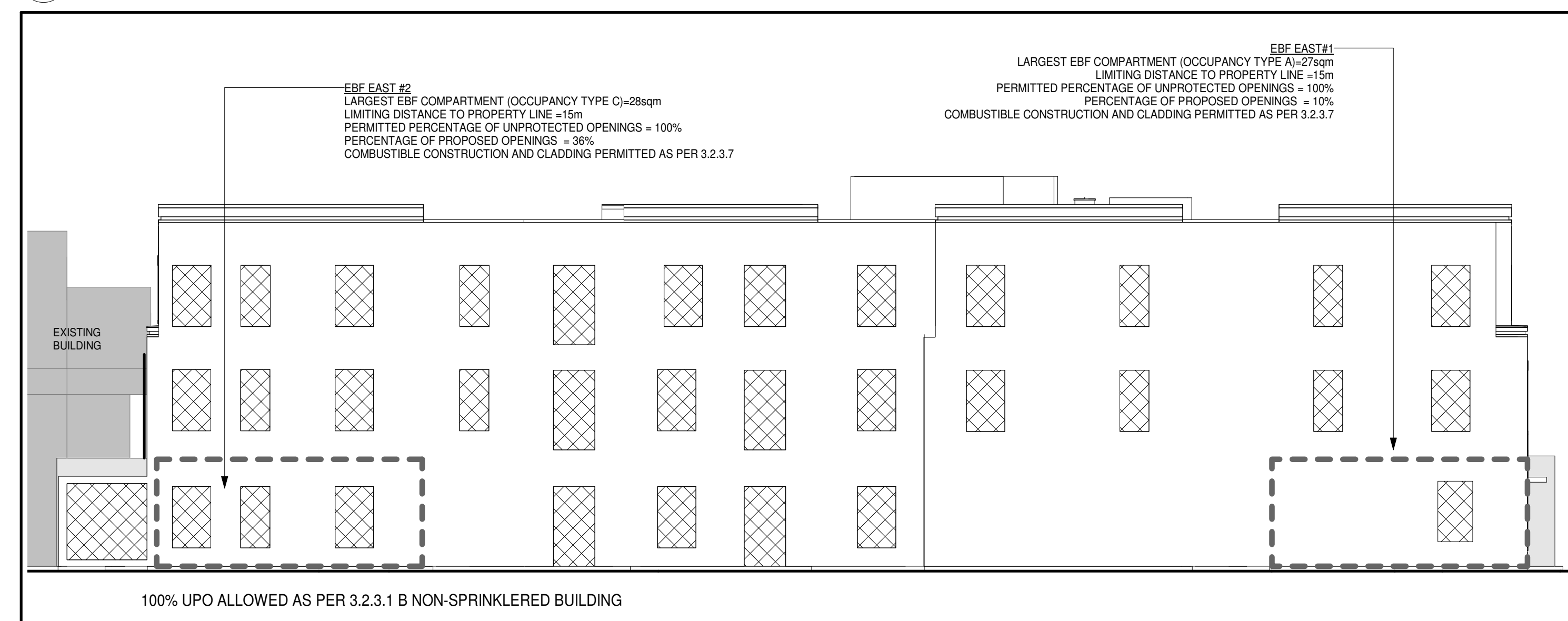
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DRAWN BY: RG
CHECKED BY: [Signature]
DATE: 02/15/19
SCALE: 1 : 125
FILE:

201-250 Water Street
Whitby Ontario L1N 0G5
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-archeng.com

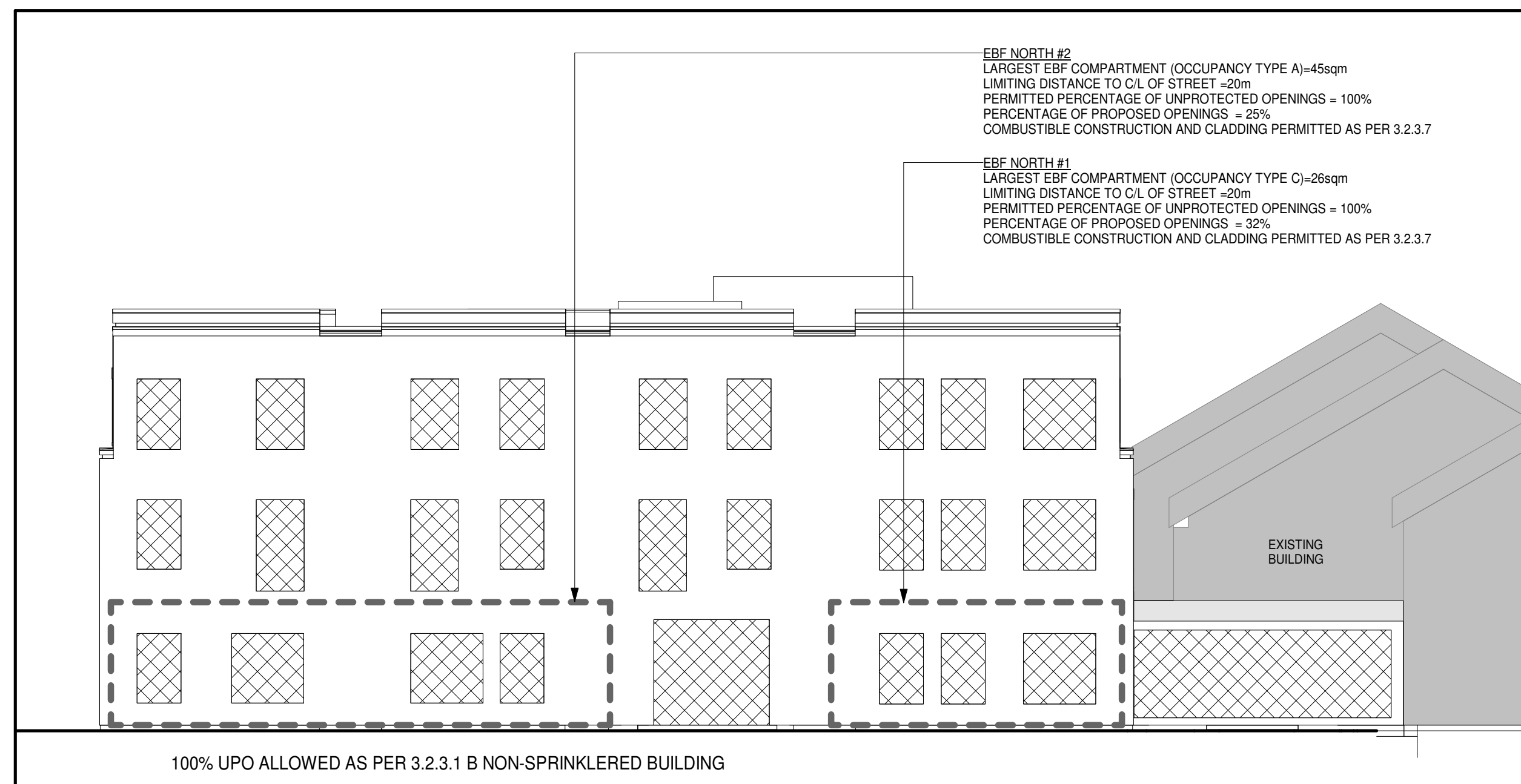
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DRAWING NO. **A003**



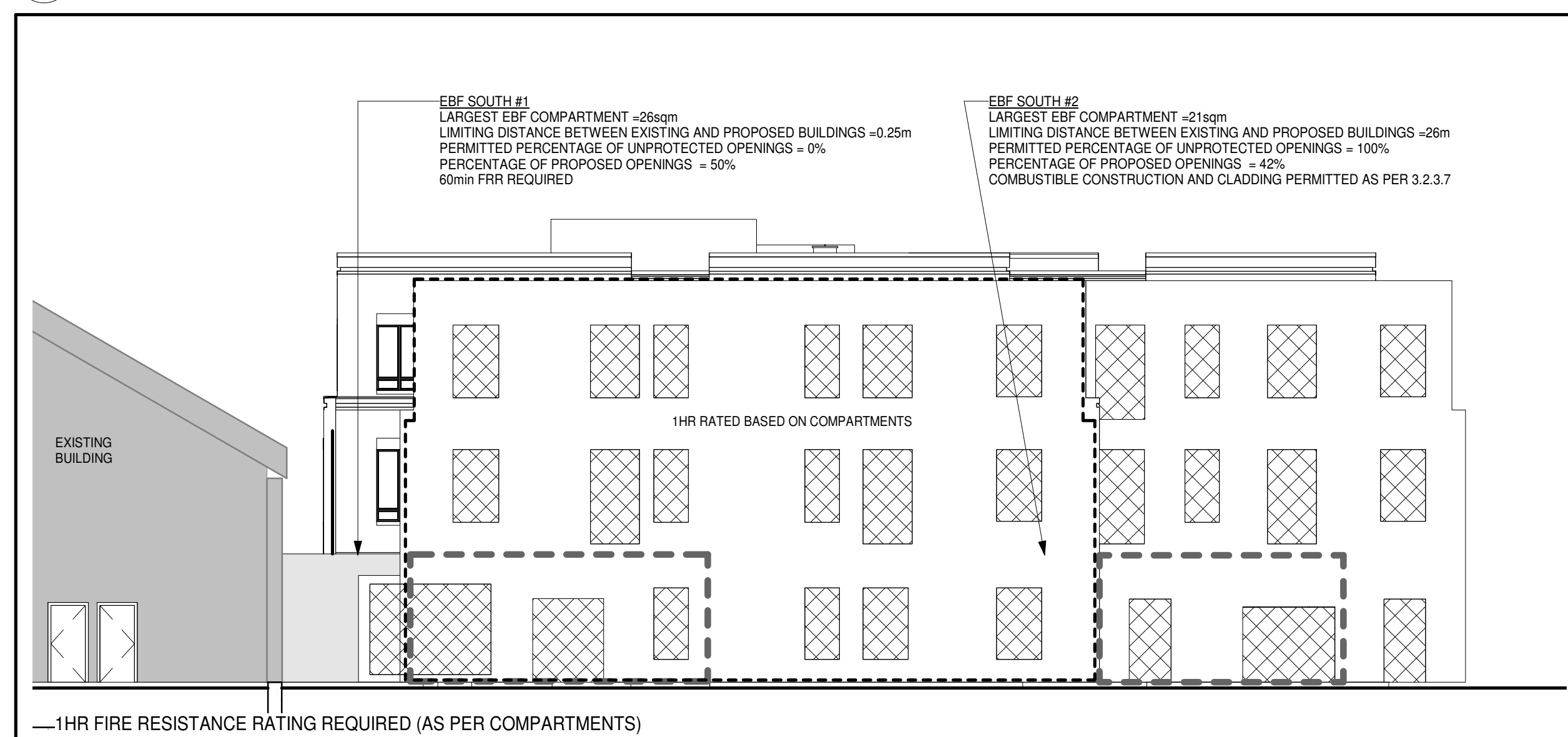
4 WEST ELEVATION - EBF
A003 1:125



1 EAST ELEVATION - EBF
A003 1:125



2 NORTH ELEVATION - EBF
A003 1:125



3 SOUTH ELEVATION - EBF
A003 1:125

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1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
2	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

PROJECT:
PARKVIEW SENIORS EXPANSION


165 KING AVE EAST, NEWCASTLE, ON
1LB 1H3

DRAWING:
SITE PLAN



BARRY BRYAN ASSOCIATES
Engineers
Project Managers

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Suite 201
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L1N 0G5
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Fax: (905) 666-5256
email: bba@bbasrchng.com



DESIGN BY:
CM
DRAWN BY:
AG
CHECKED BY:
AG

DATE:
2019-02-08

SCALE:
1:250

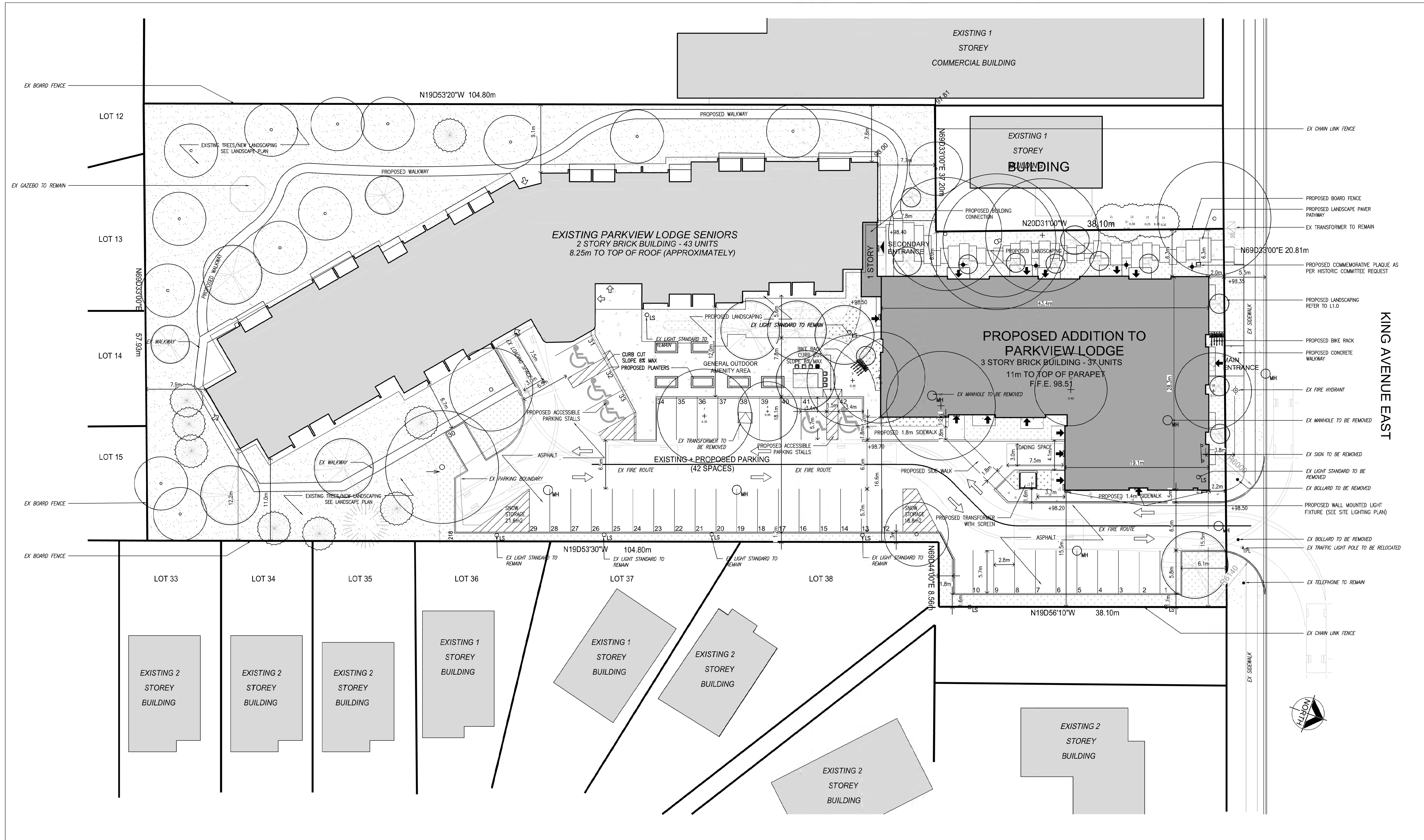
FILE:

DOC CONTROL DATE:

5 COMPLETE

INITIAL:

PROJECT NO: **18822**
DRAWING NO: **A-101**



SITE STATISTICS

LEGAL DESCRIPTION: PIN 26662-0050 PART OF LOT 27, CONCESSION 1, CLARINGTON, 153 KING AVE EAST, NEWCASTLE, ON

AS PER PSD-052-17

ZONING:	R4-2- URBAN RESIDENTIAL EXCEPTION
LOT AREA:	ACTUAL 7,186.73m ²
BUILDING AREA:	EXISTING 159,930m ² (17157m ²) PROPOSED 1805.85m ² (10324m ²) TOTAL 259,785m ² (279801m ²)
LOT FRONTAGE:	REQUIRED 50m ACTUAL 50m
BUILDING HEIGHT:	MAX. EXISTING 8.25m PROPOSED 11.02m

LOT COVERAGE

AS PER PSD-052-17

GROSS FLOOR AREA	1. EXISTING 3187.86m ² (3434 FT ²) 2. PROPOSED 2026.26m ² (21857 FT ²) TOTAL 5214.12m ² (56201 FT ²)
FLOOR SPACE INDEX	= 6077.44/7186.72 = 0.845
LOT COVERAGE	EXISTING 19.45% PROPOSED 1.42% TOTAL 33.45%
TOTAL PARKING AREA	PROVIDED 1470m ²
TOTAL LANDSCAPED AREA	PROVIDED 2017.14m ² (16,652 SQ FT)
PROPOSED IMPACT (1-100 SCALE)	8779m ² (10,762 SQ FT)

SETBACKS

AS PER PSD-052-17

FRONT YARD SETBACK (NORTH)	PROVIDED 3.25m (10'8") AND 10.00m (32'8") REQUIRED 3.0m (9'8") FROM FLOOR FINISH TO TOP OF CURB AND 3.0m (9'8") FROM CURB TO FRONT OF DRIVE
REAR YARD SETBACK (SOUTH)	PROVIDED 97.3m (320'10") REQUIRED 11.3m (37'1")
SIDE YARD SETBACK (WEST)	PROVIDED 6.5m (21'3") REQUIRED 6.0m (19'8")
SIDE YARD SETBACK (EAST)	PROVIDED 12.0m (39'4") REQUIRED 15m (49'3")

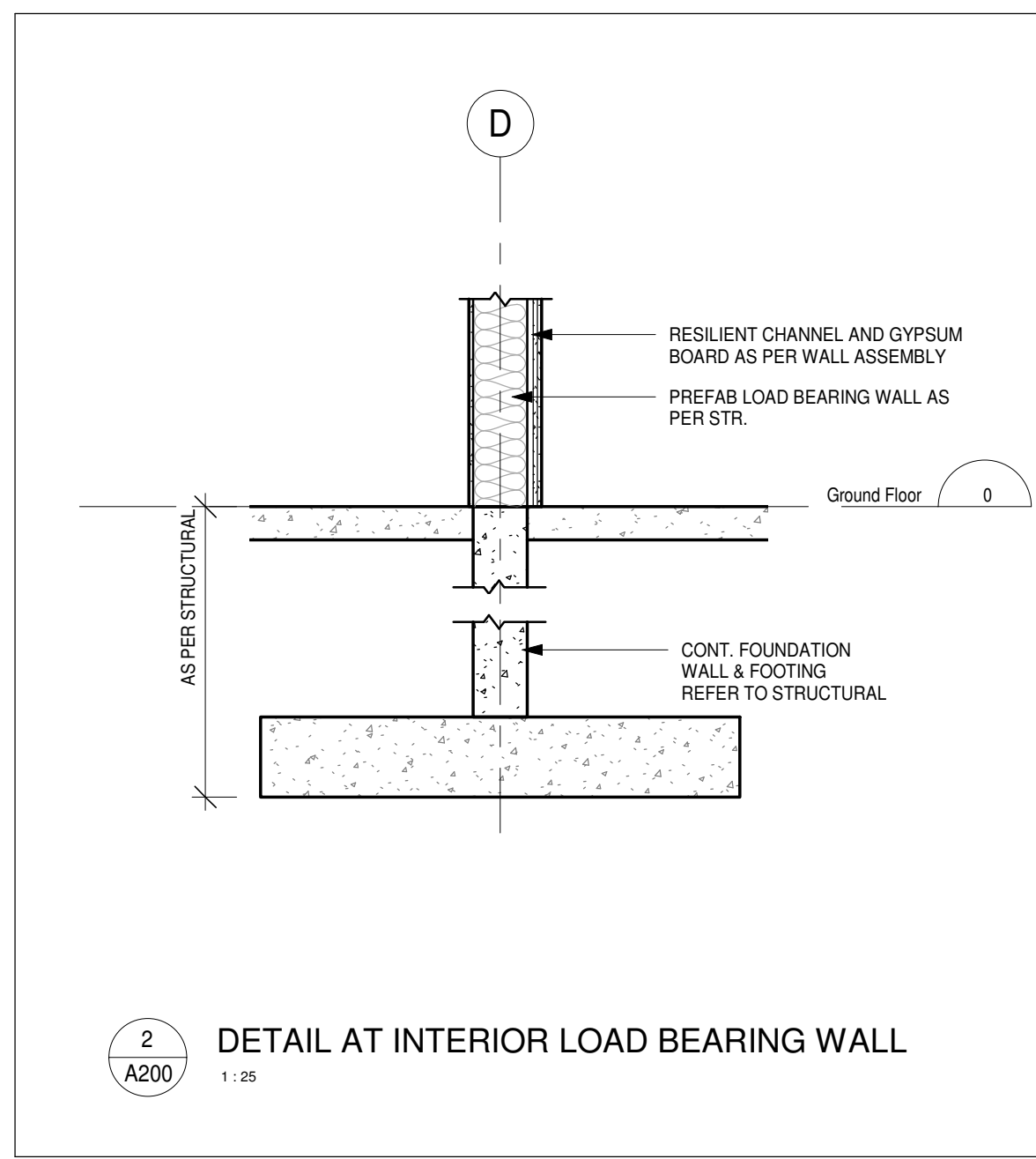
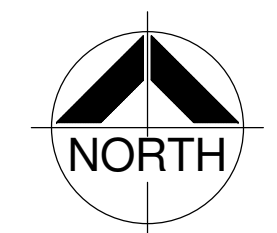
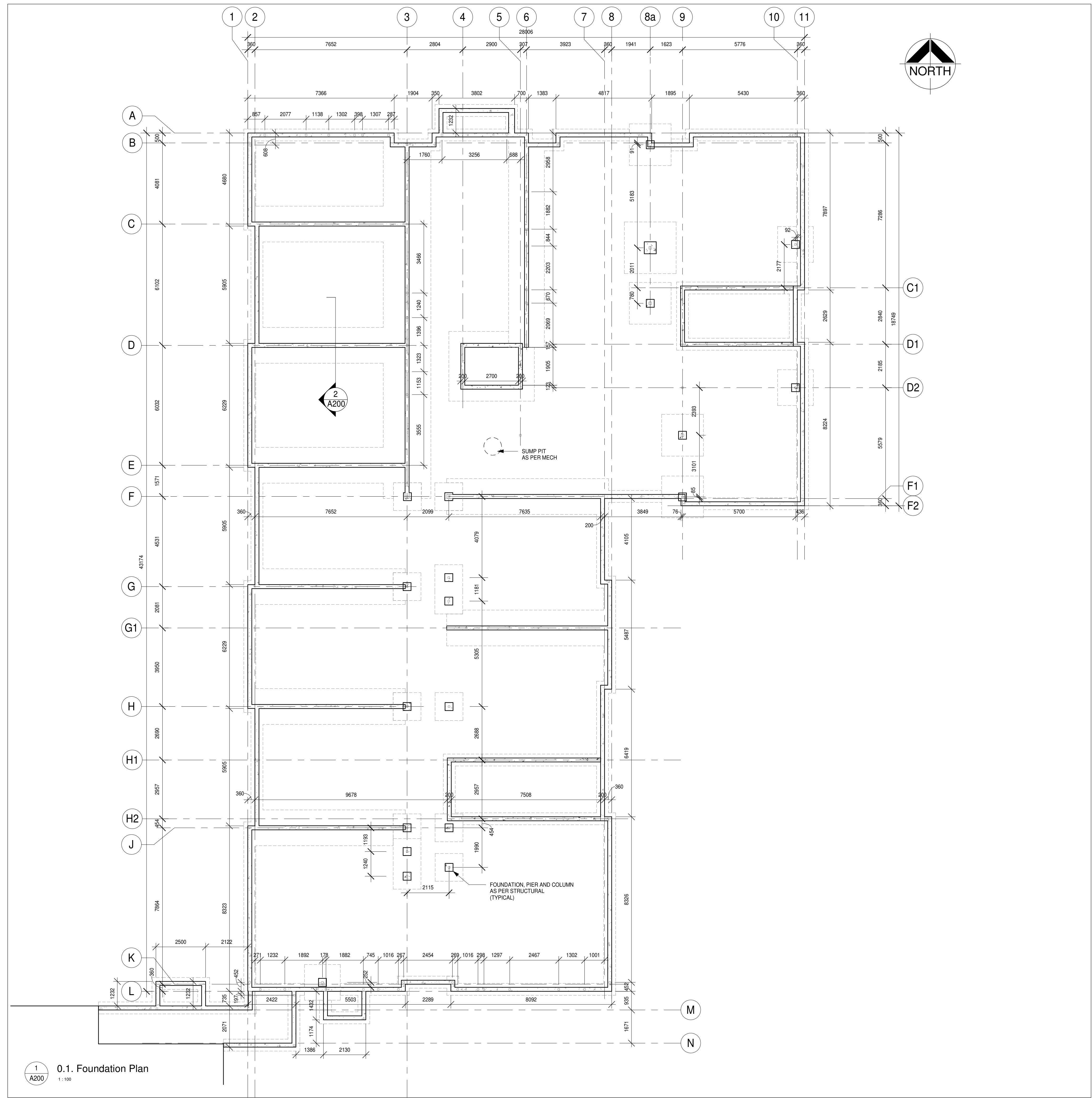
PARKING CALCULATION

AS PER PSD-052-17

UNIT PARKING REQUIRED	EXISTING UNITS (43 UNITS X 0.25/UNIT)	10.75
	PROPOSED 1 BEDROOM APARTMENT (30 UNITS X 0.25/UNIT)	7.5
	PROPOSED 2 BEDROOM APARTMENT (7 UNITS X 0.25/UNIT)	1.75
VISITOR PARKING REQUIRED	EXISTING UNITS (43 UNITS X 0.25/UNIT)	10.75
	PROPOSED 1 BEDROOM APARTMENT (30 UNITS X 0.25/UNIT)	7.5
	PROPOSED 2 BEDROOM APARTMENT (7 UNITS X 0.25/UNIT)	1.75
STAFF PARKING REQUIRED	ACCESSIBLE PARKING REQUIRED (1% OF REQUIRED PARKING)	2
	ACCESSIBLE PARKING PROVIDED	2
TOTAL PARKING REQUIRED		42
TOTAL PARKING PROVIDED		42

LEGEND

	CONC SIDEWALK		EXISTING TREE		PROPOSED ENTRANCE		PROPERTY LINE
	SHRUBS - SEE LANDSCAPE PLAN		EXISTING TREE TO BE REMOVED		EXISTING LIGHT STANDARD		PROPOSED ENTRANCE
	GRASS		PROPOSED TREE SEE LANDSCAPE PLAN FOR DETAILS		BOLLARD WITH LIGHT		PROPOSED PLANTER BOXES
	ASPHALT		EXISTING ENTRANCE		LIGHT STANDARD		FENCE
	EXISTING BUILDING		BIKE RACK		EXISTING HYDRO POLE		ELEVATION MARK
	PROPOSED BUILDING		EXISTING TRANSFORMER		EXISTING TRAFFIC LIGHT POLE		STORMWATER LINE
			PROPOSED TRANSFORMER WITH SCREEN		FIRE DEPARTMENT CONNECTION		ZONING SETBACK REQUIREMENT
			PROPOSED SIDE WALK		PROPOSED EXISTING MAN-HOLE		BARRIER FREE PARKING SIGN
			EXISTING MANHOLE TO BE REMOVED		EXISTING CATCH BASIN		PROPOSED CONCRETE BOLLARD
			EXISTING SIGN TO BE REMOVED		WALL MOUNTED LIGHT FIXTURE		
			EXISTING LIGHT STANDARD TO BE REMOVED		FIRE HYDRANT		
			EXISTING BOLLARD TO BE REMOVED		NO PARKING SIGN		
			EXISTING TELEPHONE TO REMAIN				



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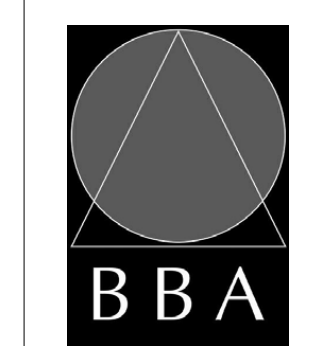
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5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
FOUNDATION PLAN



BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers

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e-mail: bba@bba-archeng.com



DESIGN BY: [Signature]
DRAWN BY: [Signature]
AUTHOR: [Signature]
CHECKED BY: [Signature]
CHECKER: [Signature]

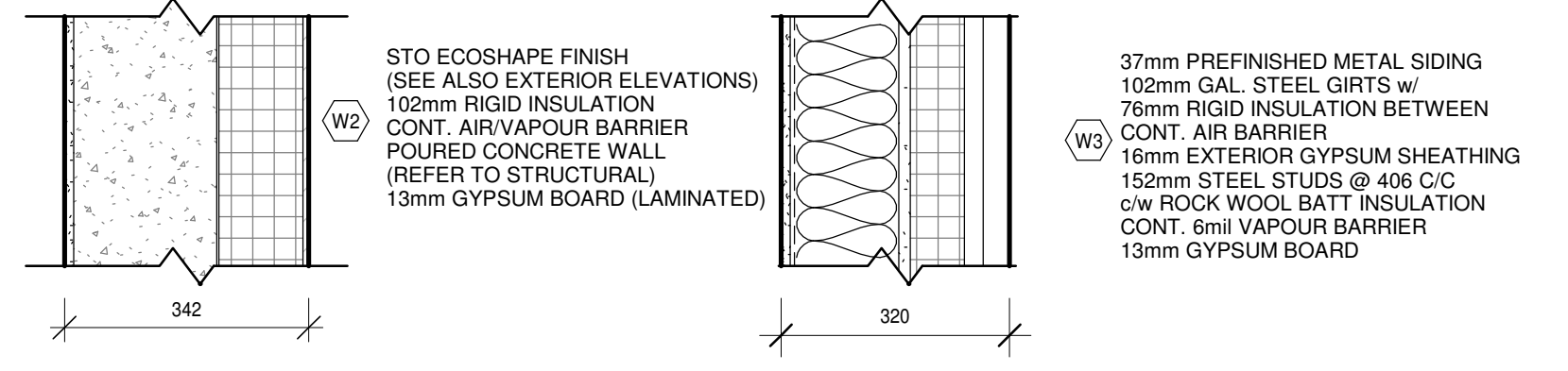
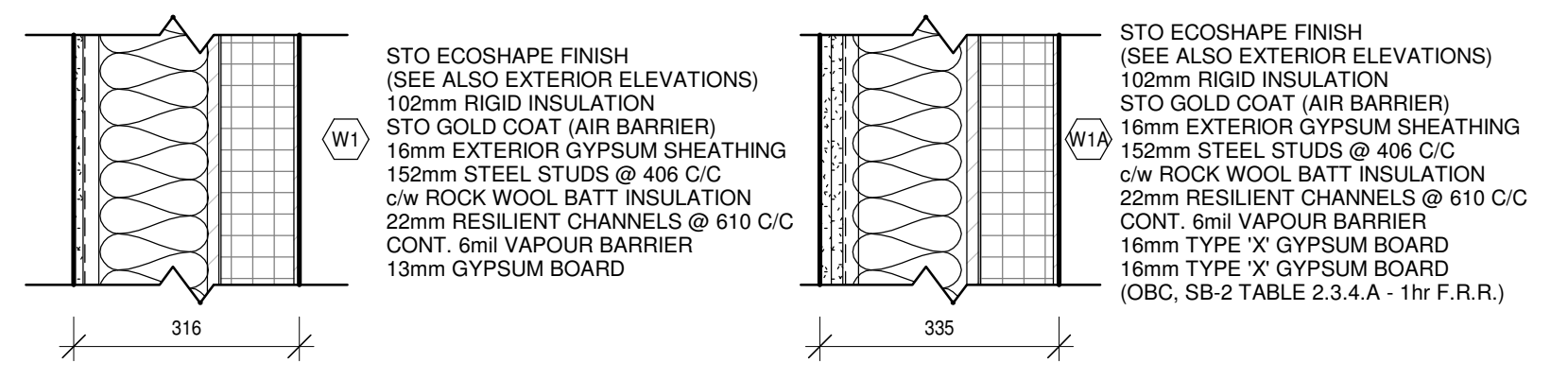
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SCALE: As indicated
FILE:

PROJECT NO. **18811**
DRAWING NO. **A200**

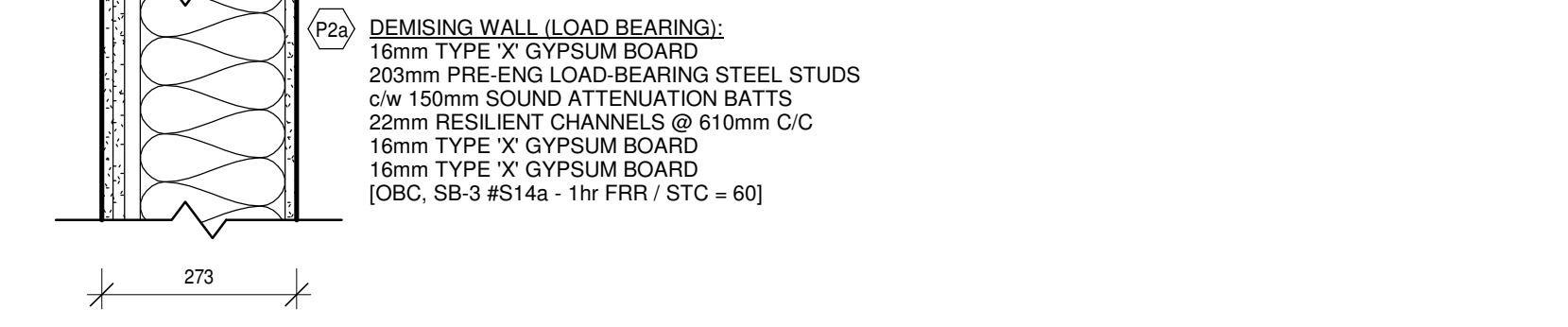
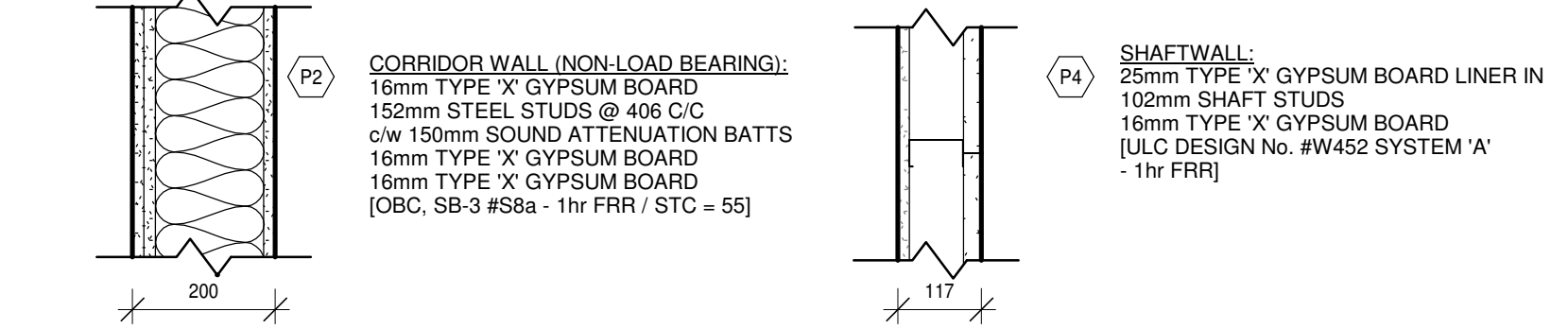
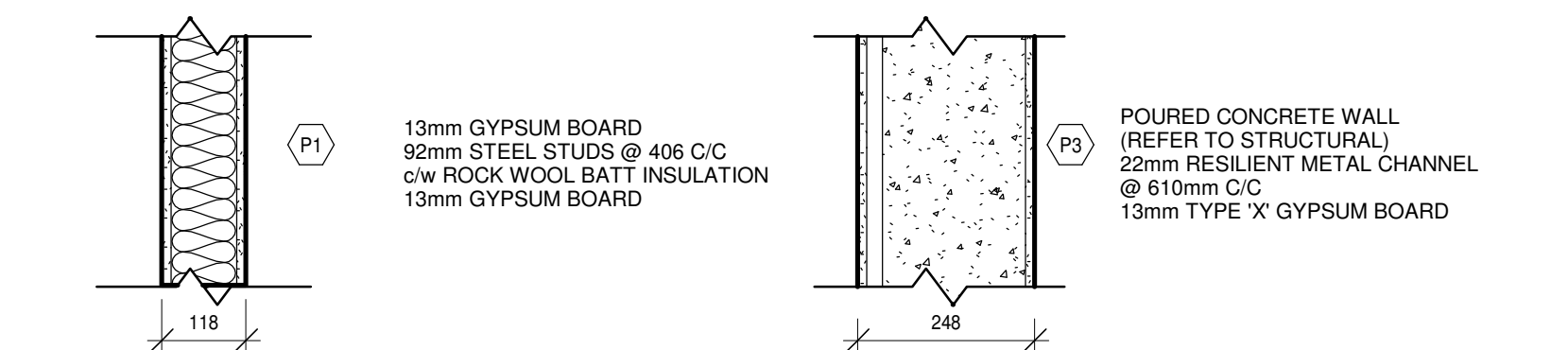


1.2. Second Floor Plan
1-109

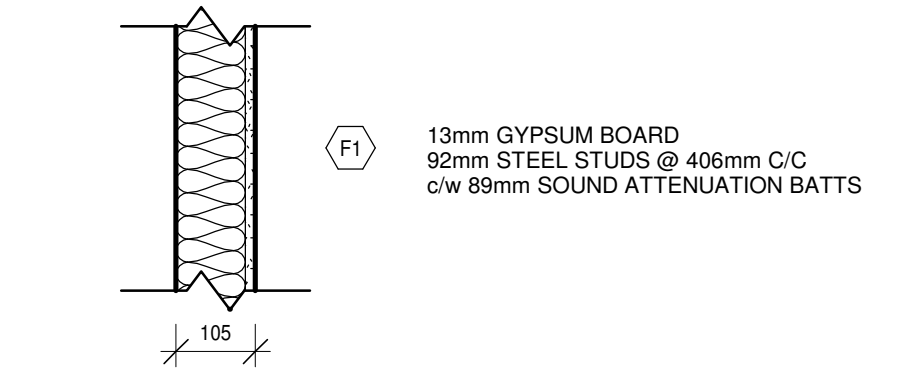
EXTERIOR WALL TYPES



INTERIOR PARTITION TYPES



FURRING TYPES



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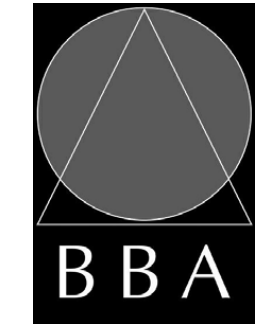
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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
EXPANSION**

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3


DRAWING:
2ND FLOOR PLAN



**BARRY BRYAN
ASSOCIATES**

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Engineers
Project Managers

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Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-arch.com



DESIGN BY:
NS

DRAWN BY:
CM

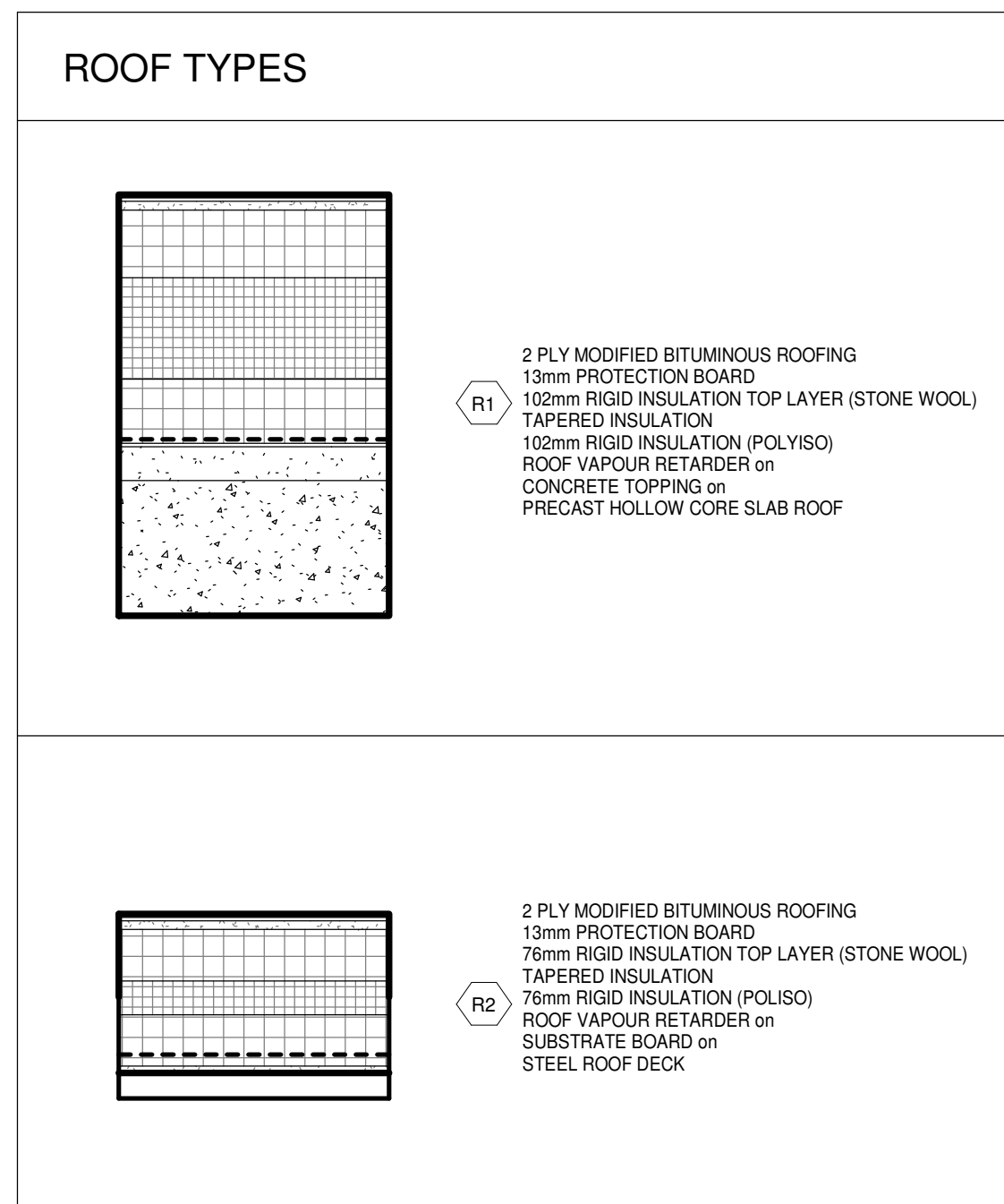
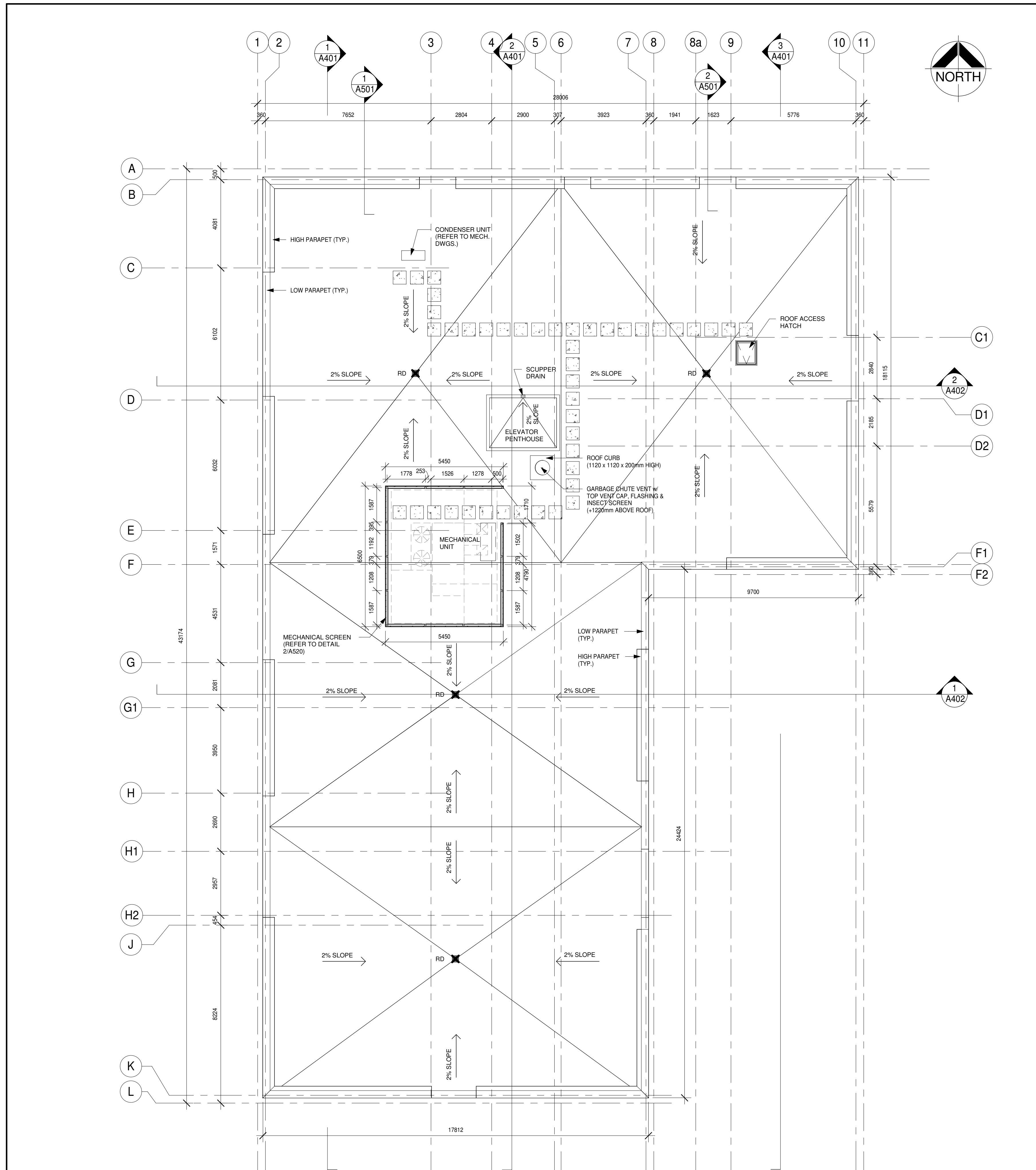
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FILE:

PROJECT NO. **18811** DRAWING NO. **A202**



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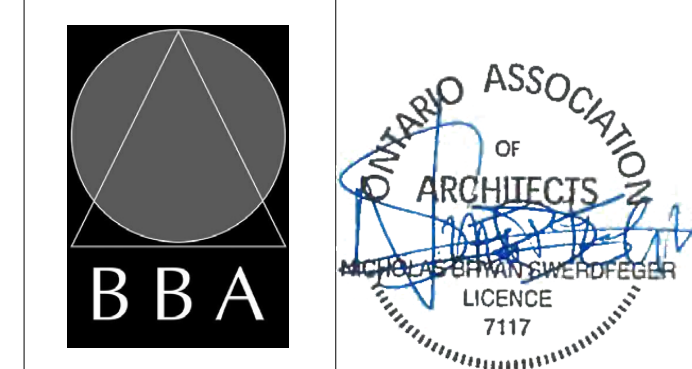
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3	M+E COORDINATION SET	2019-02-20	
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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
 EXPANSION**

153 KING AVE EAST, NEWCASTLE, ON
 L1B 1H3

DRAWING:
ROOF PLAN



DESIGN BY: NS
 DRAWN BY: CM
 CHECKED BY: CM

DATE: 02/15/19
 SCALE: As indicated
 FILE:

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 Whitby Ontario L1N 0G5
 Tel: (905) 666-5252
 Fax: (905) 666-5256
 e-mail: bba@bba-arch.com

PROJECT NO: **18811**
 DRAWING NO: **A204**

NOTE: REFER TO SHEET A901 FOR WASHROOM ACCESSORIES/BARRIER FREE MOUNTING HEIGHTS.

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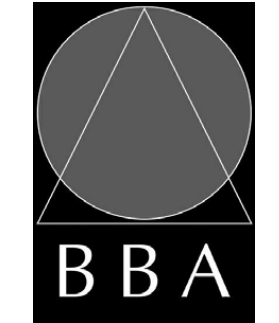
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2	COORDINATION SET	2019-02-13	
3	M+E COORDINATION SET	2019-02-20	
4	FOR PERMIT	2019-03-11	
5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

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PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
UNIT PLANS 1



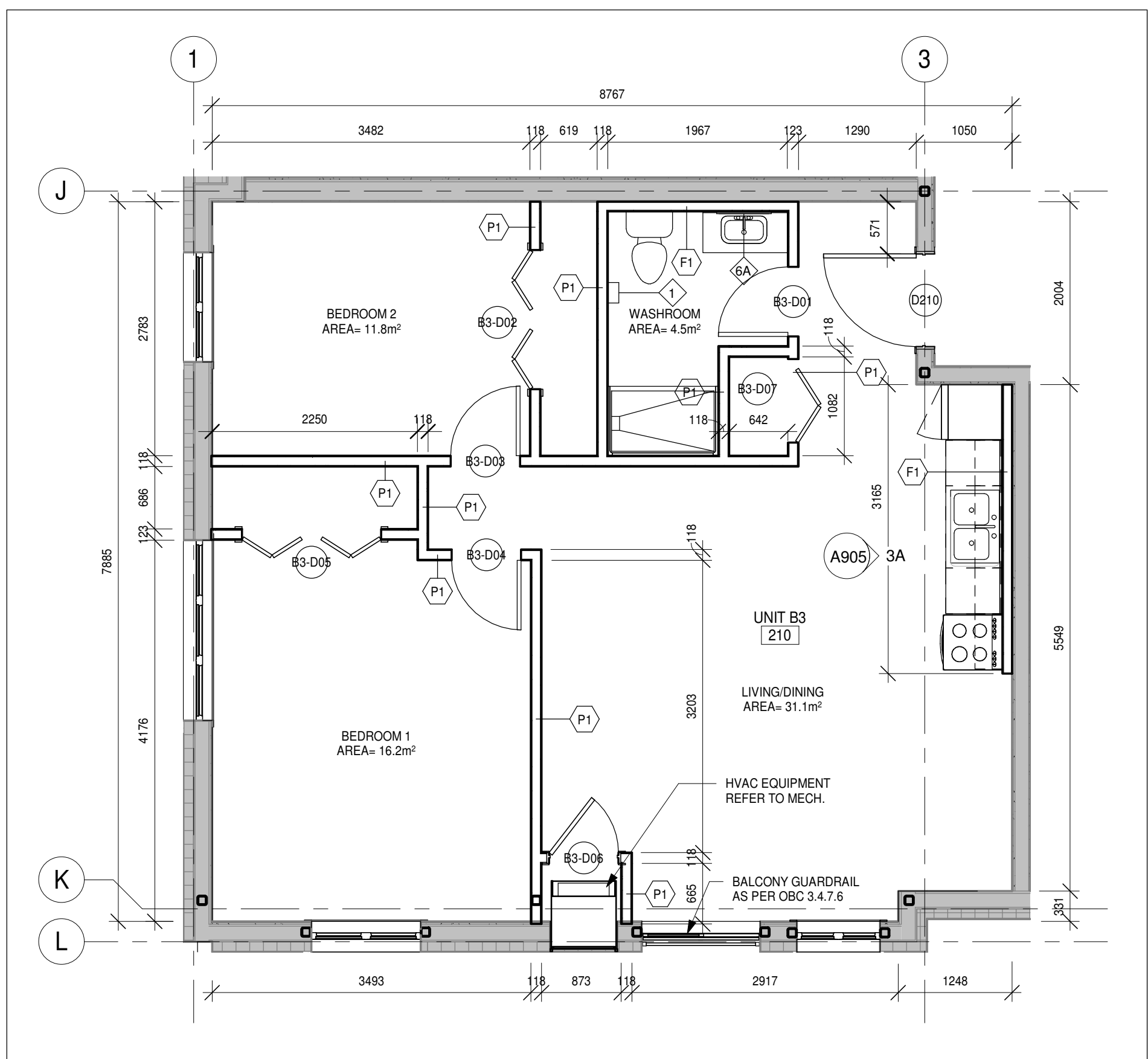
BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers



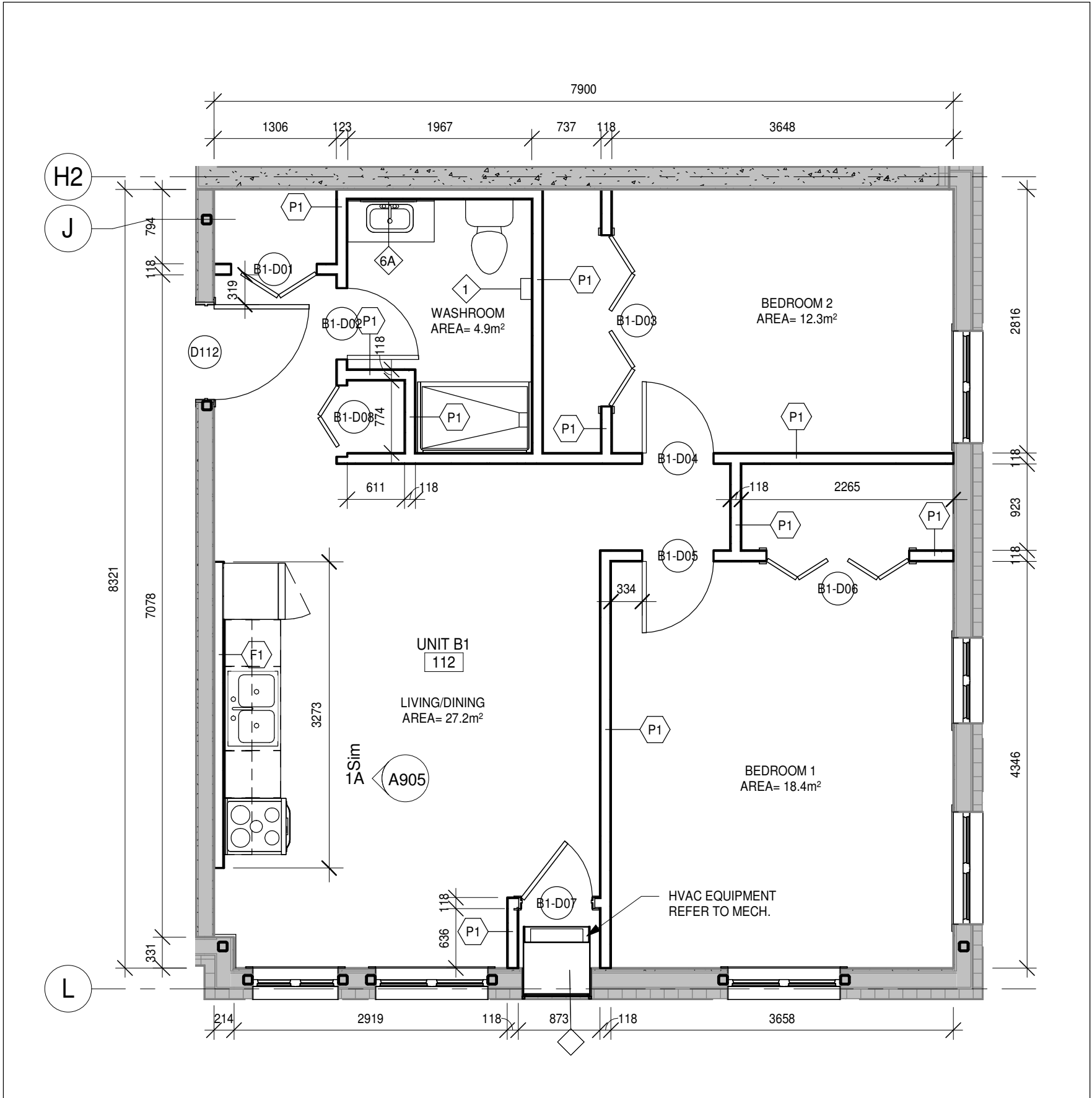
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DRAWN BY: [Signature]
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DATE: 02/15/19
SCALE: 1 : 50
FILE:

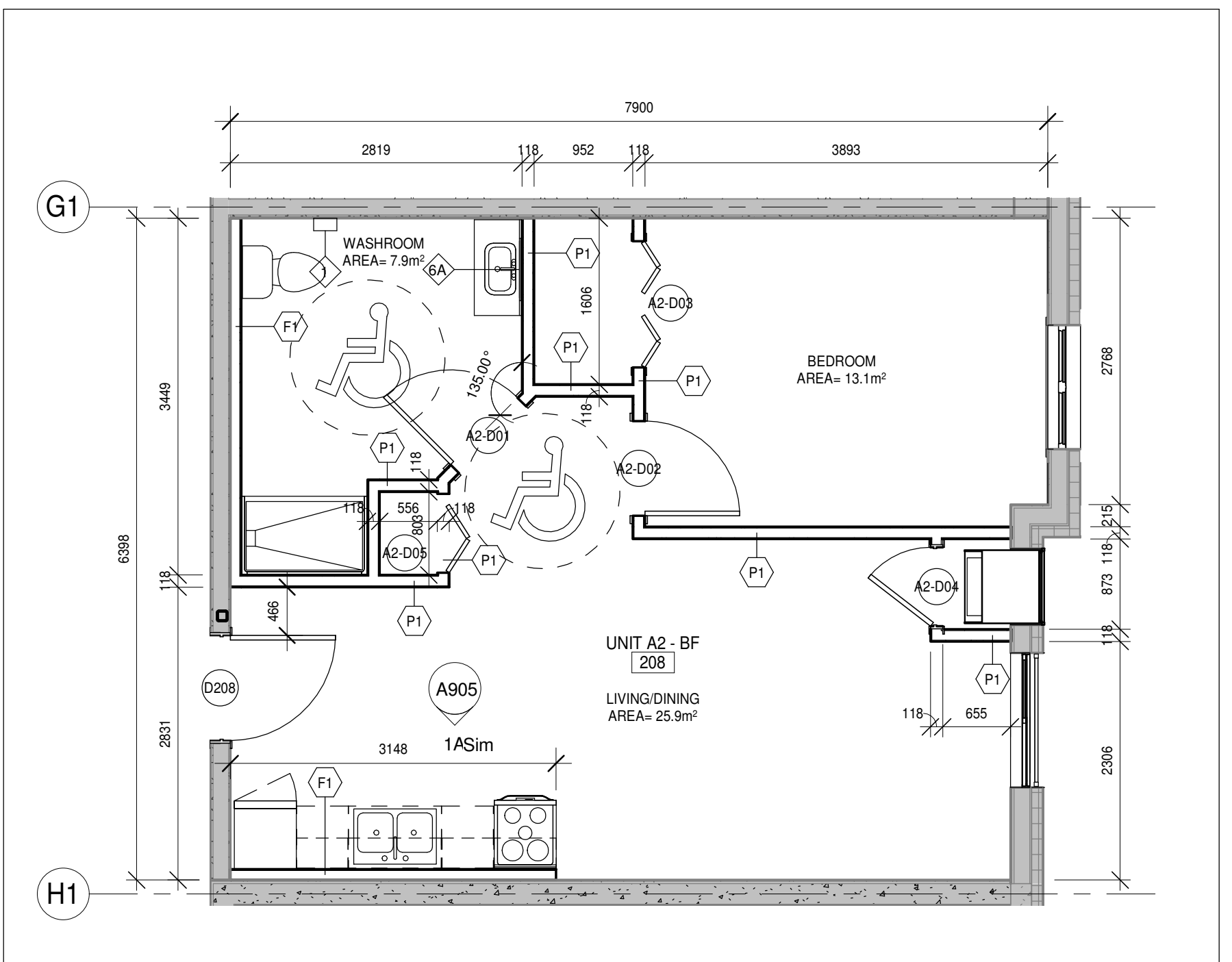
PROJECT NO. **18811** DRAWING NO. **A205**



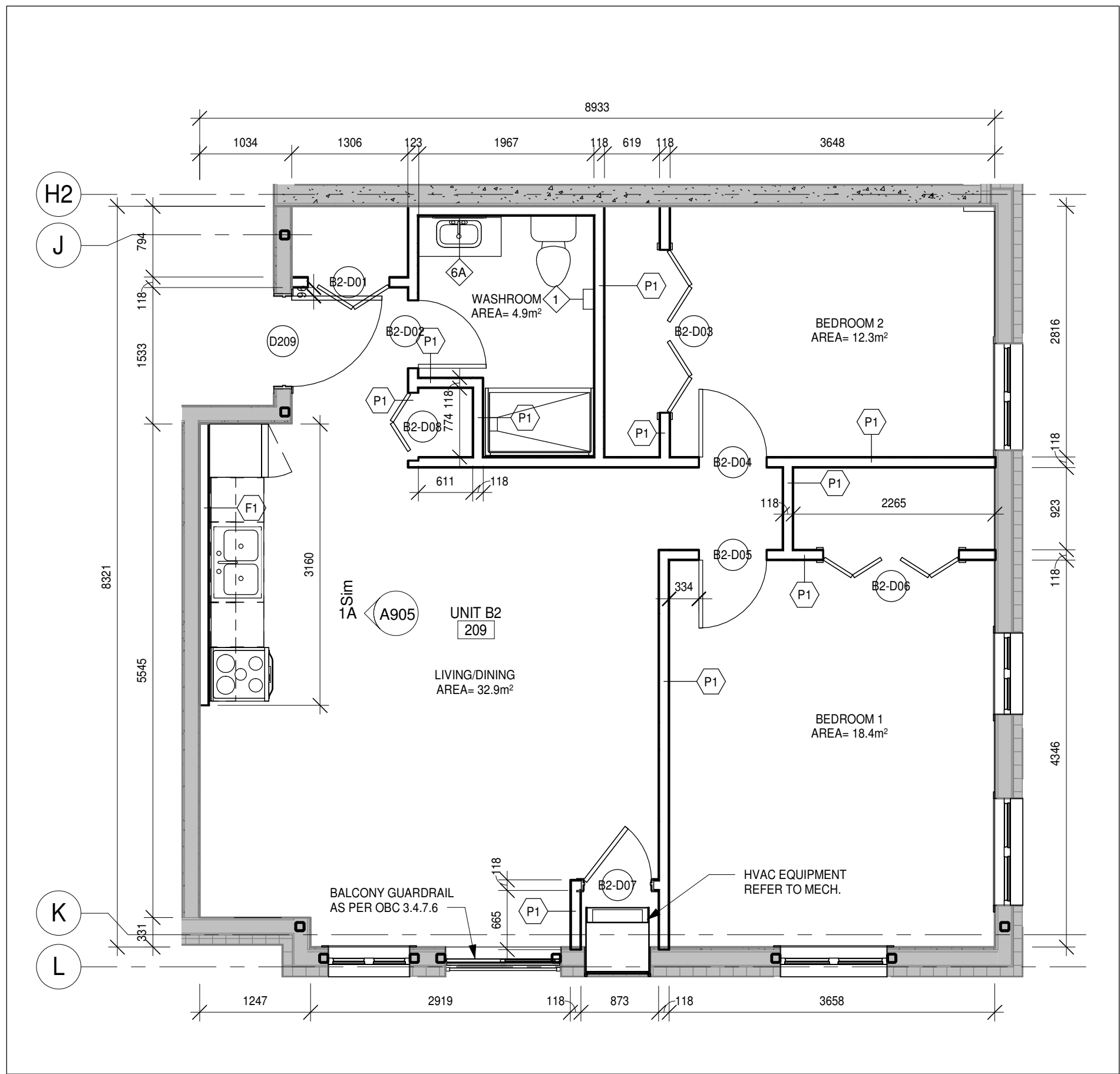
6 Unit B3
A205 1:50



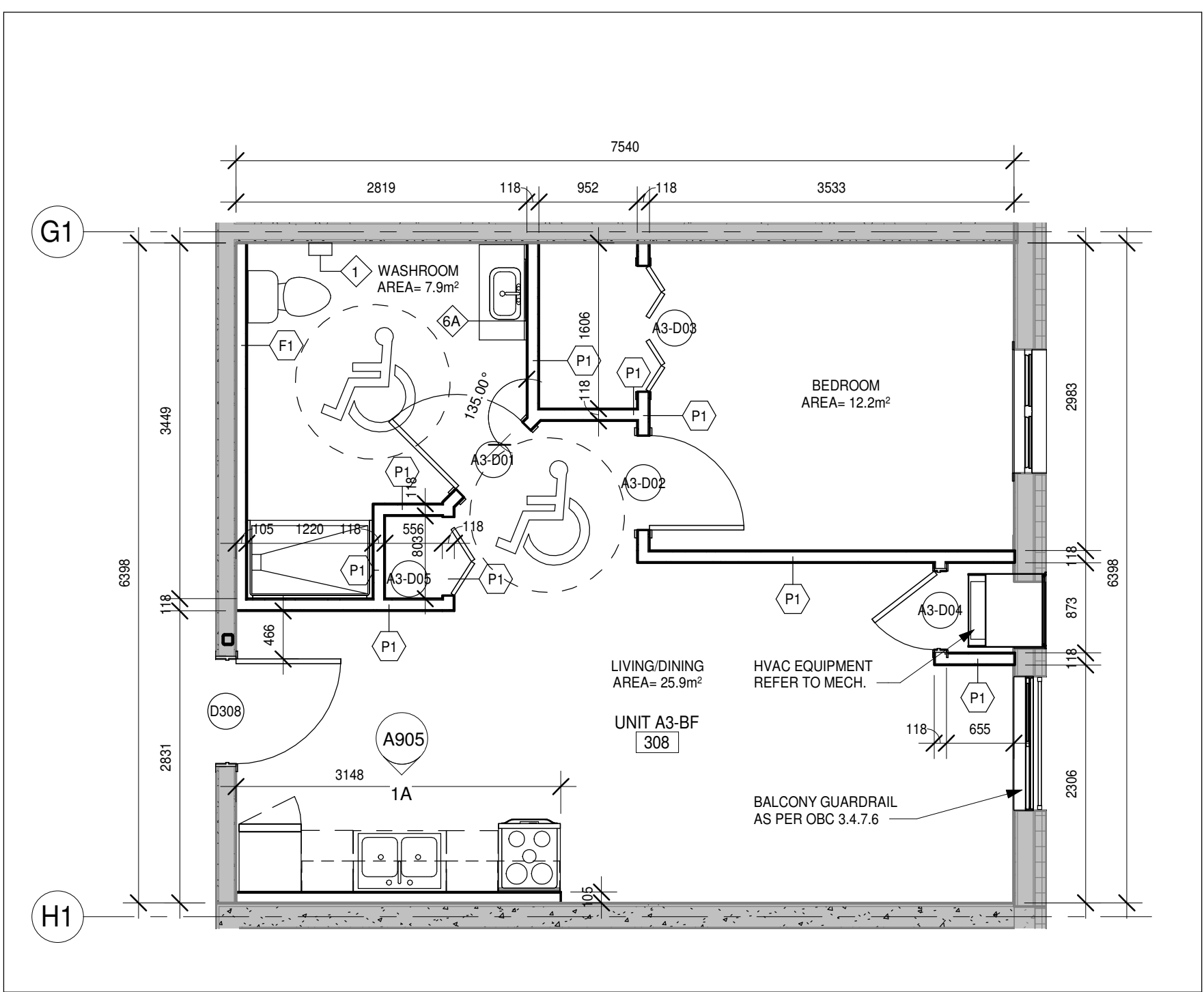
4 Unit B1
A205 1:50



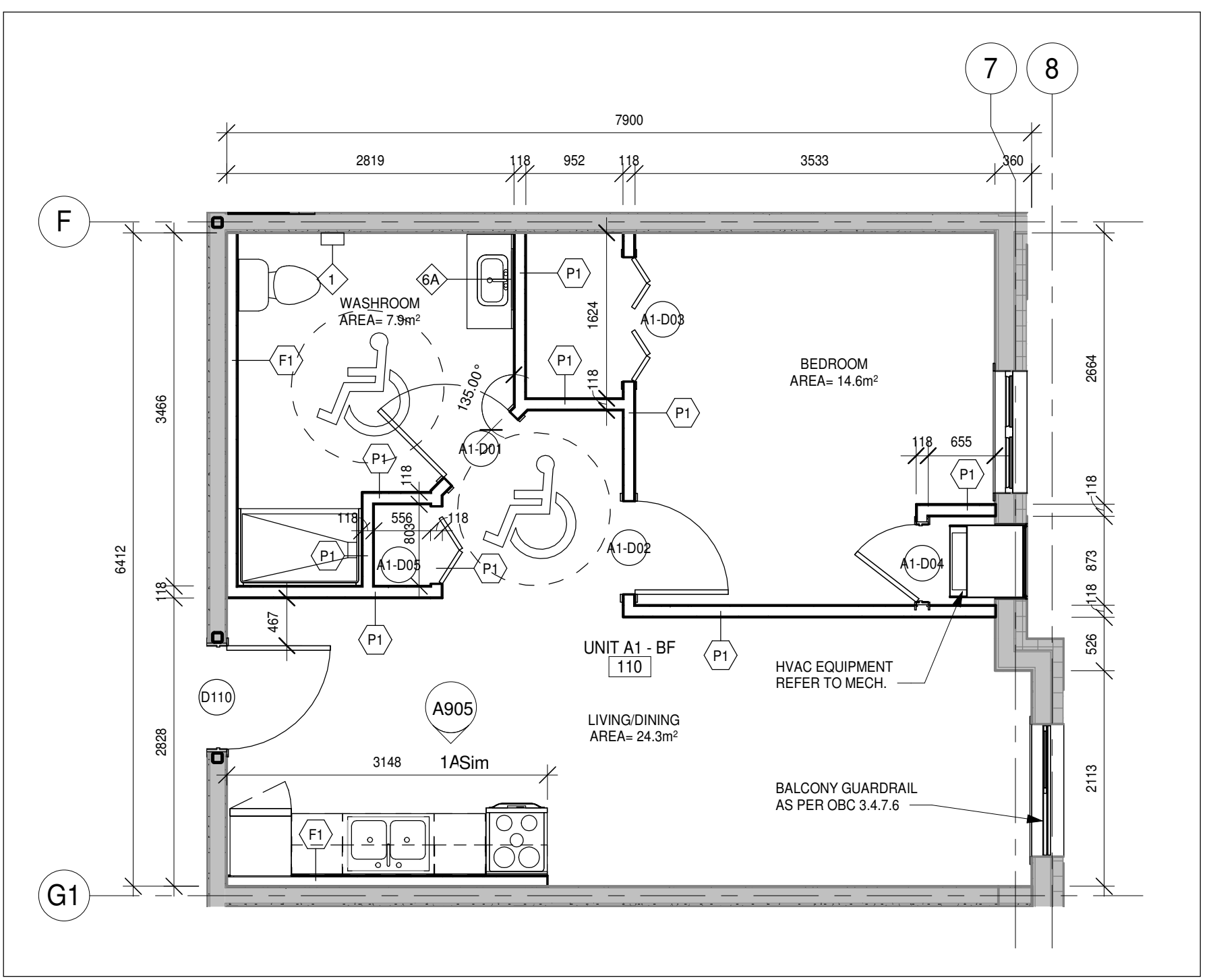
2 Unit A2-BF (111 SIMILAR)
A205 1:50



5 Unit B2
A205 1:50



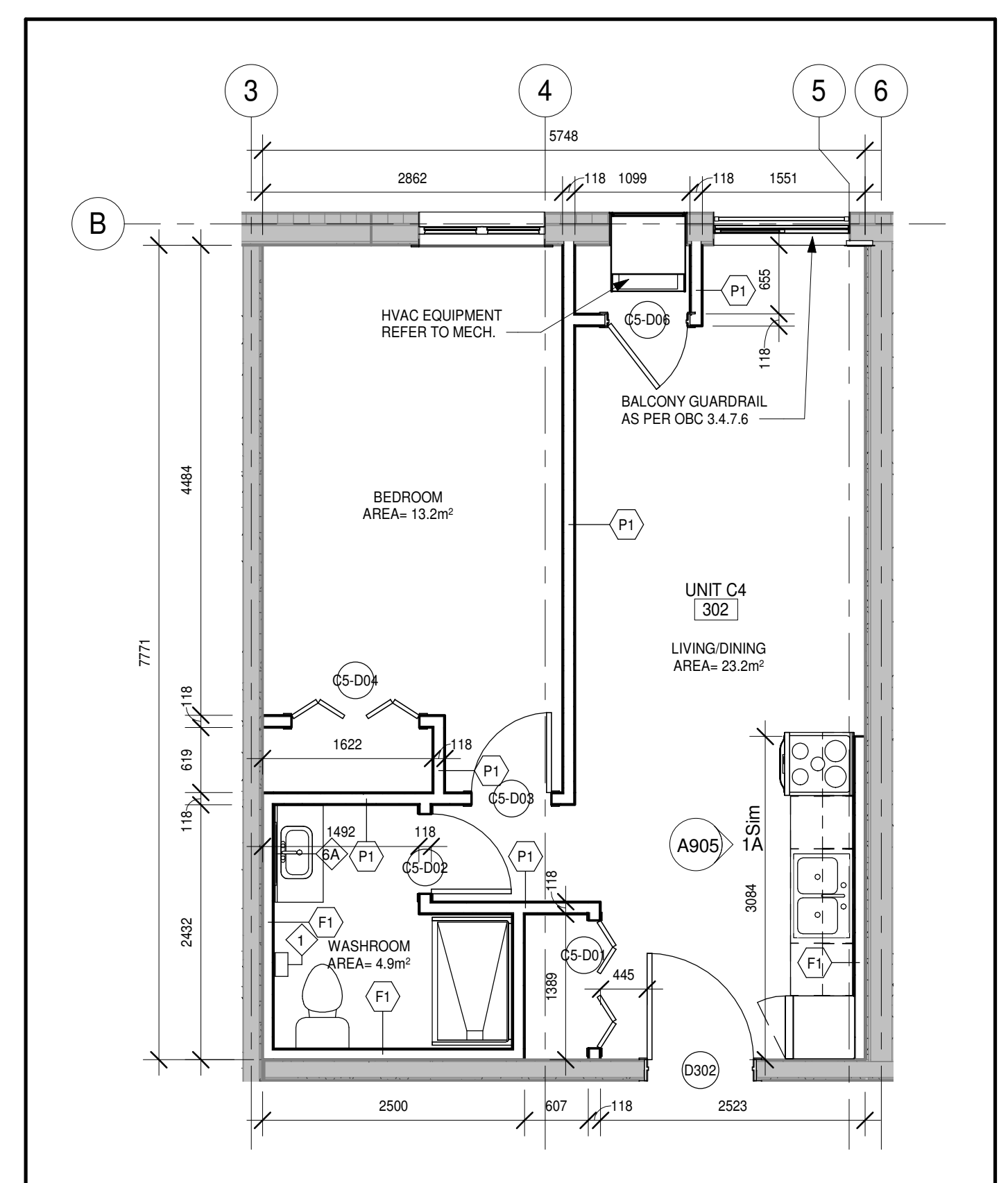
3 Unit A3-BF
A205 1:50



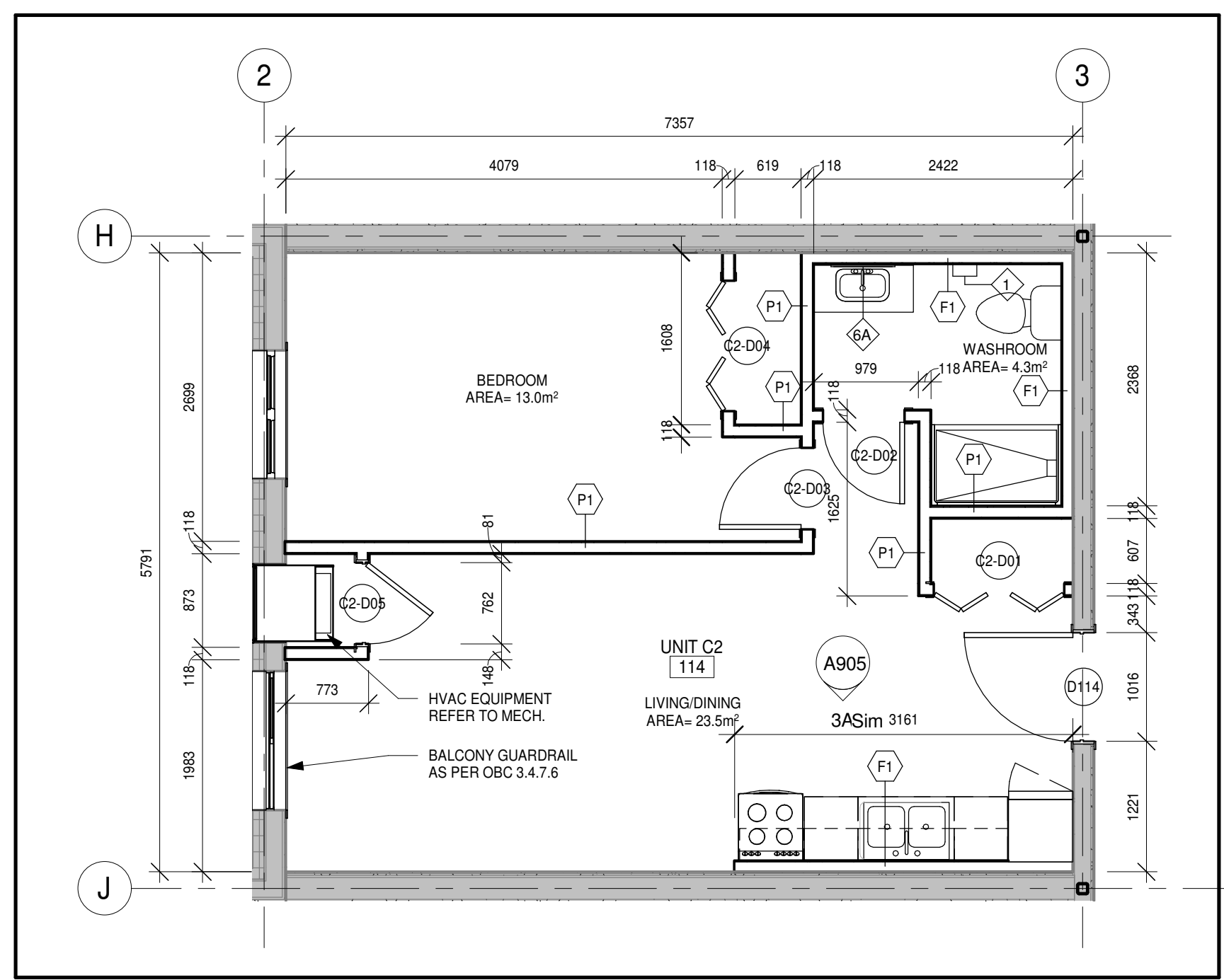
1 Unit A1-BF
A205 1:50

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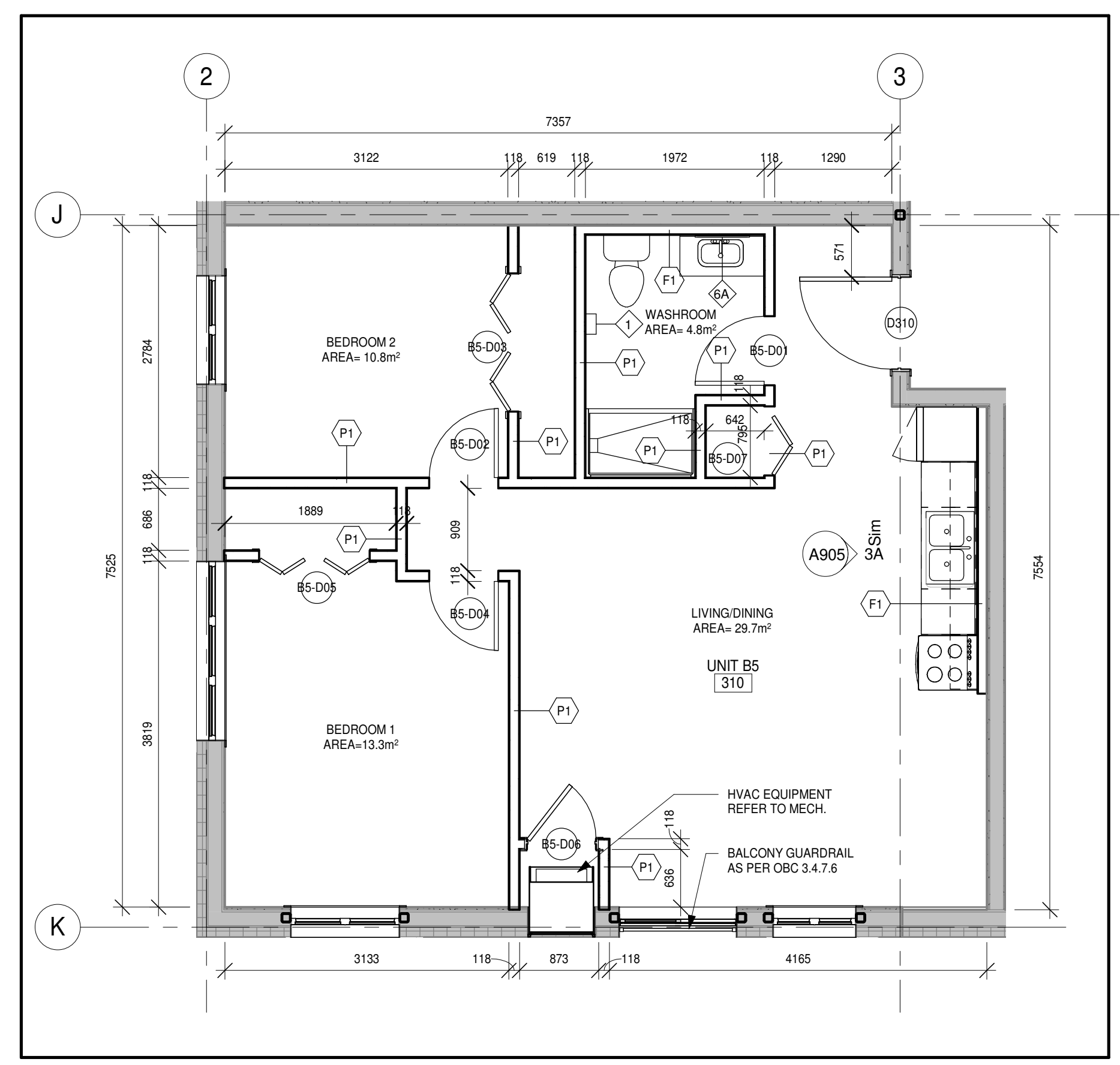
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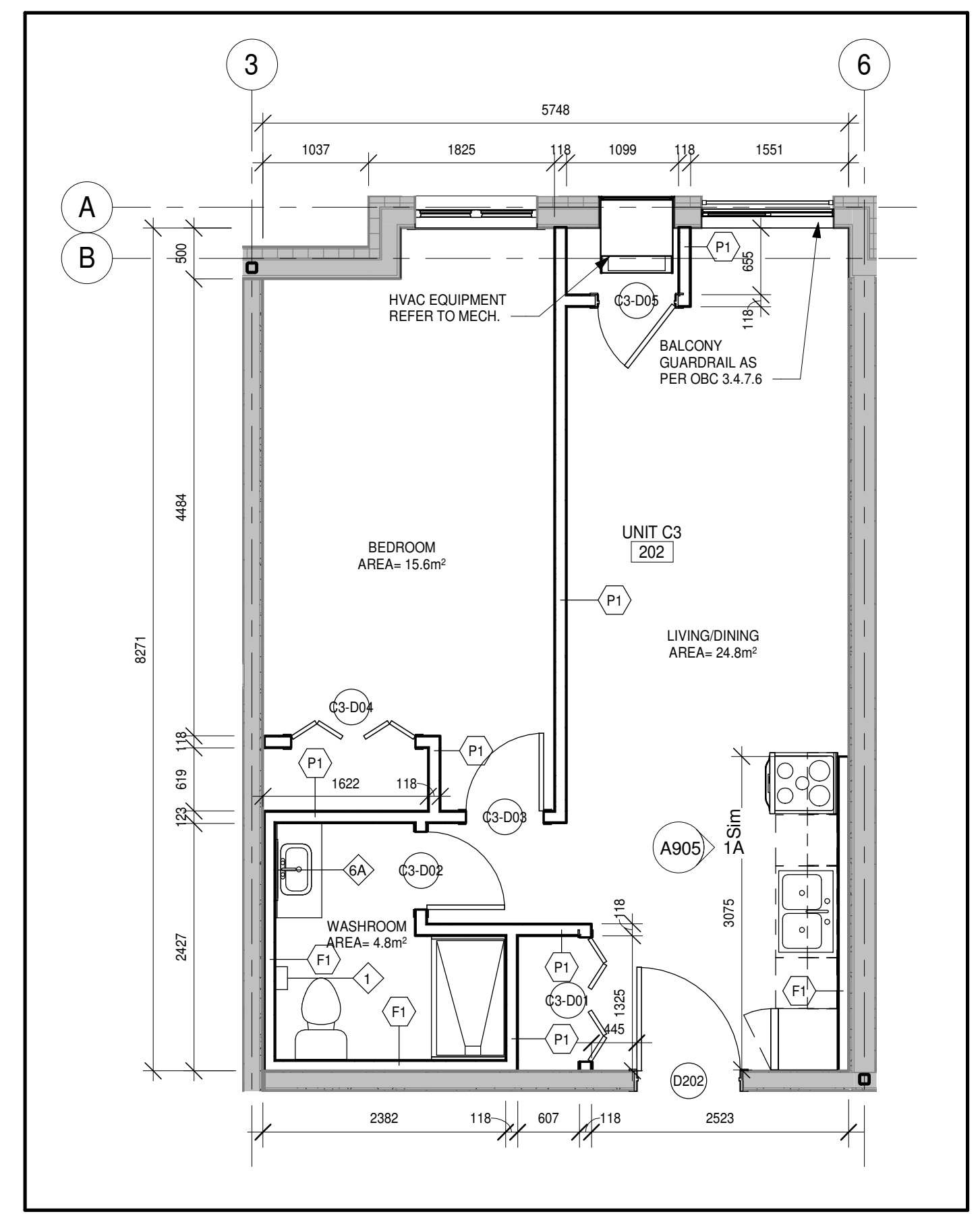
6 Unit C4
A206 1:50



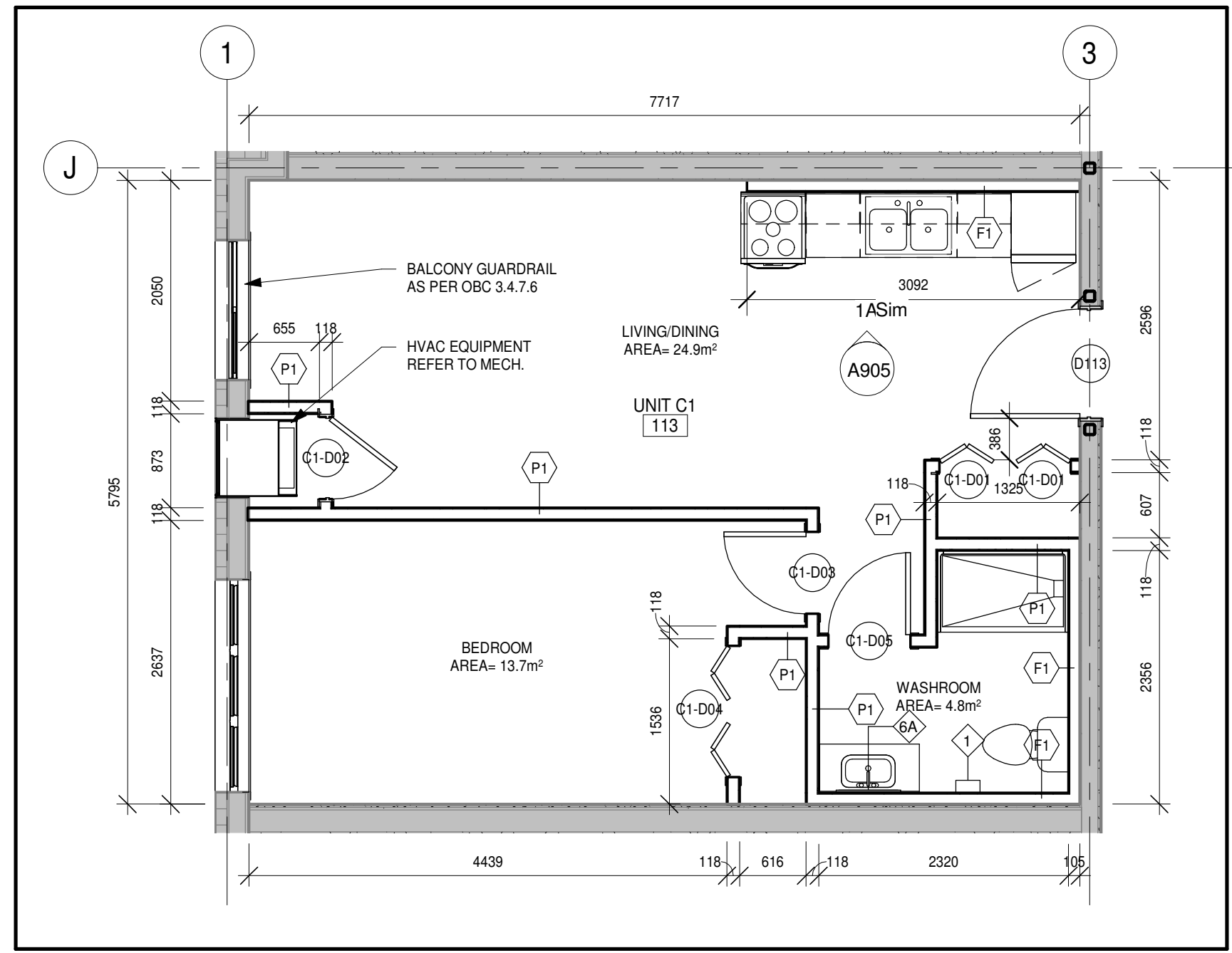
4 Unit C2 (116, 118, 211, 213, 311, 312, 313 & 314 SIMILAR)
A206 1:50



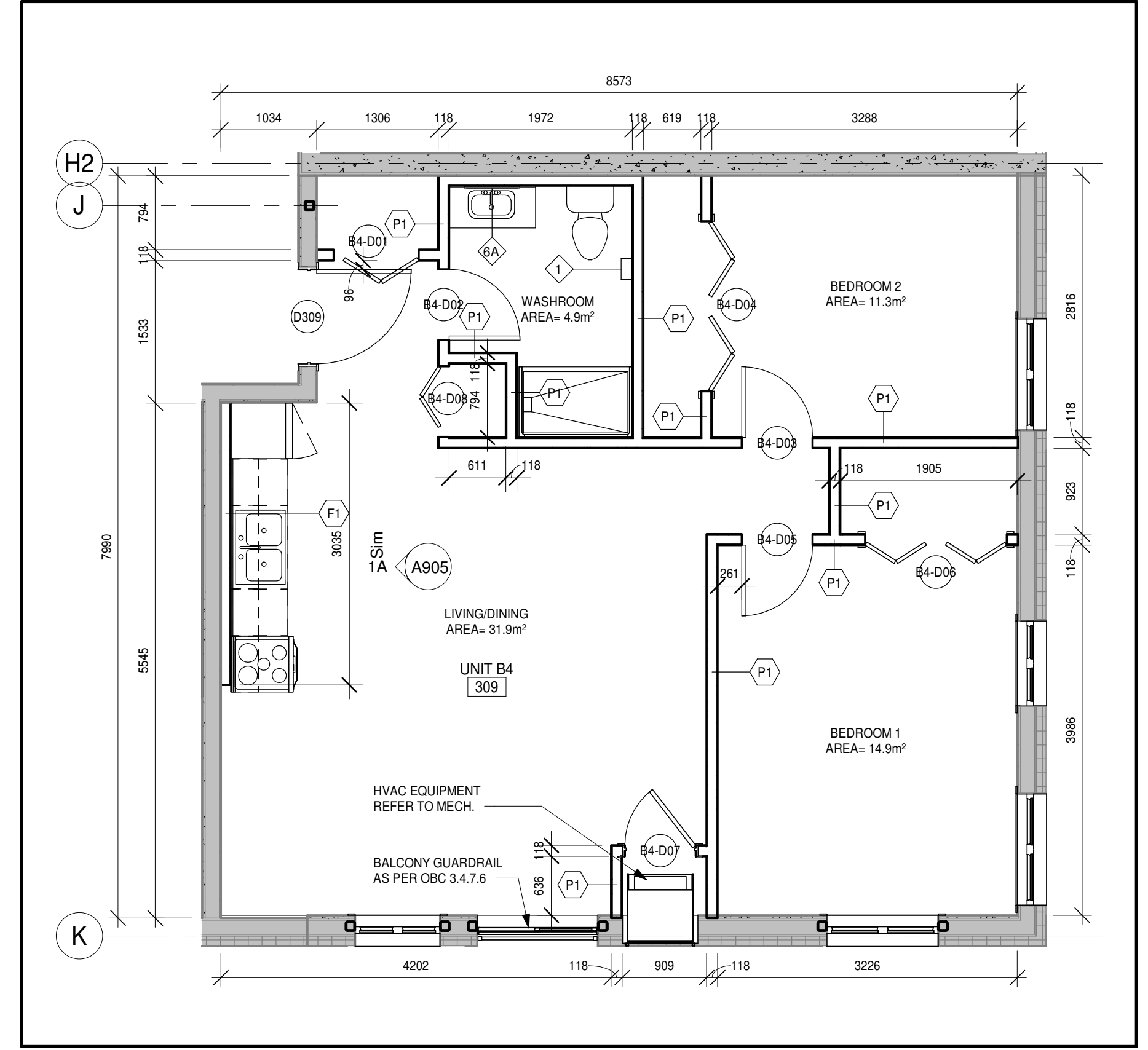
2 Unit B5
A206 1:50



5 Unit C3
A206 1:50



3 Unit C1 (115, 117, 212 & 214 SIMILAR)
A206 1:50



1 Unit B4
A206 1:50


NO.	ISSUES	DATE	BY
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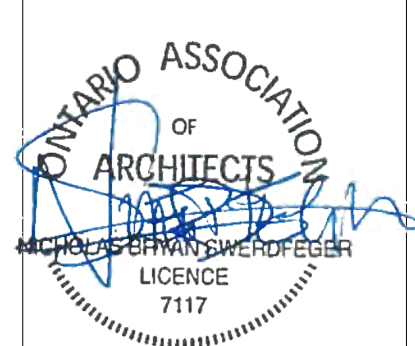
PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
UNIT PLANS 2



BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers



DESIGN BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]

DATE: 02/15/19
SCALE: 1:50
FILE:

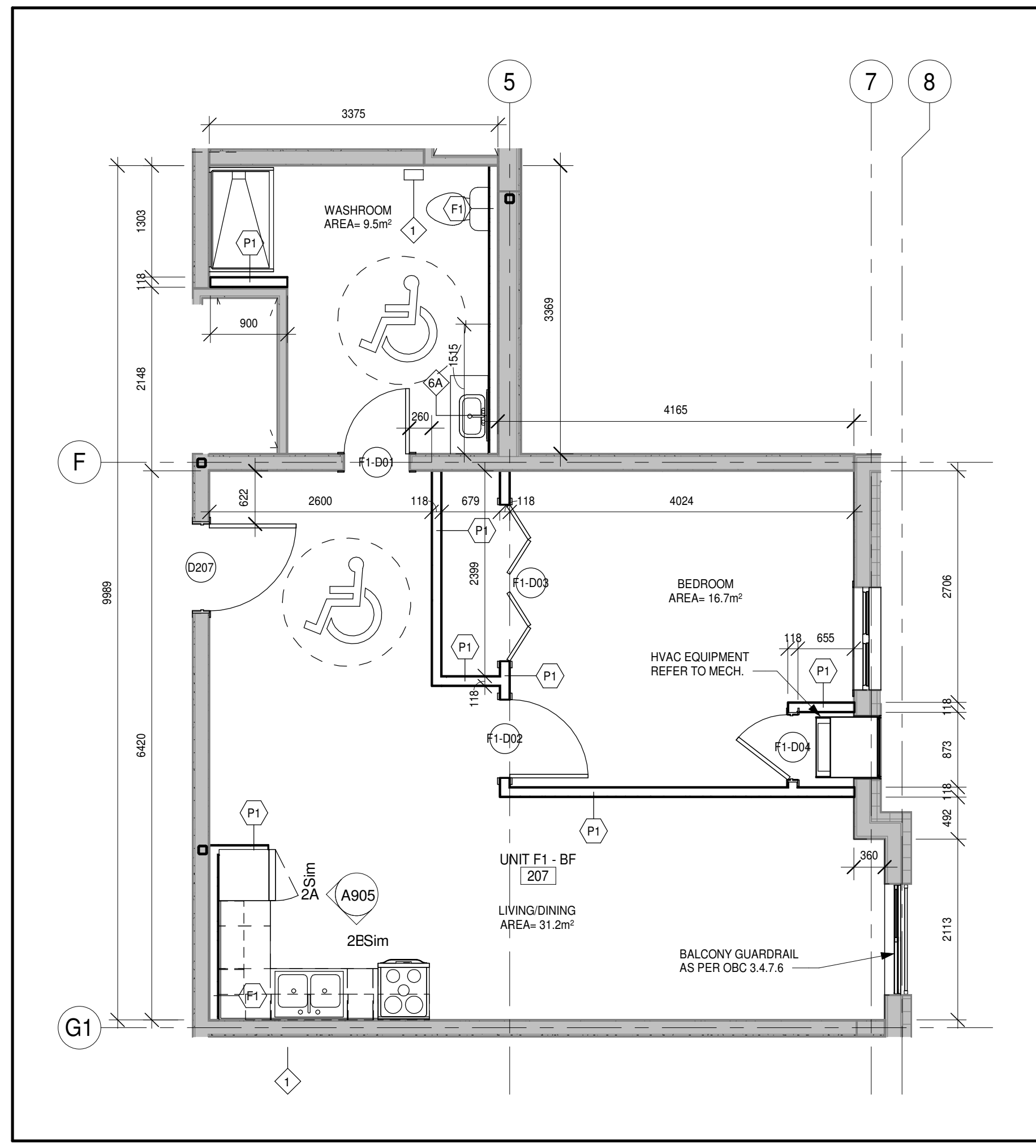
PROJECT NO. **18811** DRAWING NO. **A206**

NOTE: REFER TO SHEET A901 FOR WASHROOM ACCESSORIES/BARRIER FREE MOUNTING HEIGHTS.

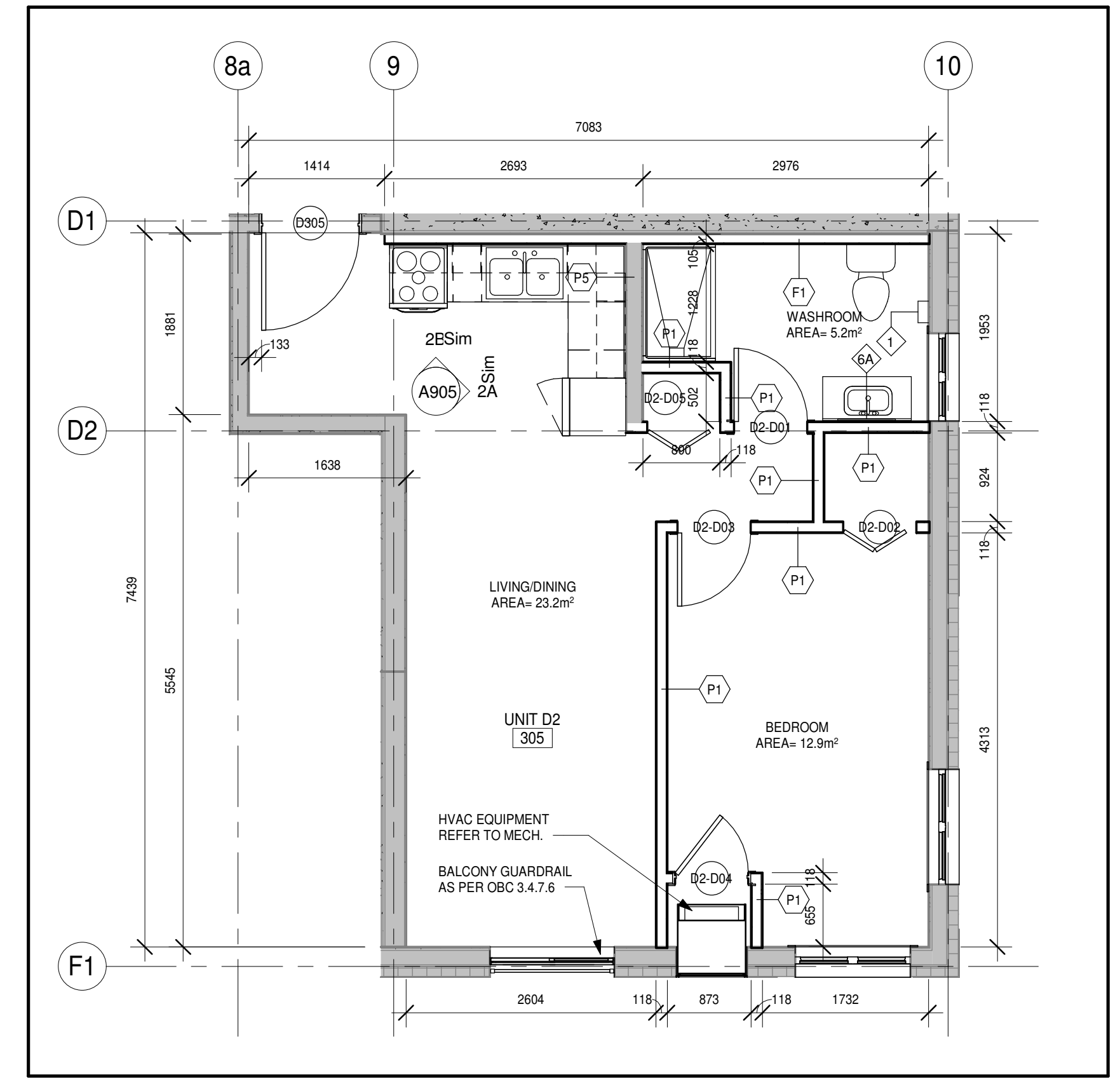
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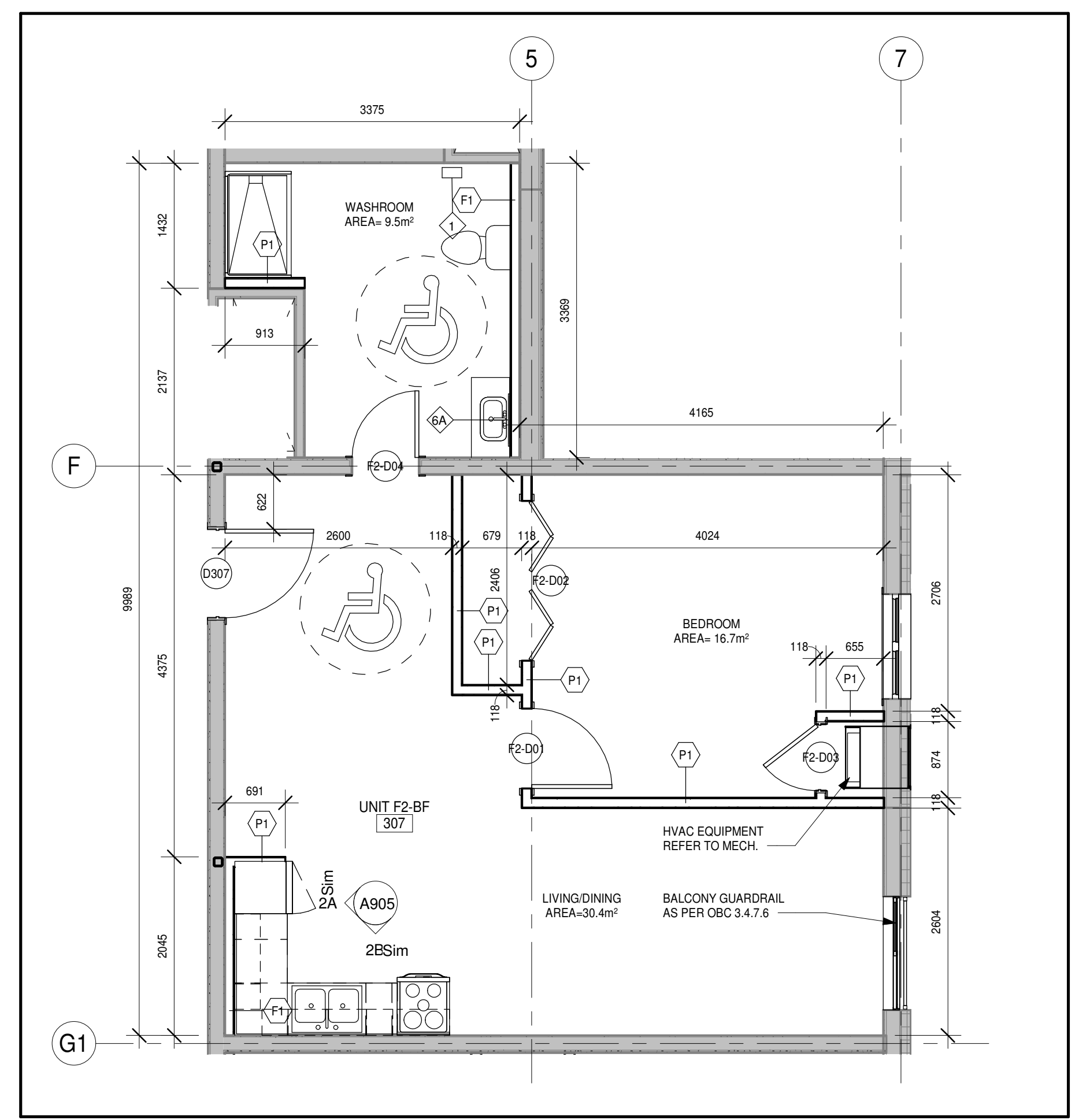
NO.	REVISIONS	DATE	BY



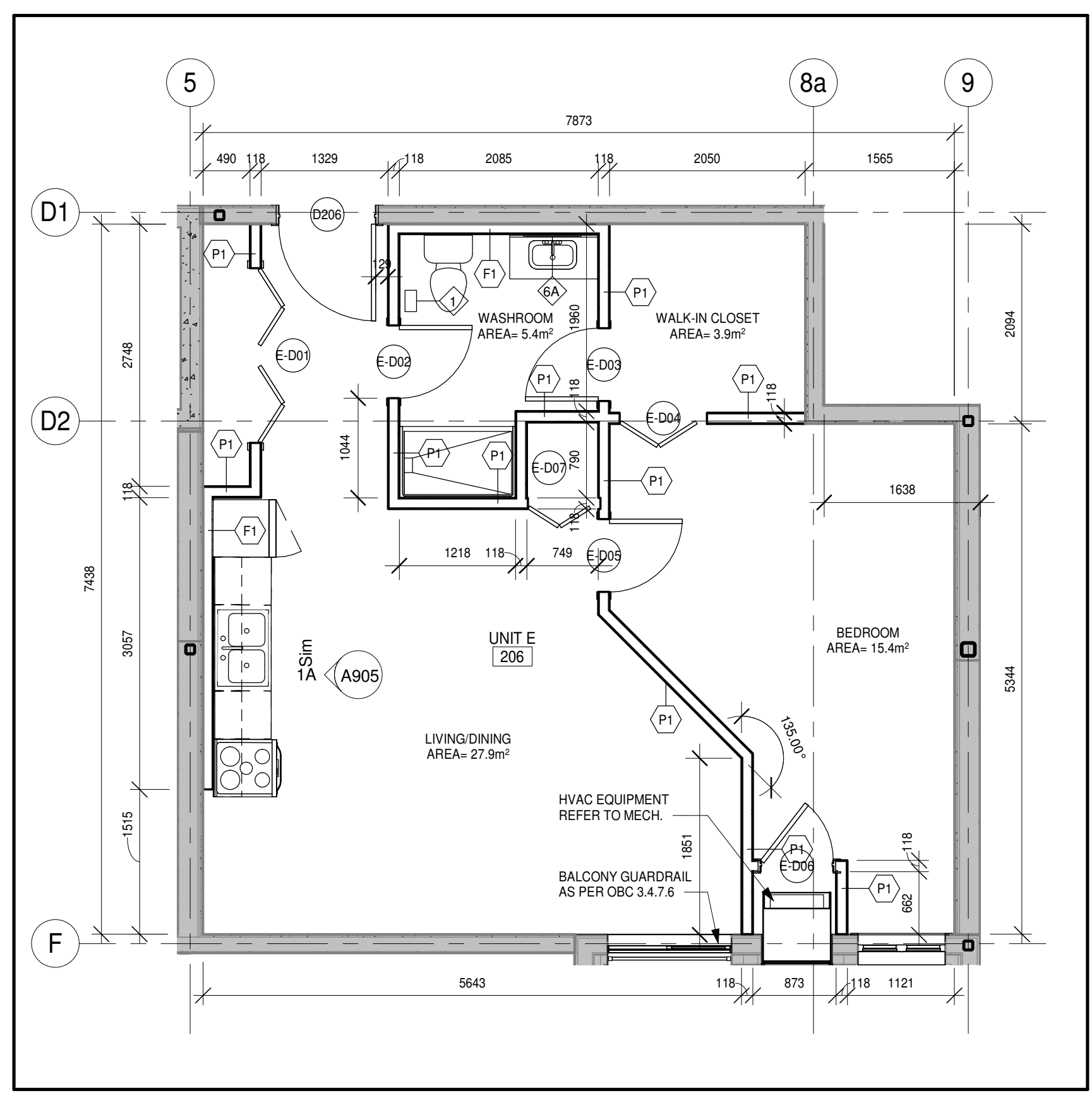
4 Unit F1-BF
A207 1:50



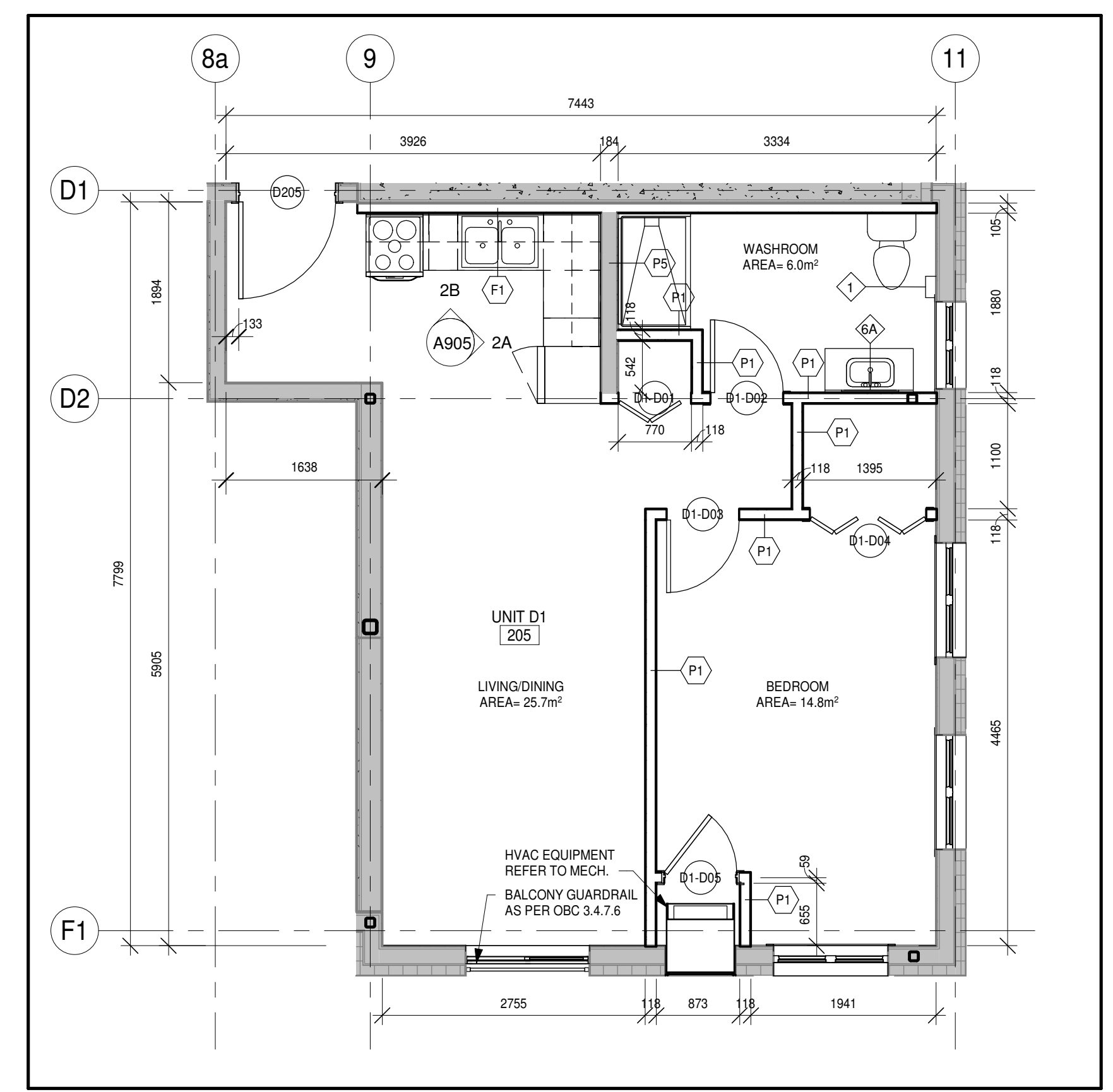
2 Unit D2
A207 1:50



5 Unit F2-BF
A207 1:50



3 Unit E (306 SIMILAR)
A207 1:50

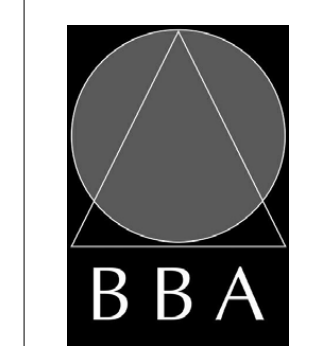


1 Unit D1
A207 1:50

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
UNIT PLANS 3



BARRY BRYAN ASSOCIATES

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FILE:

PROJECT NO. **18811**
DRAWING NO. **A207**

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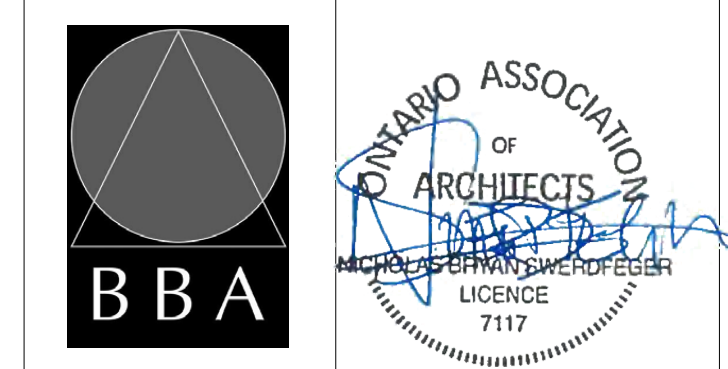
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NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

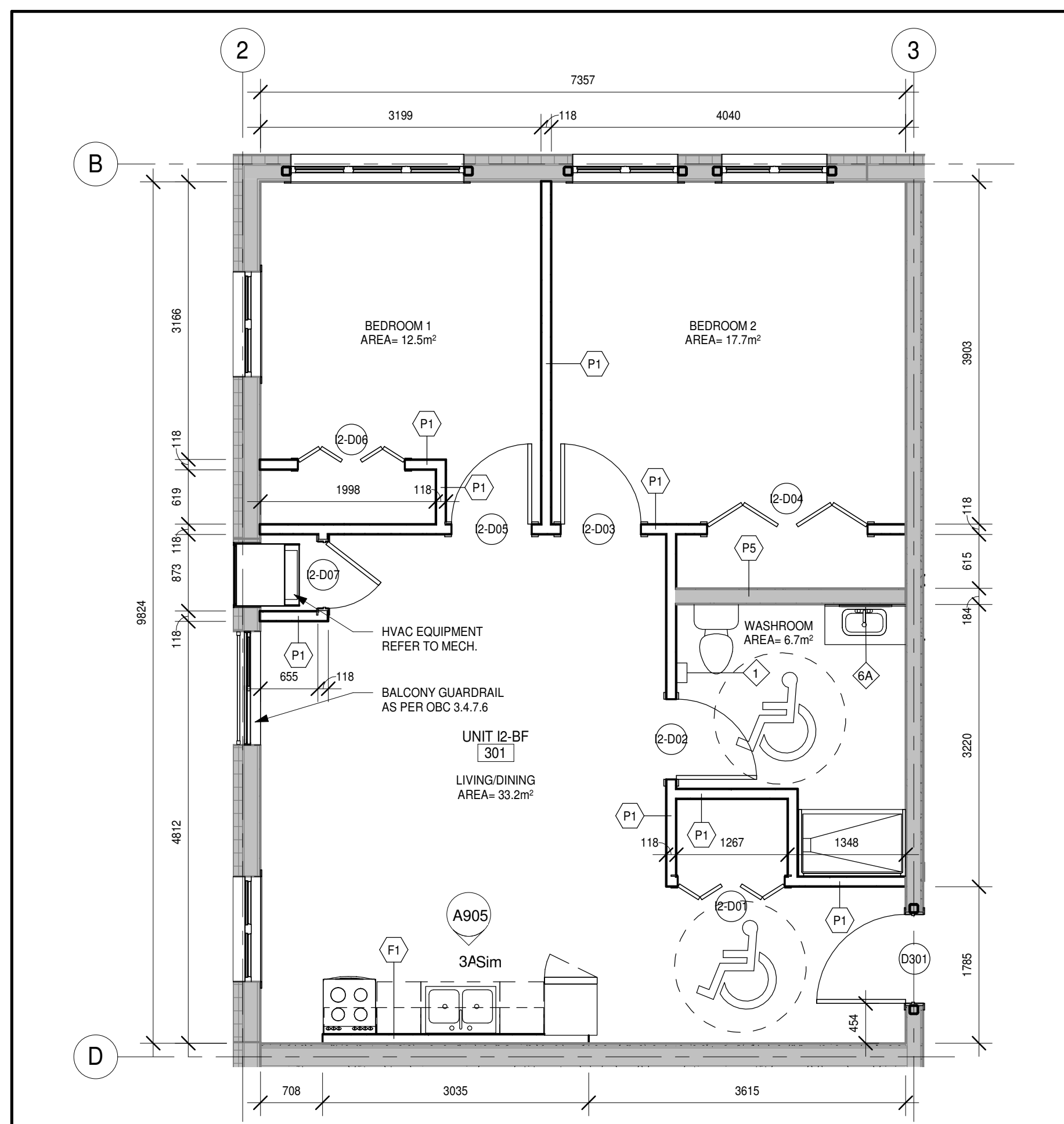
DRAWING:
UNIT PLANS 4



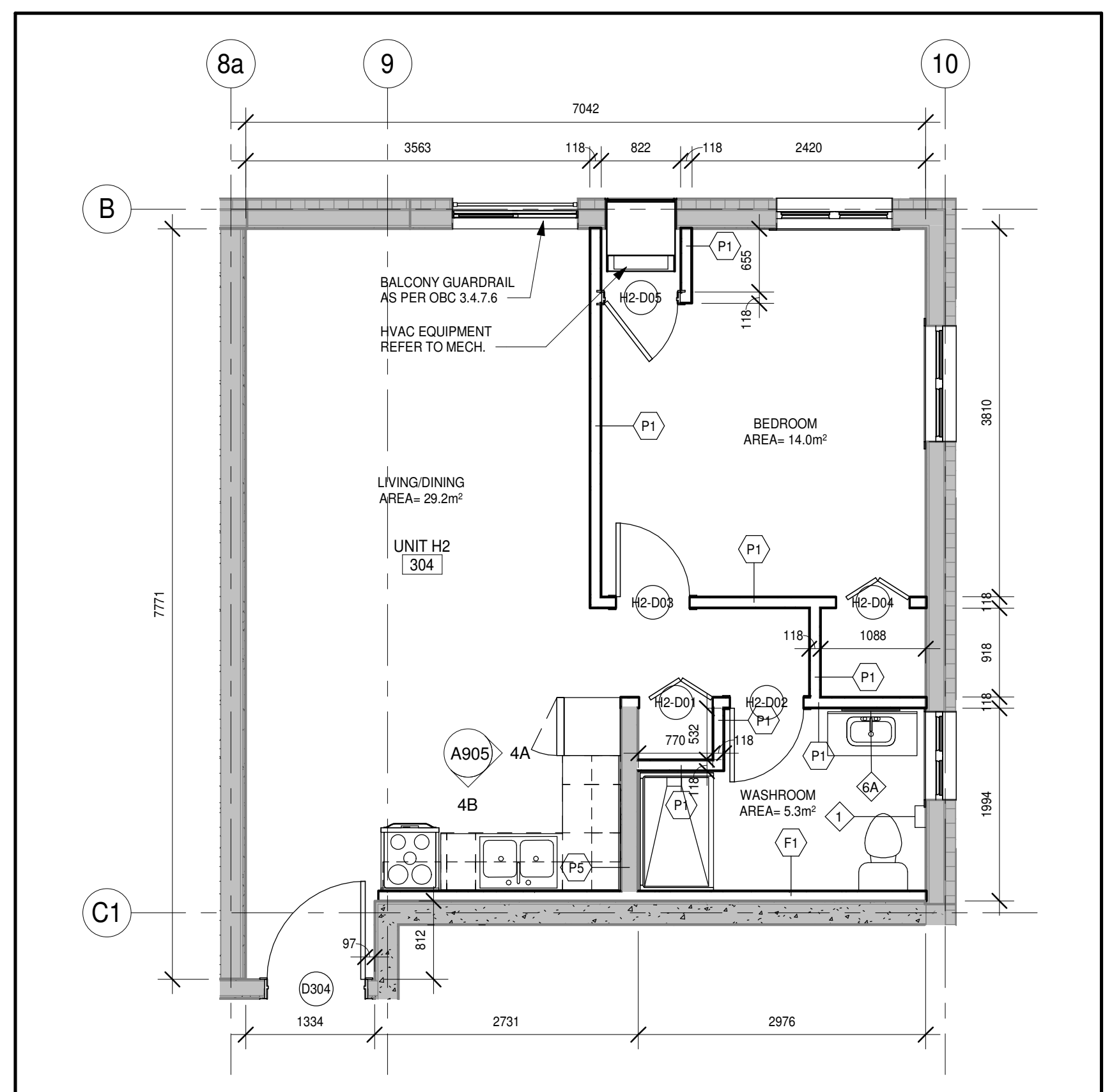
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DATE: 05/14/19
SCALE: 1:50
FILE:

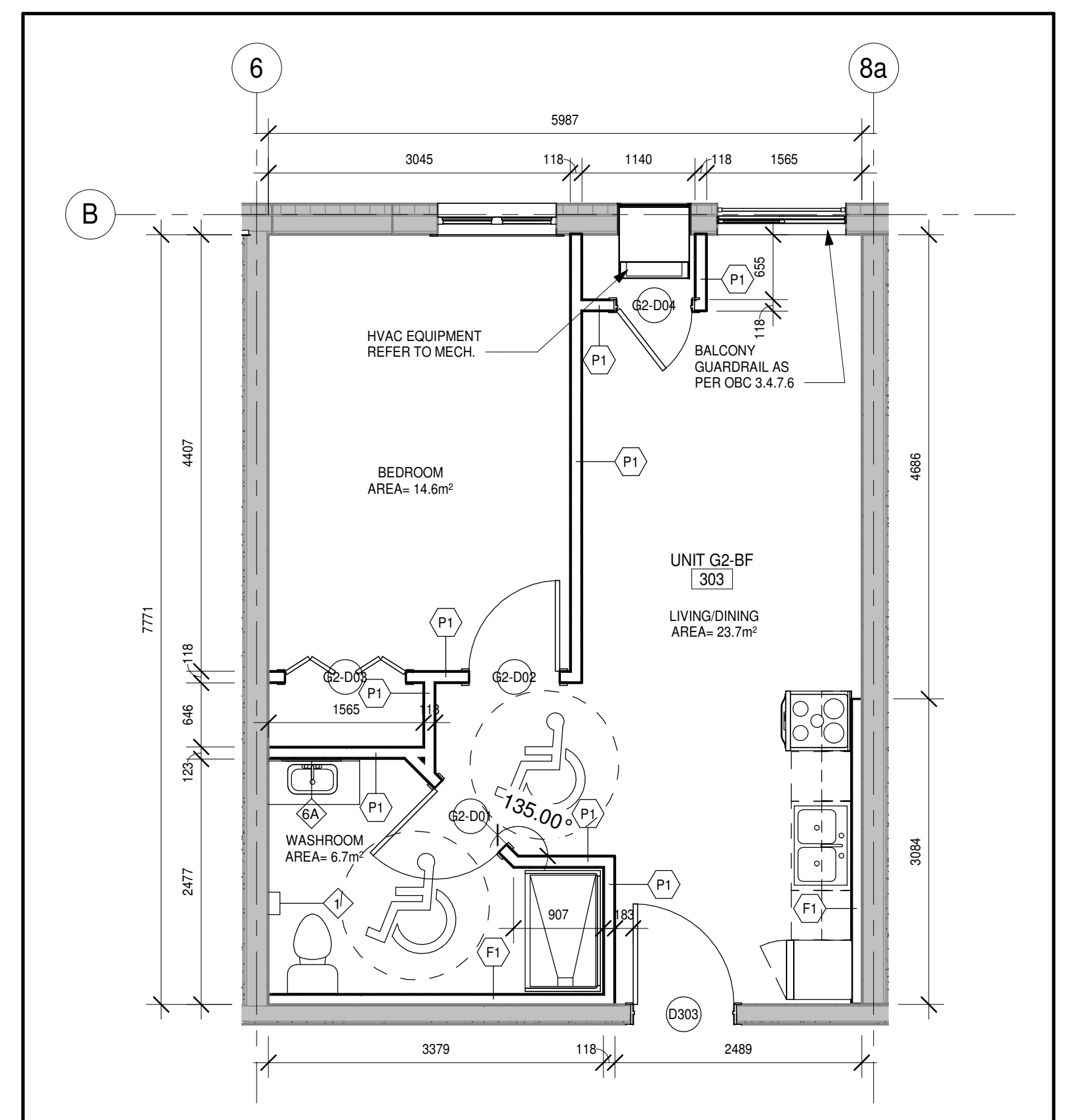
PROJECT NO: **18811**
DRAWING NO: **A208**



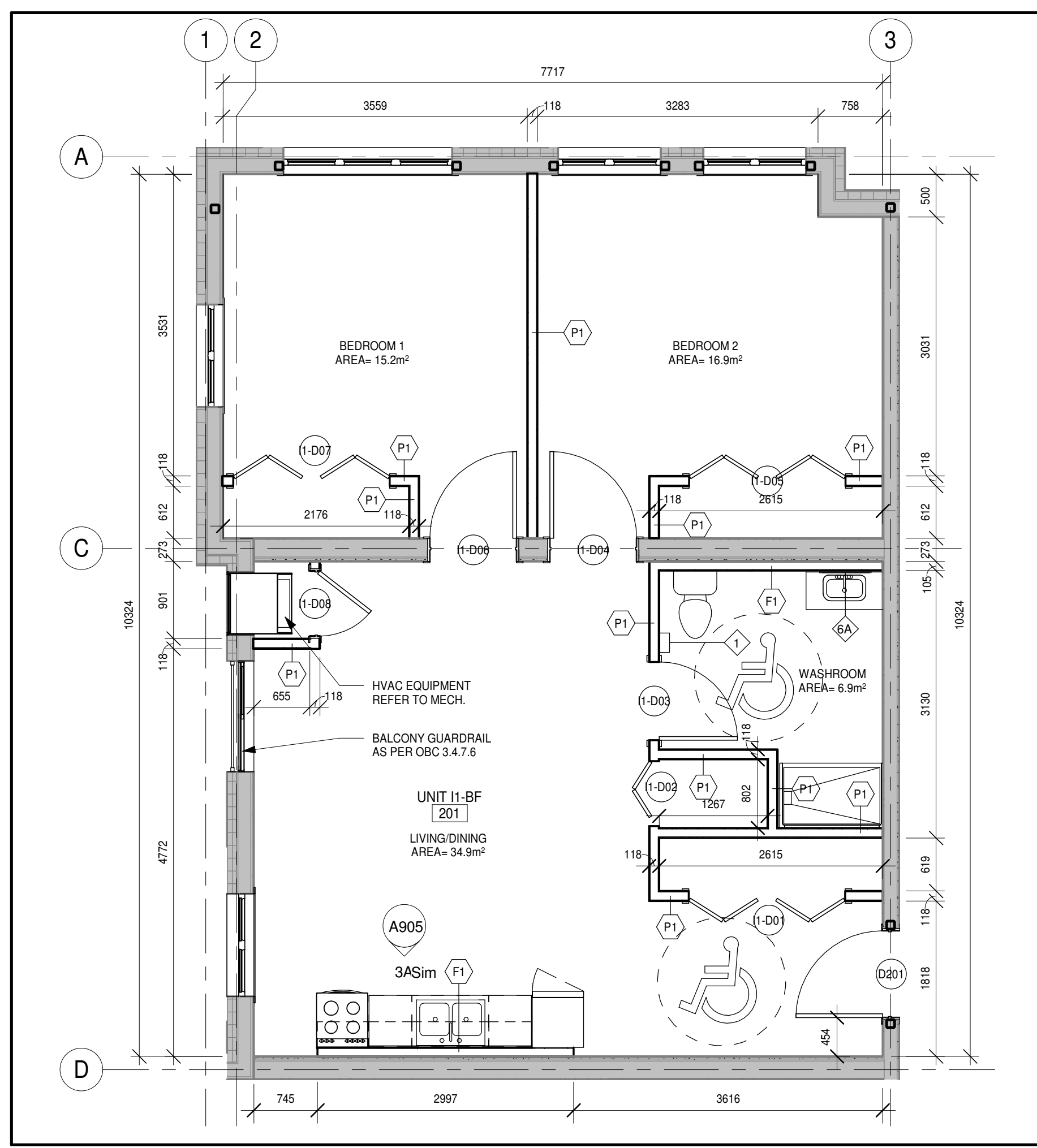
6 Unit I2-BF
A208 1:50



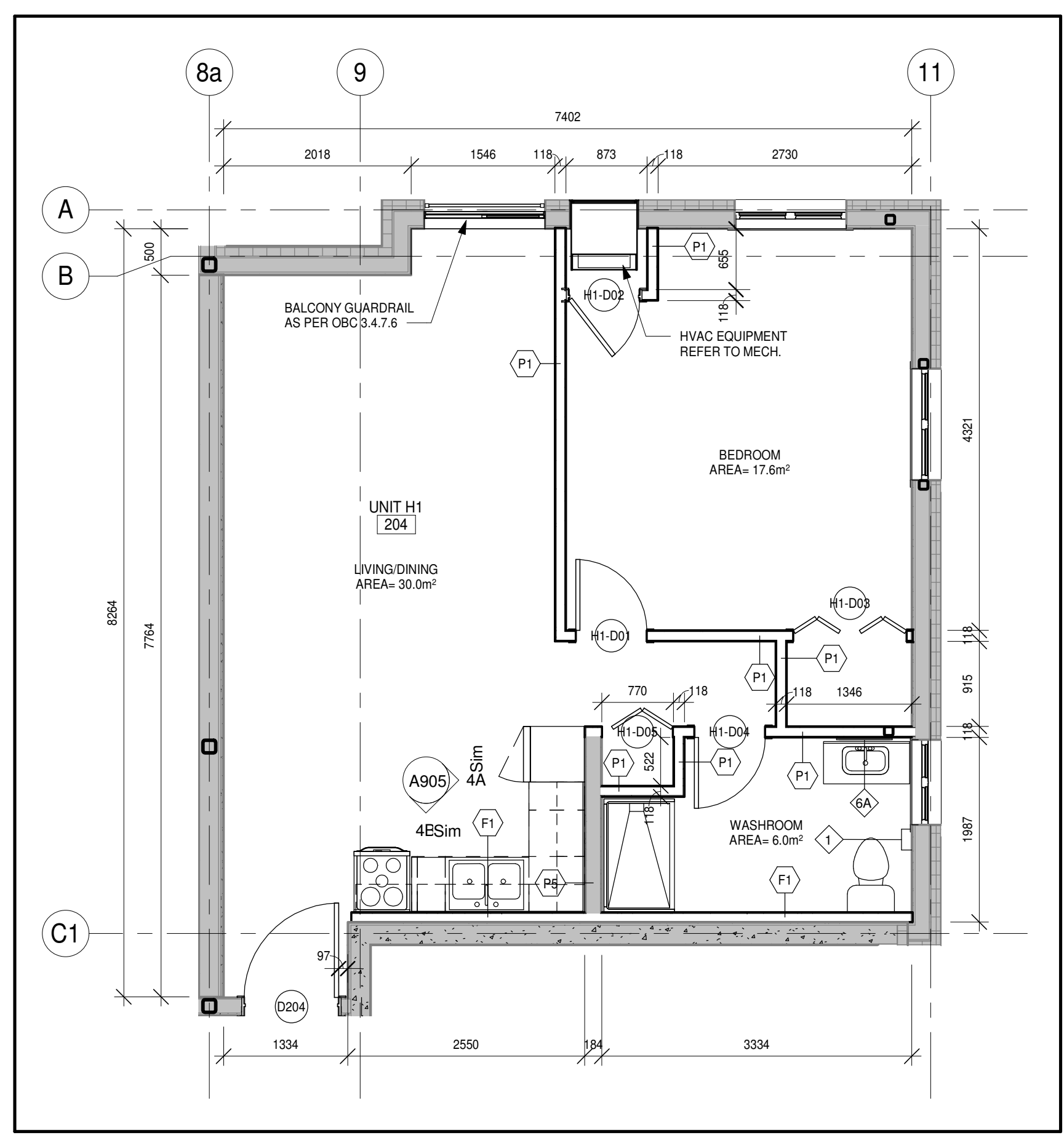
4 Unit H2
A208 1:50



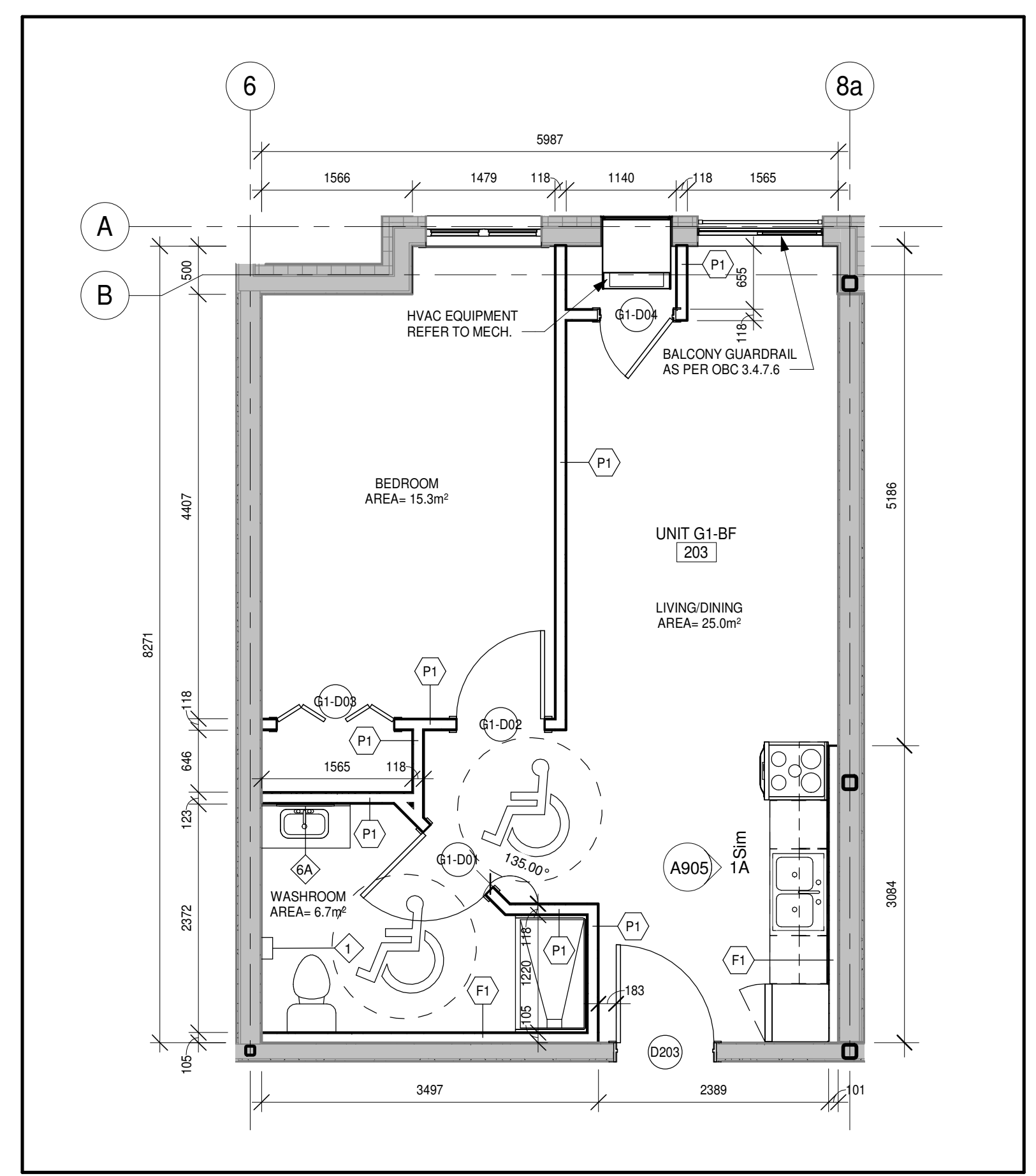
2 Unit G2-BF
A208 1:50



5 Unit I1-BF
A208 1:50

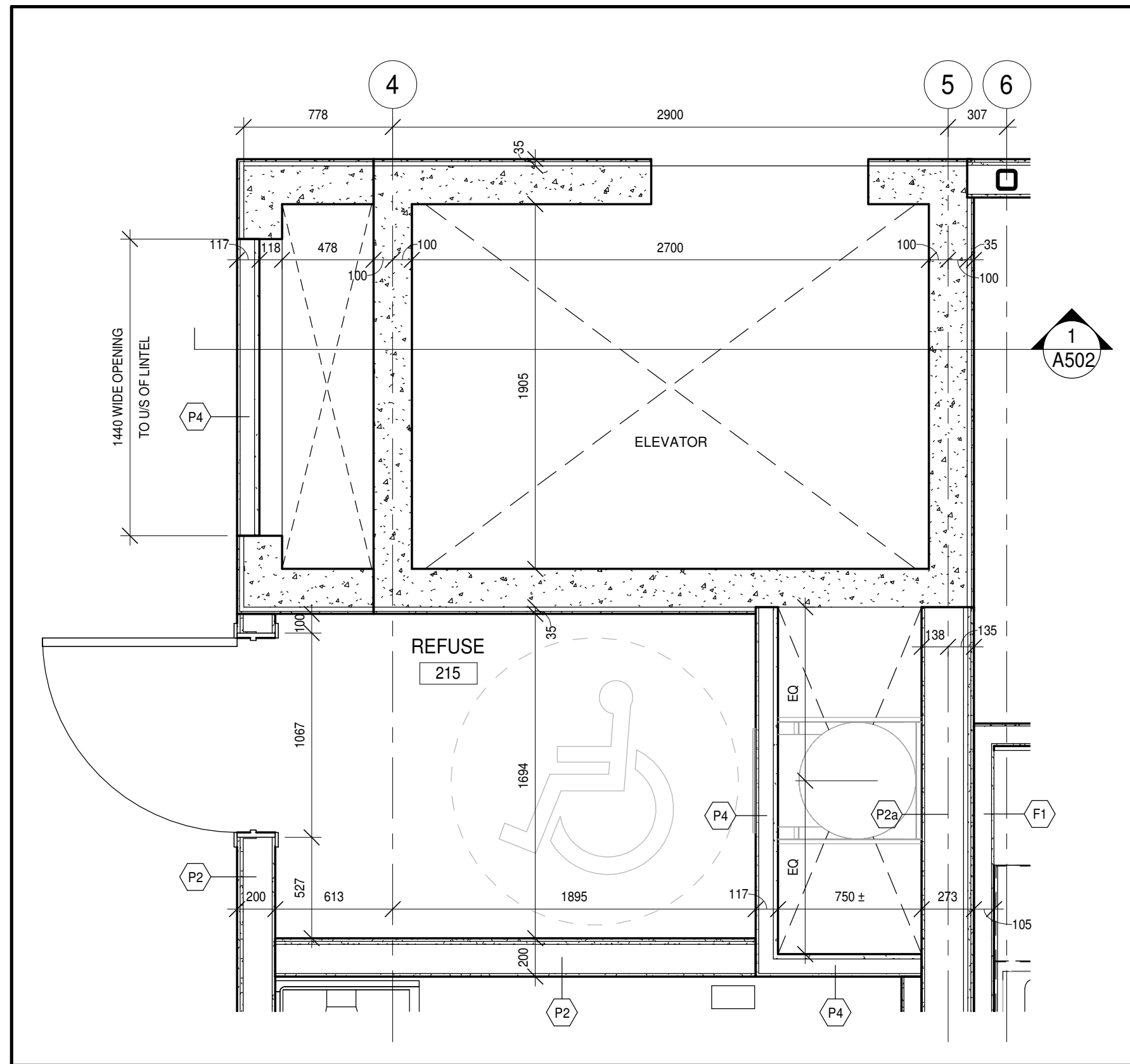


3 Unit H1
A208 1:50

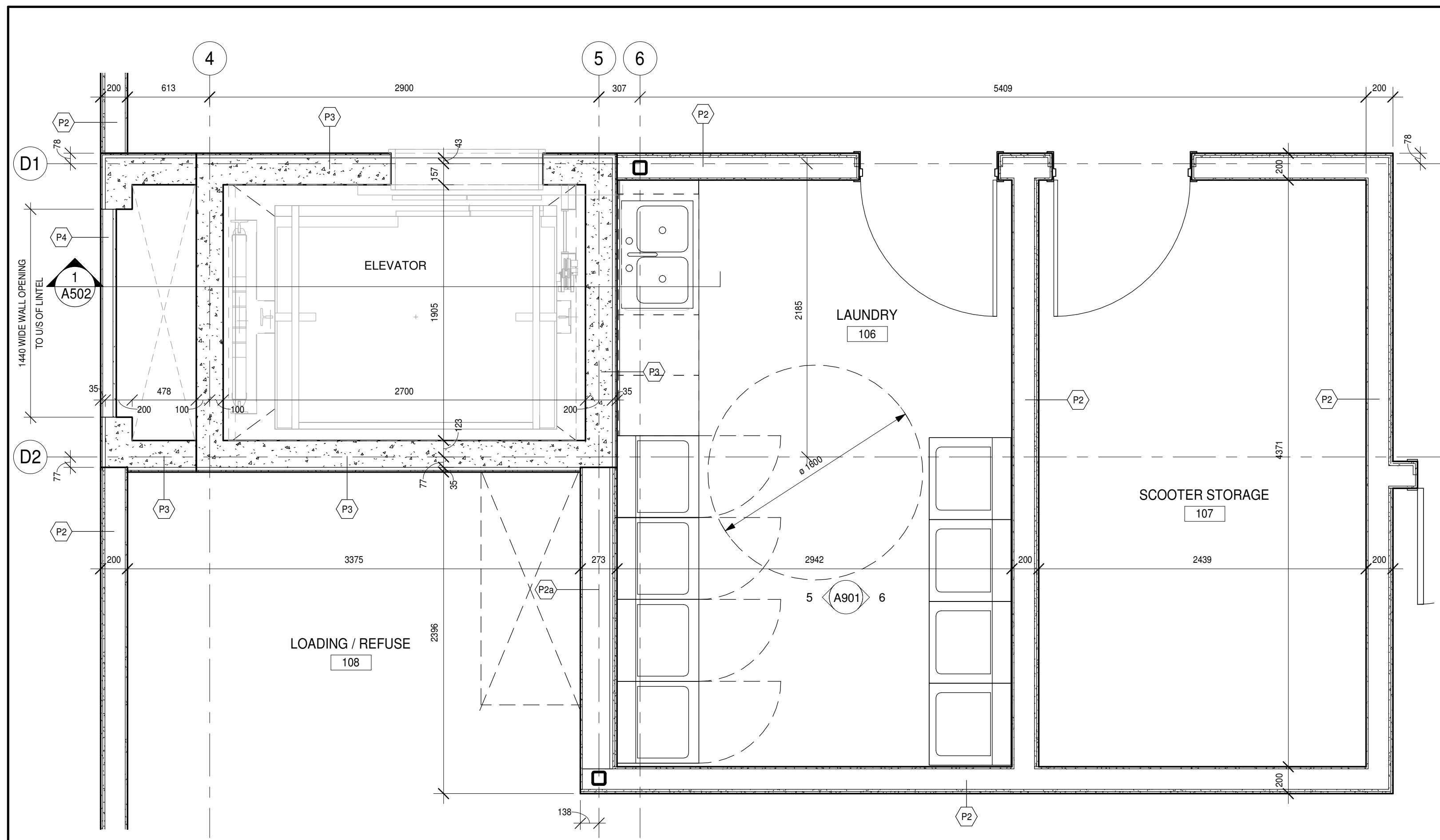


1 Unit G1-BF
A208 1:50

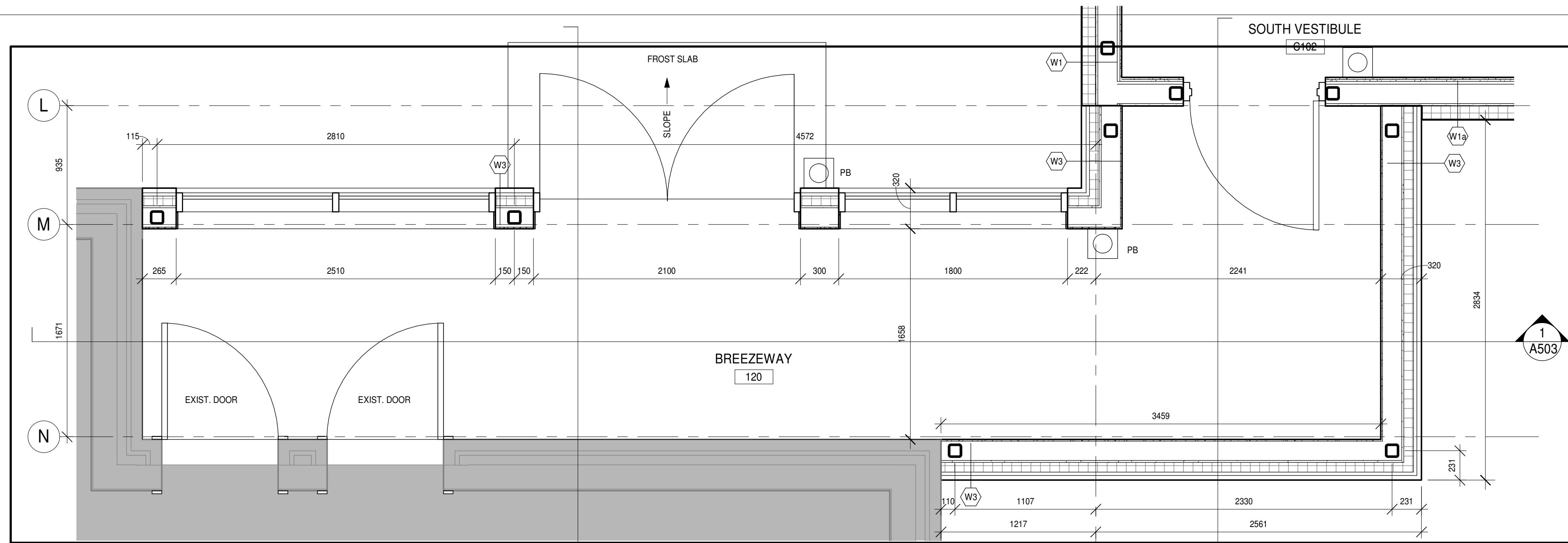
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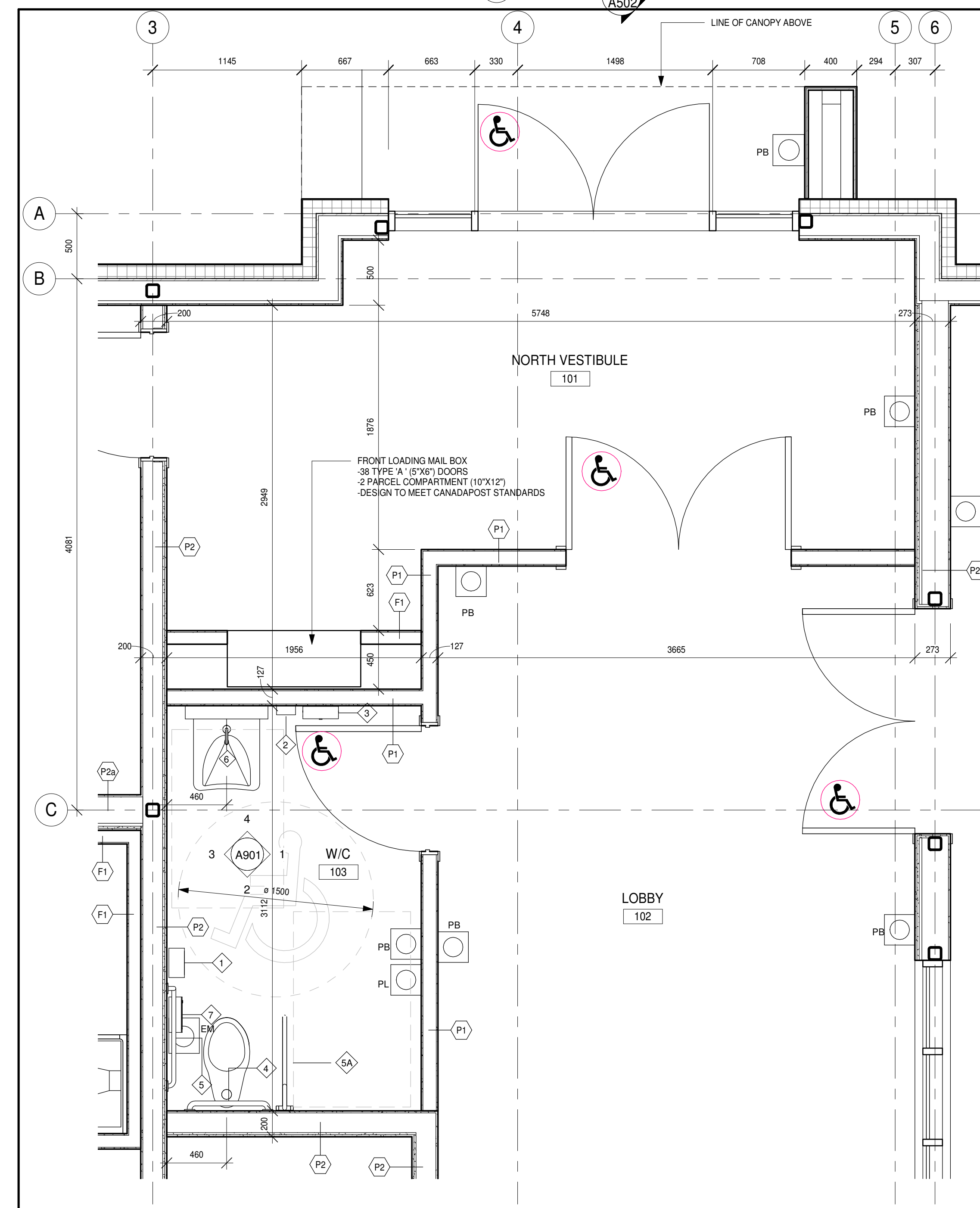
4 Second floor-Refuse Plan
A209 1:25



3 First floor-Laundry & Scooter Storage Plans
A209 1:25



2 First floor-Breezeway Plan
A209 1:25



1 First floor-North Vestibule & B/F Washroom Plans
A209 1:25

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NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
ENLARGED PLANS

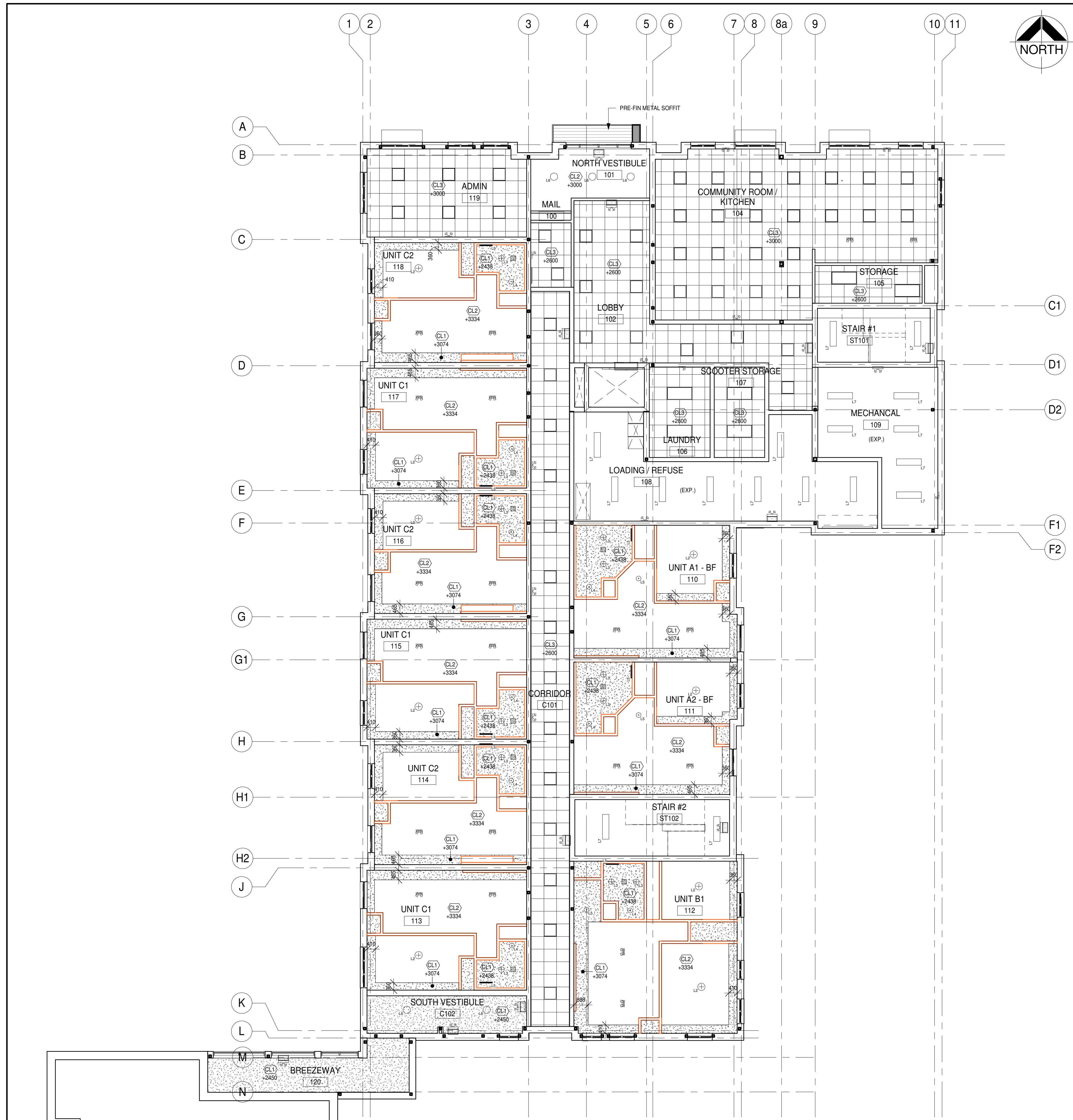


BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers

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DATE: 02/15/19
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FILE:

PROFESSIONAL ASSOCIATION OF ARCHITECTS
REGISTERED PROFESSIONAL ARCHITECT
LICENCE 7117

PROJECT NO. **18811**
DRAWING NO. **A209**



RCP LEGEND	
	(CL1) PARTED DRYWALL CEILING ON SUPPORT FRAMEWORK AT LOW ELEVATION
	(CL2) PARTED DRYWALL CEILING ON SUPPORT FRAMEWORK AT HIGH ELEVATION
	(EXP.) EXPOSED
	PRE-FINISHED METAL SOFFIT FOR EXPOSED JOINTS SEE DETAIL
	(CL3) DRYWALL CEILING ON CLEAN SHEET OR PAPER-FACED T&G BOARD
	SURFACE MOUNTED TROFFER LIGHT FIXTURE - FLUORESCENT/LED
	CEILING MOUNTED LIGHT FIXTURE
	DAMP PROOF BATHROOM DOWNLIGHT
	WET PROOF SHOWER DOWNLIGHT
	SMALL CEILING MOUNTED LIGHT FIXTURE
	COMMERCIAL GRADE CEILING MOUNTED LIGHT FIXTURE FOR COMMON HALL, HALLWAY AND LOBBY
	CEILING MOUNTED 2-SPOTLIGHT FIXTURE
	DIMMABLE DOWNLIGHT LED (SOMETHING LIKE MR16)
	WALL MOUNTED VANITY LIGHT FIXTURE
	T-BAR/DRYWALL 2x2 LED FIXTURE
	DETECTOR - REFER TO ELECTRICAL DWG
	FIRE ALARM FIXTURES - REFER TO ELECTRICAL DWG
	EMERGENCY LIGHT FIXTURES - REFER TO ELECTRICAL DWG
	PREFINISHED METAL GRILL VENT - REFER TO HVAC DWG
	CEILING MOUNTED MECHANICAL UNIT - REFER TO HVAC DWG
	CEILING MOUNTED HEATER - REFER TO ELECTRICAL DWG

NOTE: ALL LIGHTING AND EMERGENCY LIFE SAFETY ITEMS AS PER ELECTRICAL

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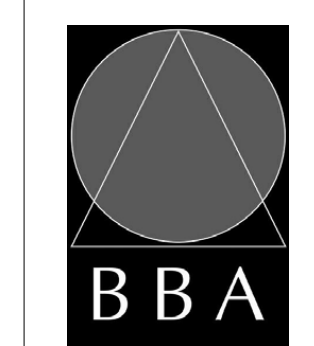
NO.	ISSUES	DATE	BY
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6	ISSUED FOR TENDER	2019-06-05	

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PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
GROUND FLOOR RCP



BARRY BRYAN ASSOCIATES
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Project Managers

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Fax: (905) 666-5256
e-mail: bba@bba-arch.com



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CHECKED BY: CM

DATE: 02/15/19
SCALE: 1:100
FILE:

PROJECT NO. **18811**
DRAWING NO. **A210**



RCP LEGEND	
	CL1 PAINTED DRYBOND CEILING TO EXISTING METAL FRAMED AT LOW ELEVATION
	CL2 PAINTED DRYBOND CEILING TO EXISTING METAL FRAMED AT HIGH FRESH ELEVATION
	(EXP.) EXPOSED
	CL3 FRAMING METAL DECK FOR EXISTING CANOPY SEE CANOPY DETAILS
	CL3 EXISTING FLOOR ACQUISITION TO EXISTING FLOOR FINISH
	SURFACE MOUNTED TROFFER LIGHT FIXTURE (FLUORESCENT/LED)
	CEILING MOUNTED LIGHT FIXTURE
	STAIR BATH DOWNLIGHT
	WET PROOF SHOWER DOWNLIGHT
	SMALL CEILING MOUNTED LIGHT FIXTURE
	COMMERCIAL GRADE CEILING MOUNTED LIGHT FIXTURE FOR COMMON HALL, HALLWAY AND LOBBY
	CEILING MOUNTED 2 SPOT LIGHT FIXTURE
	DIMMABLE DOWNLIGHT LED (SOMETHING LIKE MATRICES)
	WALL MOUNTED VANITY LIGHT FIXTURE
	1 BAR/DRYWALL 2x2 LED FIXTURE
	DETECTORS REFER TO ELECTRICAL DWG
	FIRE ALARM FEATURES REFER TO ELECTRICAL DWG
	EMERGENCY LIGHT FIXTURES REFER TO ELECTRICAL DWG
	PREFINISHED METAL GRILL VENT REFER TO HVAC DWG
	CEILING MOUNTED MECHANICAL UNIT REFER TO HVAC DWG
	CEILING MOUNTED HEATER REFER TO ELECTRICAL DWG

NOTE: ALL LIGHTING AND EMERGENCY LIFE SAFETY ITEMS AS PER ELECTRICAL

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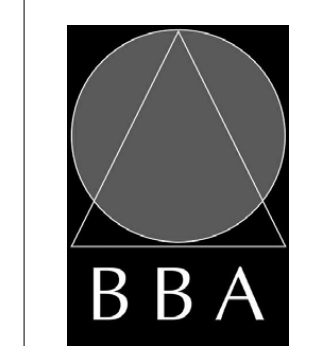
NO.	ISSUES	DATE	BY
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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
2ND FLOOR PLAN RCP



BARRY BRYAN ASSOCIATES
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Whitby Ontario L1N 0G5
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Fax: (905) 666-5256
e-mail: bba@bba-archeng.com



DESIGN BY: CM
DRAWN BY: CM
CHECKED BY: CM

DATE: 02/15/19
SCALE: 1 : 100
FILE:

PROJECT NO: **18811**
DRAWING NO: **A211**



RCP LEGEND

	CL1	PAINTED OPEN BOARD CEILING IN SUSPENDED METAL FRAMING AT LOW ELEVATION
	CL2	PAINTED OPEN BOARD CEILING IN SUSPEND CARRIES AT HIGH RISER ELEVATION
	(EXP.)	EXPOSED
	CL3	PREFINISHED METAL SOFFIT FOR RECESSED CANOPY - SEE CANOPY DETAILS
	CL3	RISE - RISER ACOUSTIC CAP IN CEILING PANEL IN SUSPENDED FRAM GRID
	L1	SURFACE MOUNTED TROFFER LIGHT FIXTURE FLUORESCENT/LED
	L2	CEILING MOUNTED LIGHT FIXTURE
	L3	DAMP PROOF BATHROOM DOWNLIGHT
	L4	WET PROOF SHOWER DOWNLIGHT
	L5	SMALL CEILING MOUNTED LIGHT FIXTURE
	L6	COMMERCIAL GRADE CEILING MOUNTED LIGHT FIXTURE FOR COMMON HALL, WALKWAY AND LOBBY
	L7	CEILING MOUNTED 2 SPOT LIGHT FIXTURE
	L8	DIMMABLE DOWNLIGHT LED (SOMETHING LIKE MR16)
	L9	WALL MOUNTED VANITY LIGHT FIXTURE
	L10	T-BAR DRYWALL 2x2 LED FIXTURE
	DET	DETECTORS - REFER TO ELECTRICAL DWG
	FAL	FIRE ALARM FEATURES - REFER TO ELECTRICAL DWG
	ELS	EMERGENCY LIGHT FEATURES - REFER TO ELECTRICAL DWG
	PMS	PREFINISHED METAL SOFFIT VENT - REFER TO HVAC DWG
	CMM	CEILING MOUNTED MECHANICAL UNIT - REFER TO HVAC DWG
	CM	CEILING MOUNTED HEATER - REFER TO ELECTRICAL DWG

NOTE: ALL LIGHTING AND EMERGENCY LIFE SAFETY ITEMS AS PER ELECTRICAL

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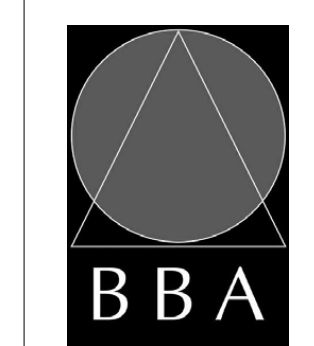
NO.	ISSUES	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
2	COORDINATION SET	2019-02-13	
3	M+E COORDINATION SET	2019-02-20	
4	FOR PERMIT	2019-03-11	
5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
3RD FLOOR RCP



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DESIGN BY: CM
DRAWN BY: CM
CHECKED BY: CM

DATE: 02/15/19
SCALE: 1 : 100
FILE:

PROJECT NO: **18811**
DRAWING NO: **A212**

MATERIAL LEGEND	
(A1)	STO MTL BRICK 1
(A2)	STO MTL BRICK 2
(B1)	STO MTL LIMESTONE (BRICK)
(B2)	STO MTL LIMESTONE
(C)	STO MTL WOOD
(D)	PREFINISHED METAL SIDING 1
(E)	PREFINISHED METALSIDING 2

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5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	



1 North Elevation
A301 1:100




2 South Elevation
A301 1:100

PROJECT:
PARKVIEW SENIORS EXPANSION


153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
NORTH AND SOUTH ELEVATIONS



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DRAWN BY: CM
CHECKED BY: [Signature]
DATE: 02/15/19
SCALE: 1:100
FILE:

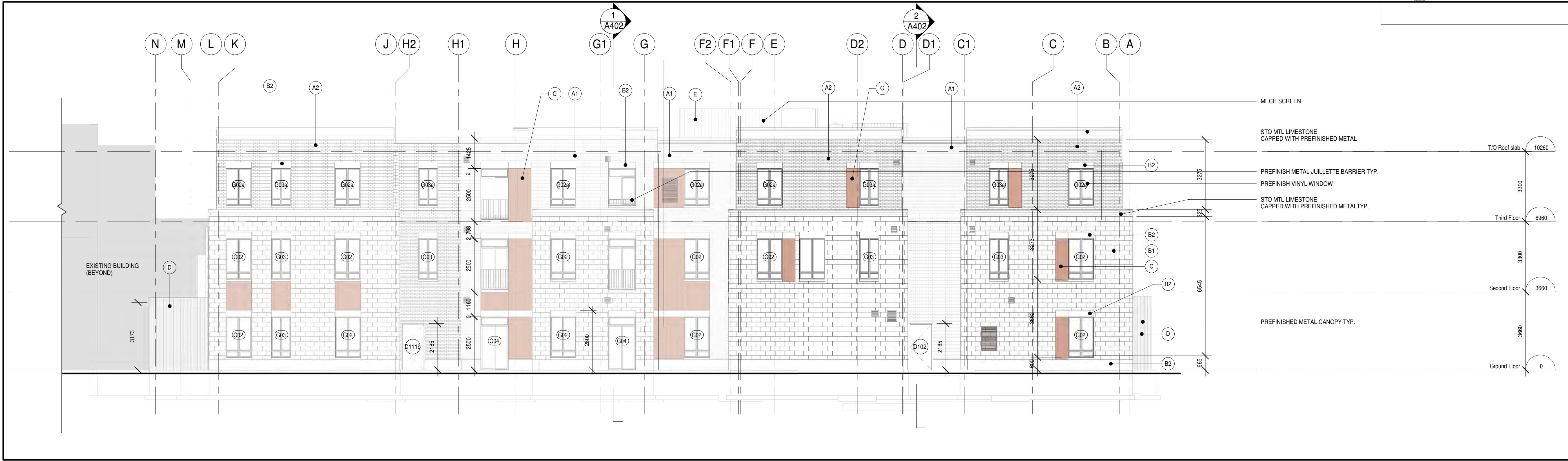
PROJECT NO. **18811** DRAWING NO. **A301**

MATERIAL LEGEND

(A1)	STO MTL BRICK 1
(A2)	STO MTL BRICK 2
(B1)	STO MTL LIMESTONE (BRICK)
(B2)	STO MTL LIMESTONE
(C)	STO MTL WOOD
(D)	PREFINISHED METAL SIDING 1
(E)	PREFINISHED METAL SIDING 2

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5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	



1 East Elevation
A302 1:100

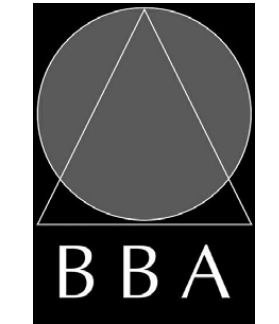


2 West Elevation
A302 1:100


PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
EAST AND WEST ELEVATIONS



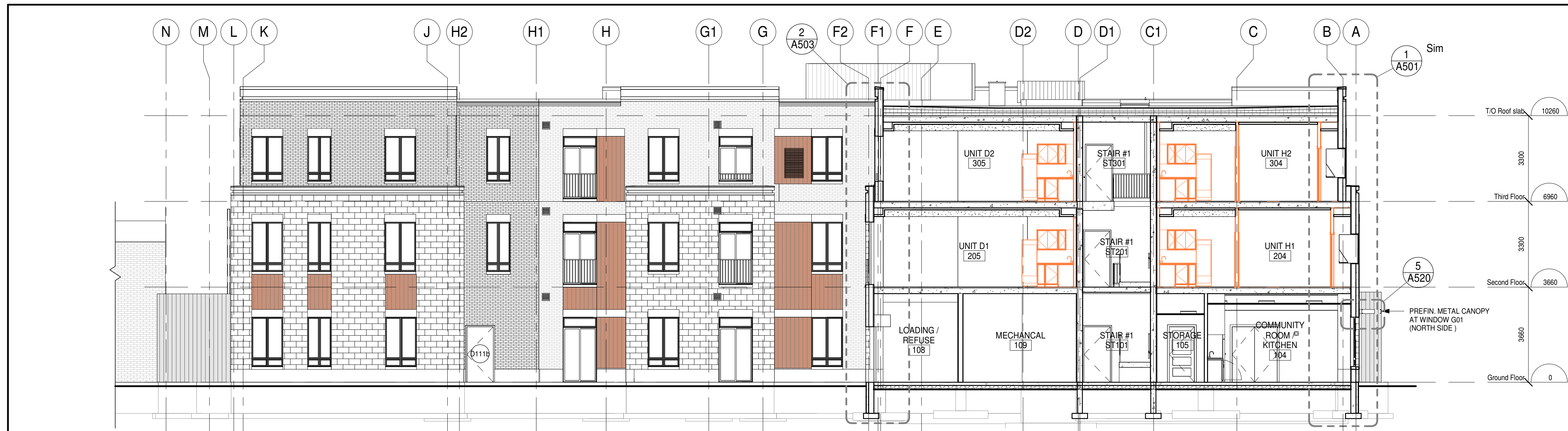
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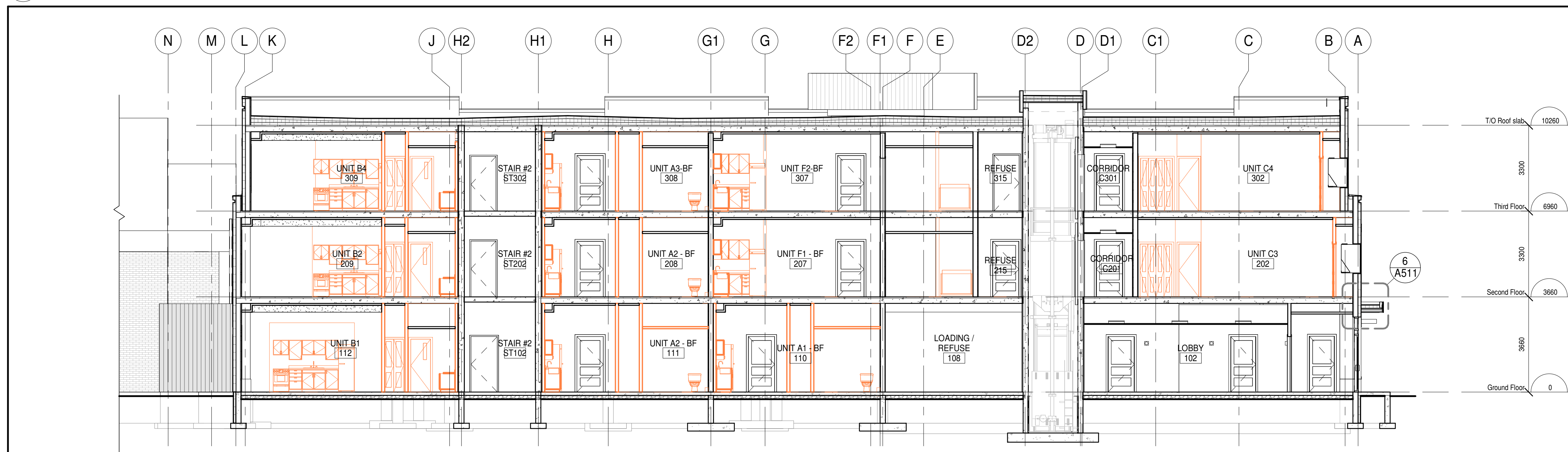
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NS
DRAWN BY:
CM
CHECKED BY:

DATE: 02/15/19
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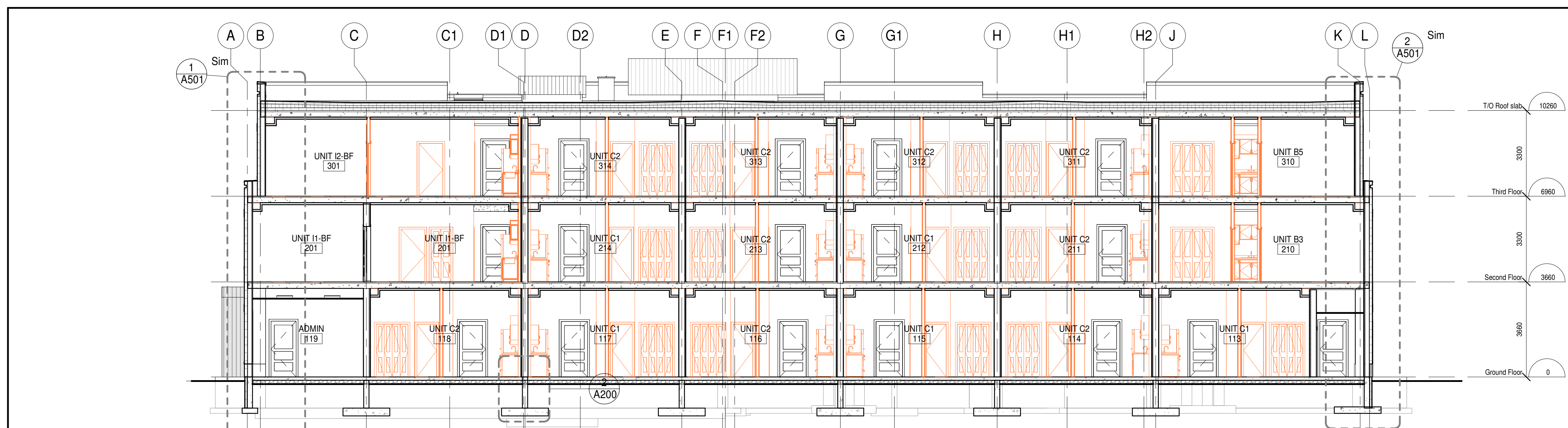
PROJECT NO. **18811** DRAWING NO. **A302**



3 BUILDING SECTION
A401 1:100



2 BUILDING SECTION
A401 1:100



1 BUILDING SECTION
A401 1:100

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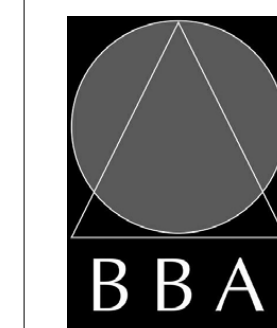
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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
EXPANSION**

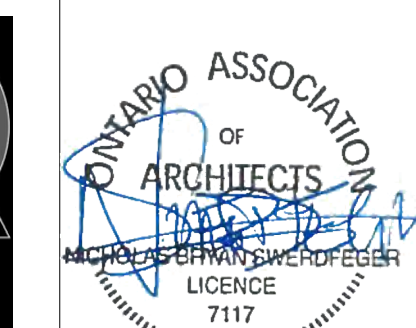
153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
BUILDING SECTIONS



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DESIGN BY: NS
DRAWN BY: RG
CHECKED BY:

DATE: 02/15/19
SCALE: 1:100
FILE:

PROJECT NO:

18811

DRAWING NO:

A401

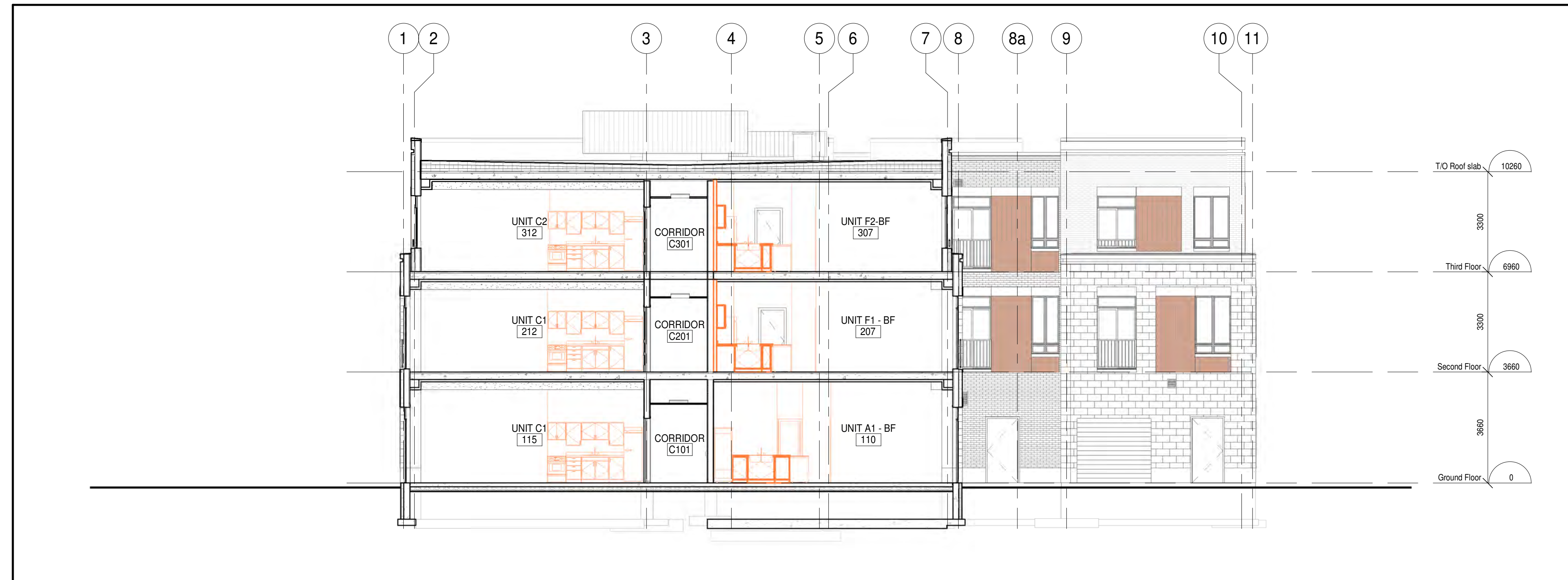
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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY



2 BUILDING SECTION
A402 1:100

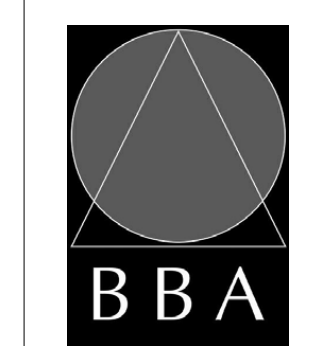


1 BUILDING SECTION
A402 1:100

PROJECT:
**PARKVIEW SENIORS
EXPANSION**

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
BUILDING SECTIONS



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DRAWN BY: RG
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DATE: 02/15/19
SCALE: 1:100
FILE:

PROJECT NO: **18811**
DRAWING NO: **A402**

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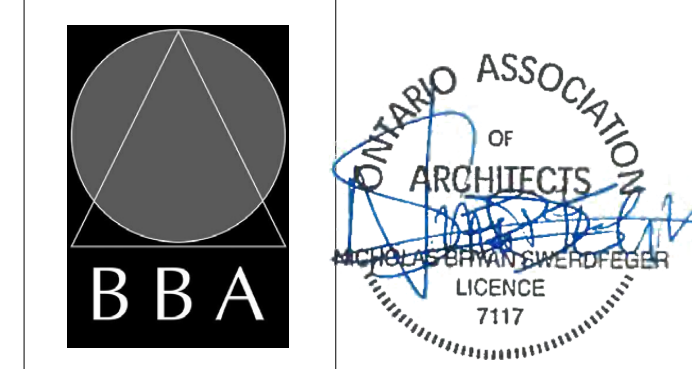
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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
WALL SECTIONS

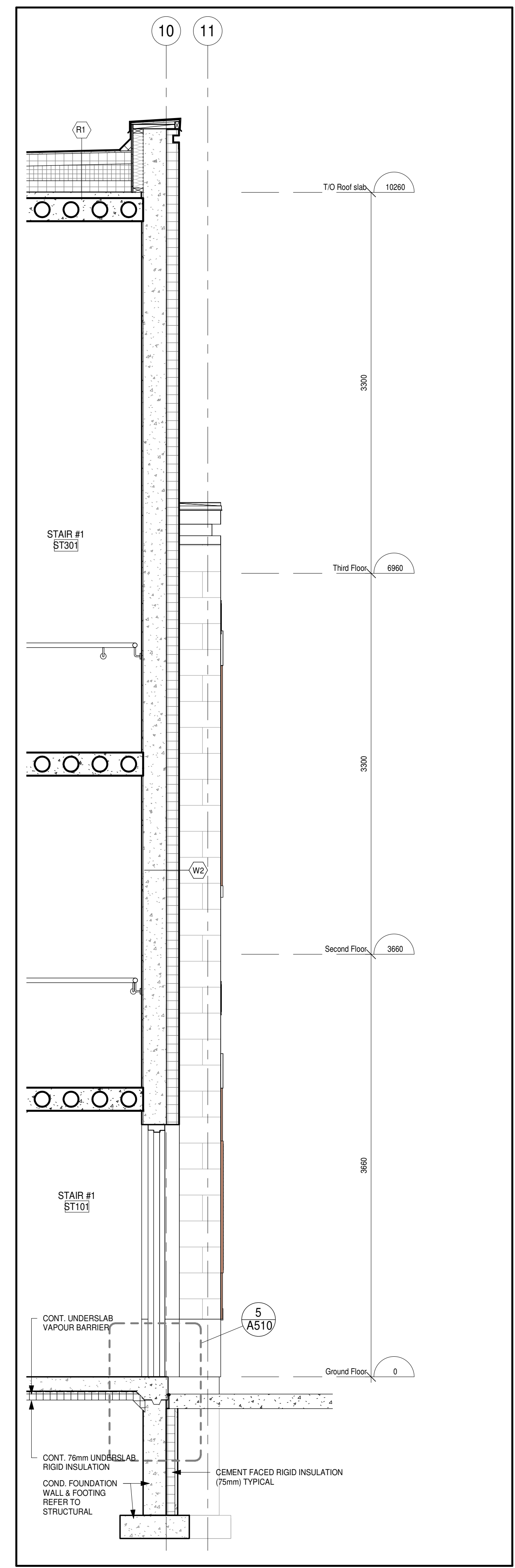


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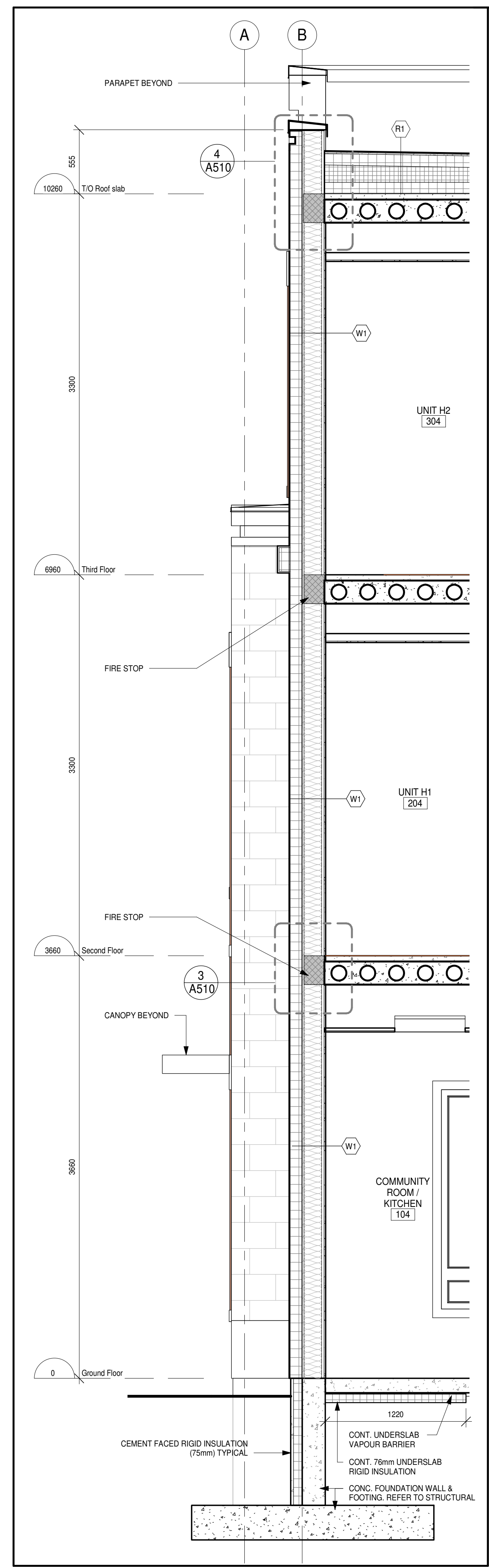
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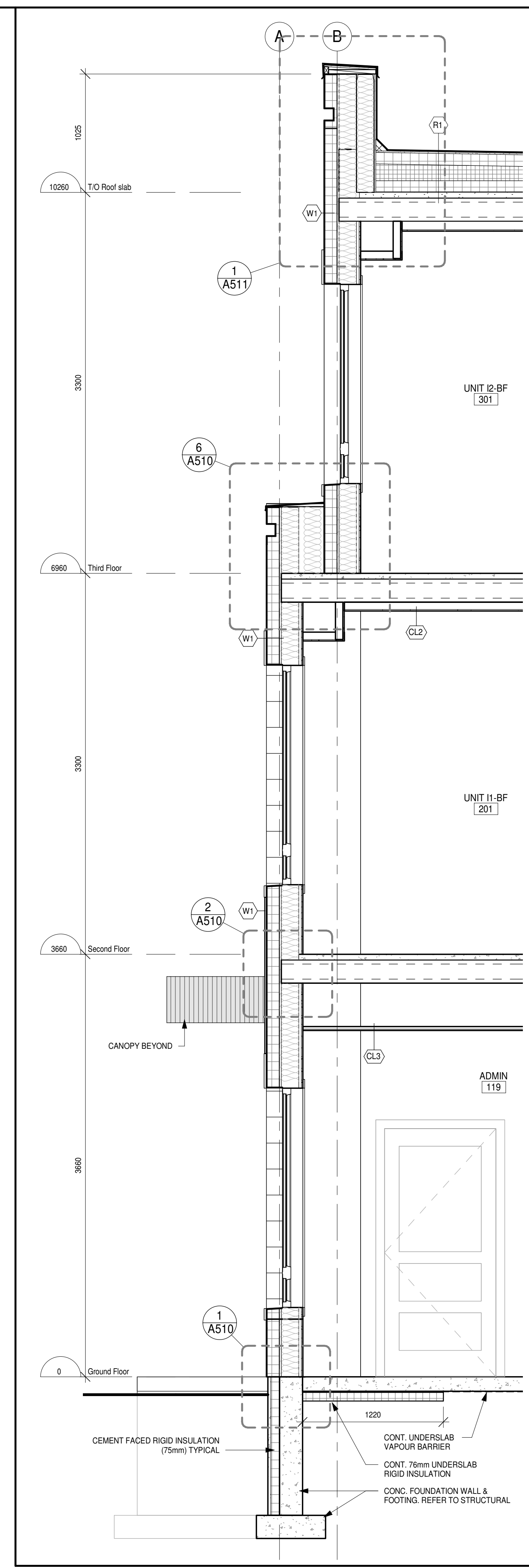
PROJECT NO: **18811**
DRAWING NO: **A501**



3 WALL SECTION
A501 1:25



2 WALL SECTION
A501 1:25



1 WALL SECTION
A501 1:25

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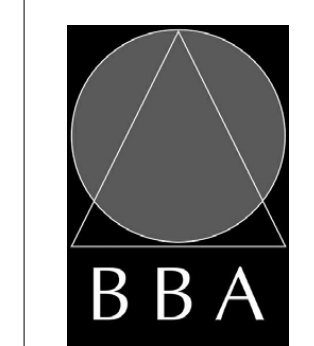
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1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
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5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
EXPANSION**

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
WALL SECTIONS



**BARRY BRYAN
ASSOCIATES**

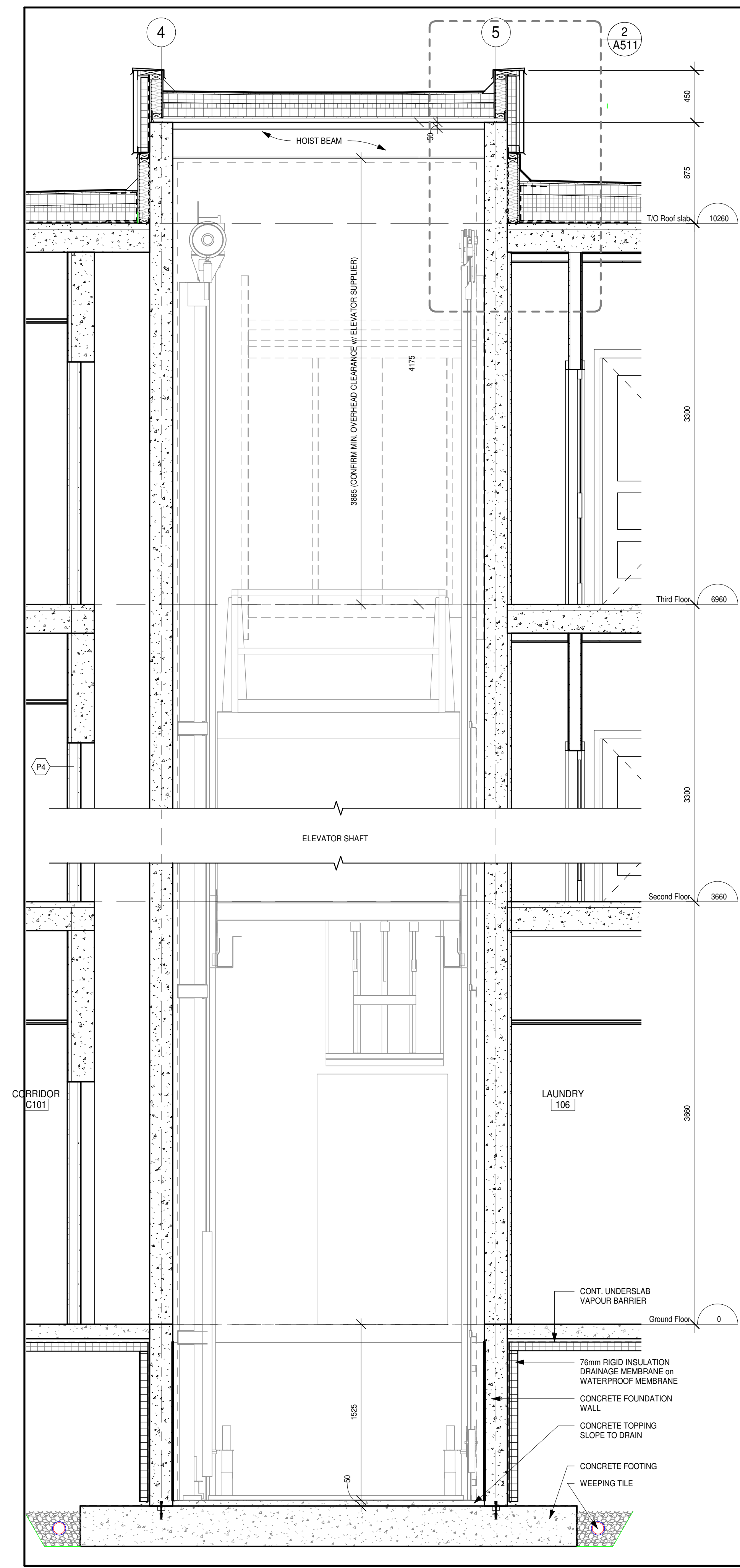
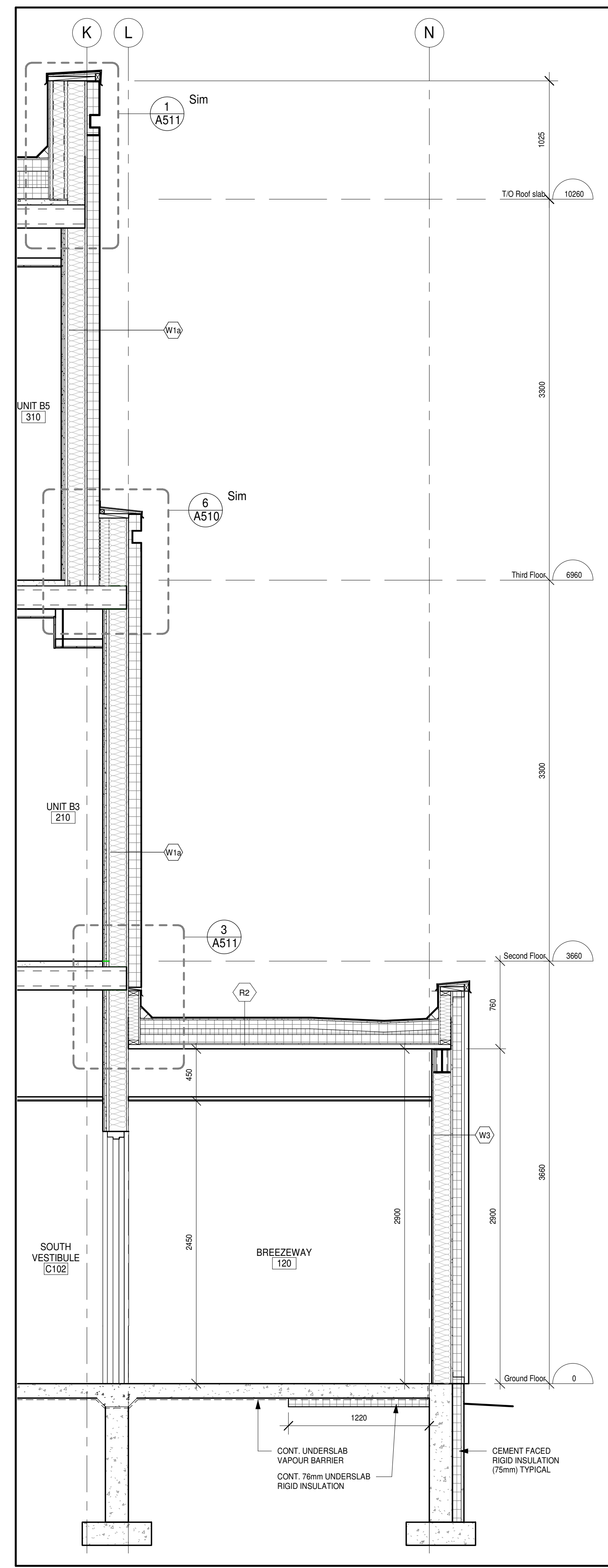
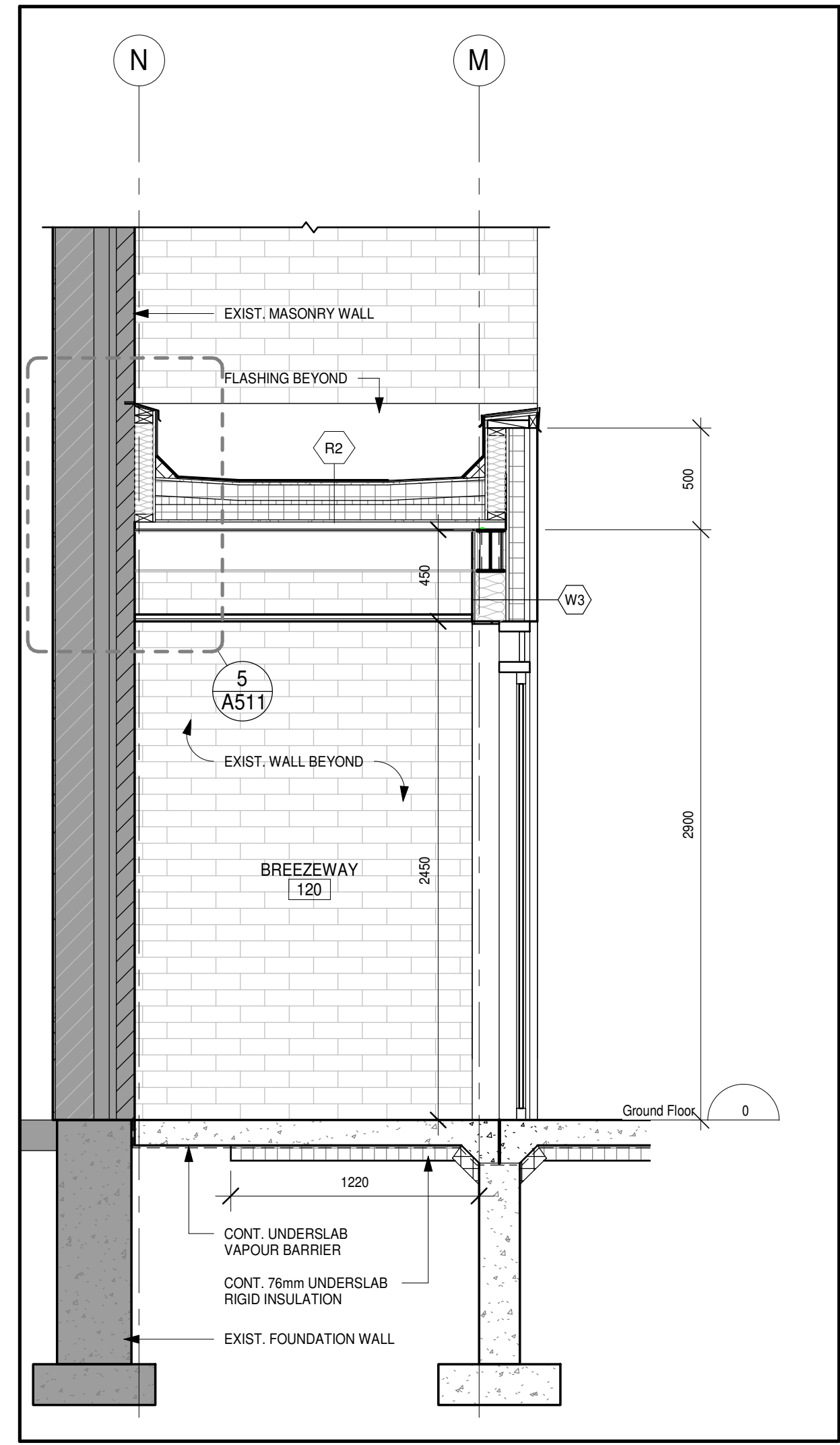
Architects
Engineers
Project Managers

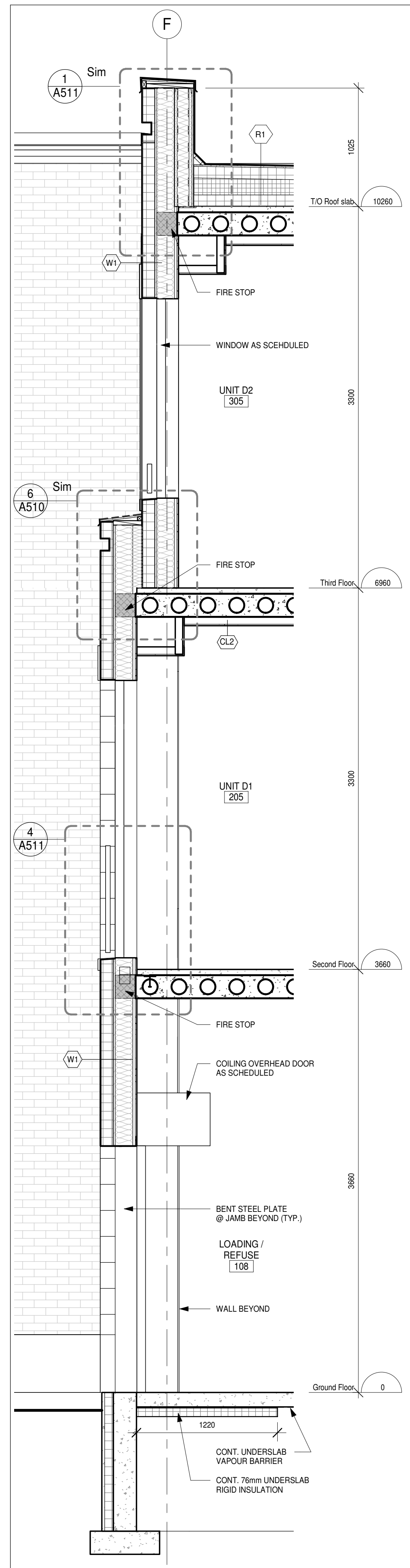
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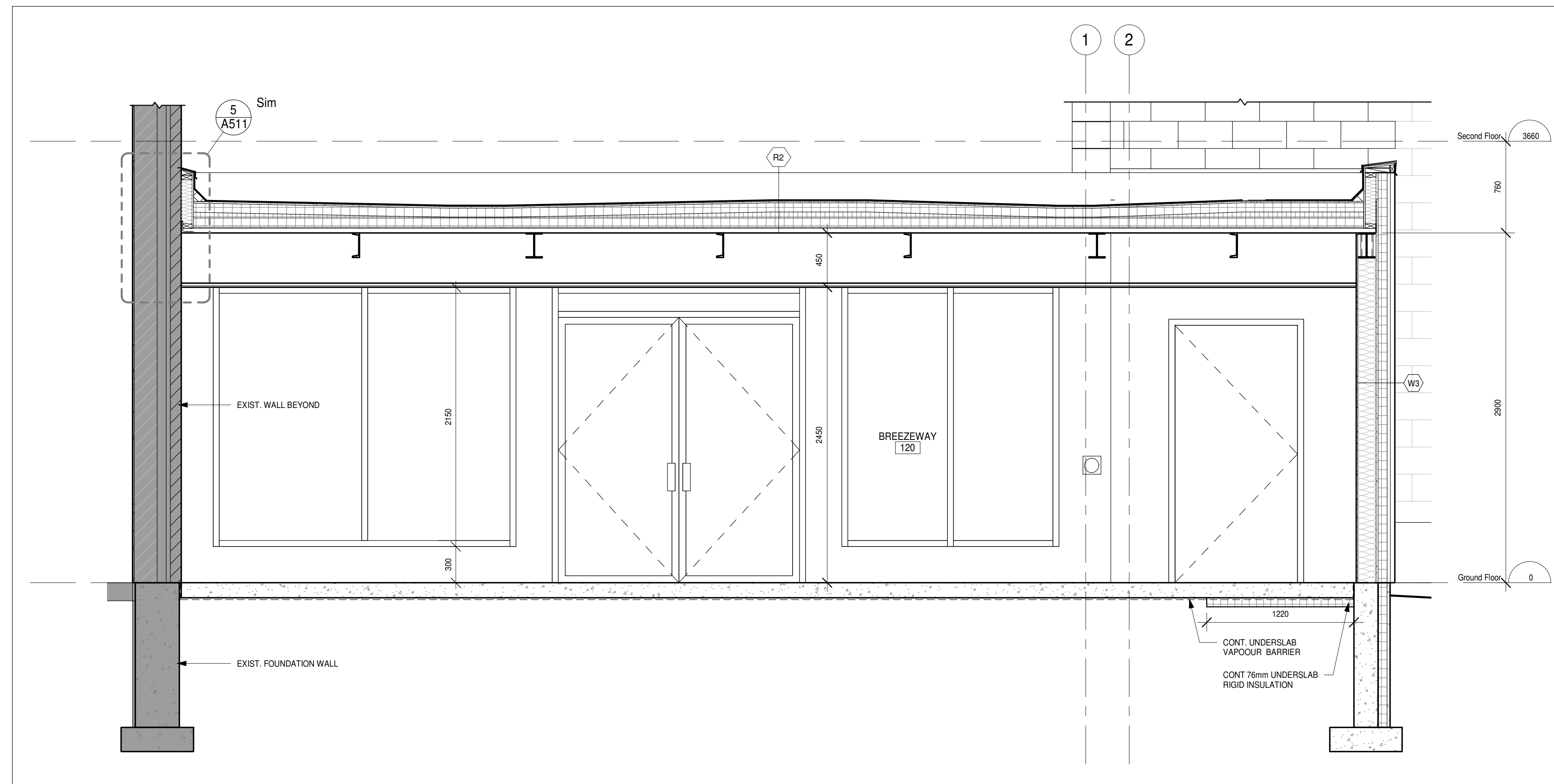
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CHECKED BY: [Signature]
DATE: 05/24/19
SCALE: 1 : 25
FILE:

PROJECT NO. **18811**
DRAWING NO. **A502**





2 WALL SECTION
A503 1:25



1 WALL SECTION
A503 1:25

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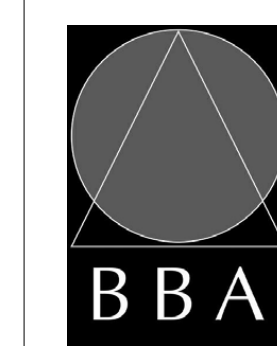
NO.	ISSUES	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

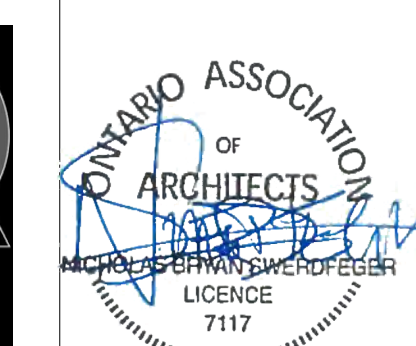
DRAWING:
WALL SECTIONS



BARRY BRYAN ASSOCIATES

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DRAWN BY: [Signature]
AUTHOR: [Signature]
CHECKED BY: [Signature]
CHECKER: [Signature]

DATE: 05/28/19
SCALE: 1:25
FILE:

PROJECT NO. **18811**
DRAWING NO. **A503**

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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
EXPANSION**

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
SECTION DETAILS



**BARRY BRYAN
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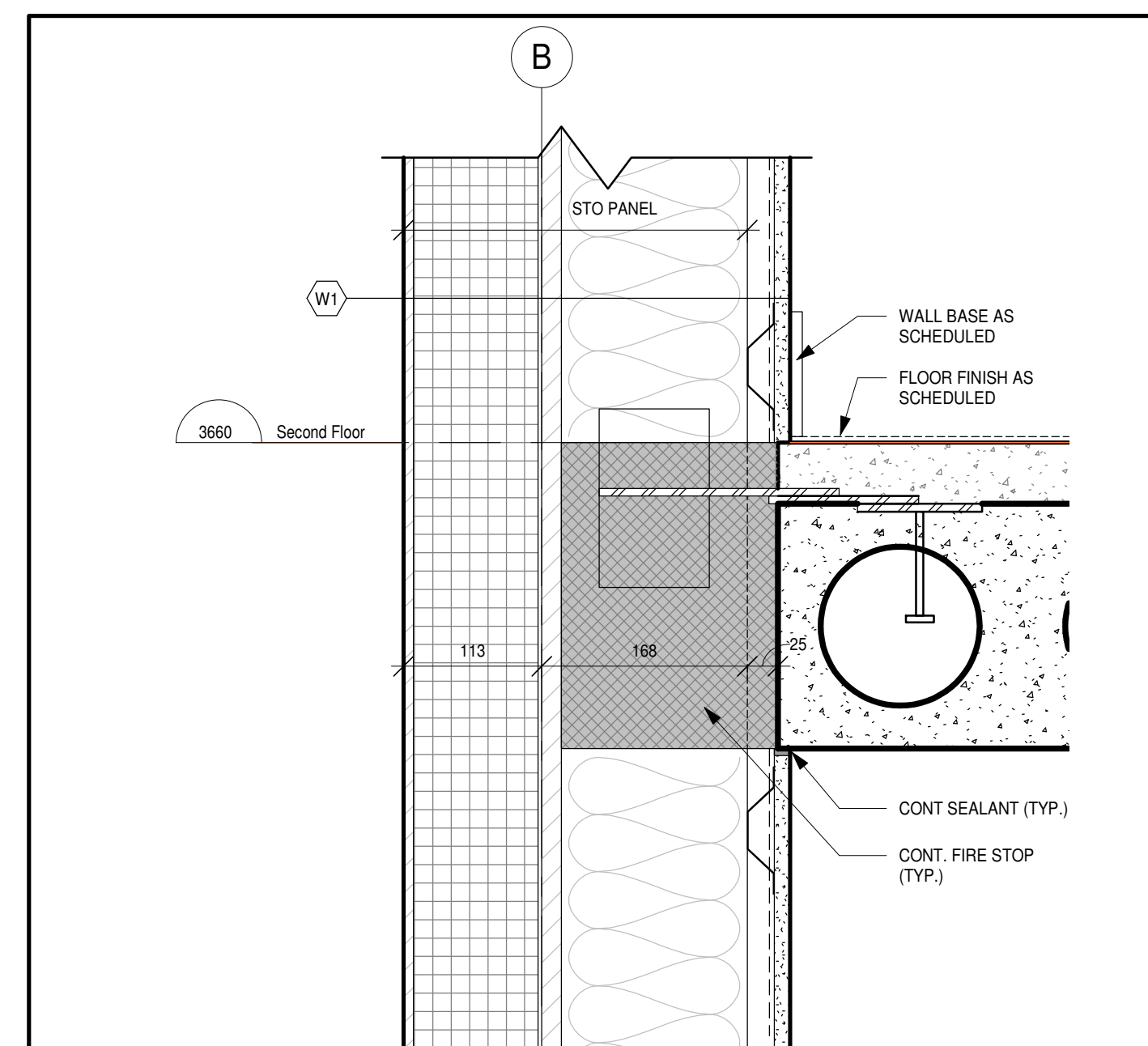
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e-mail: bba@bba-arch.com

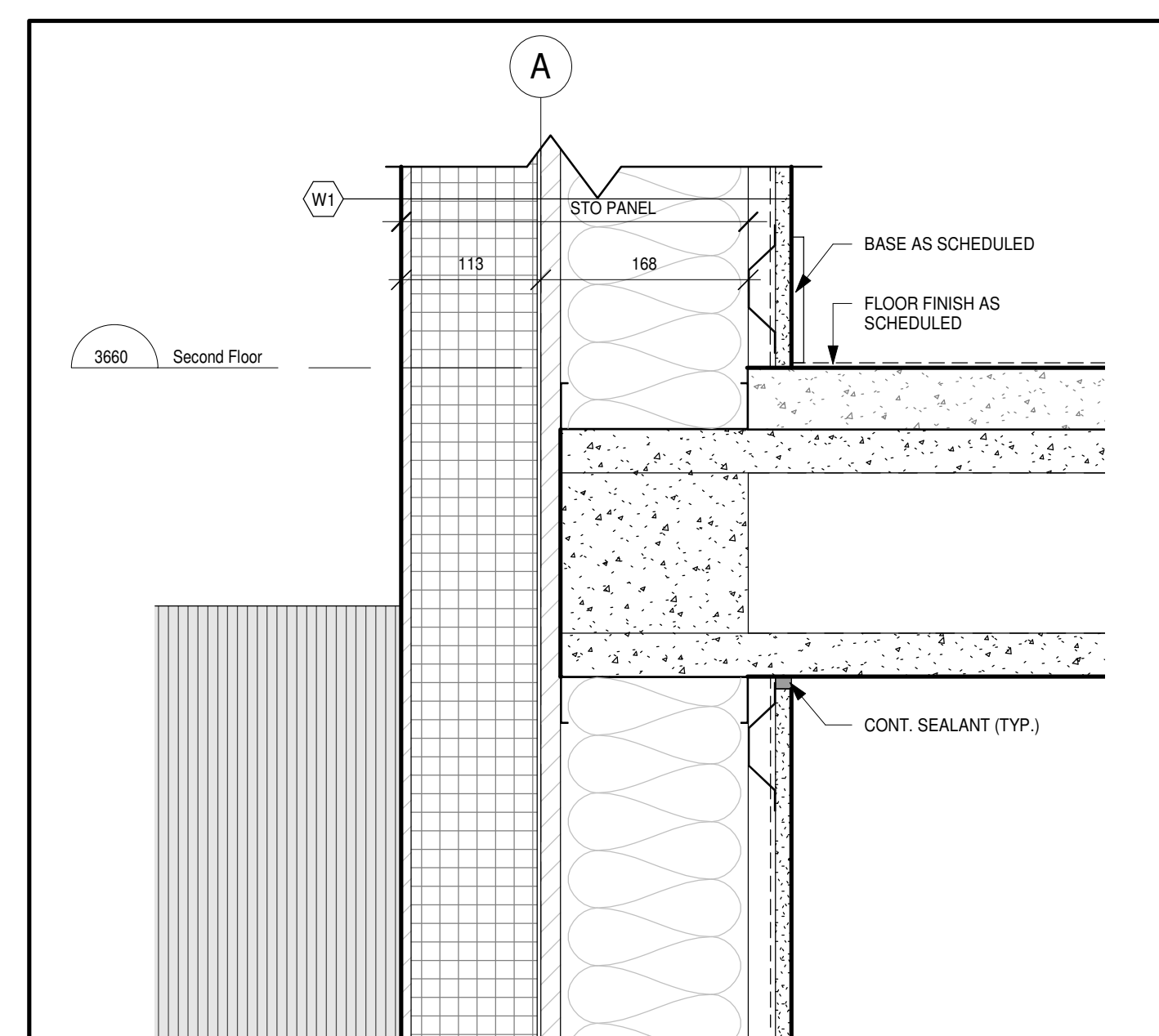
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AUTHOR: [Signature]
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SCALE: 1:5
FILE:

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OF
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LICENCE
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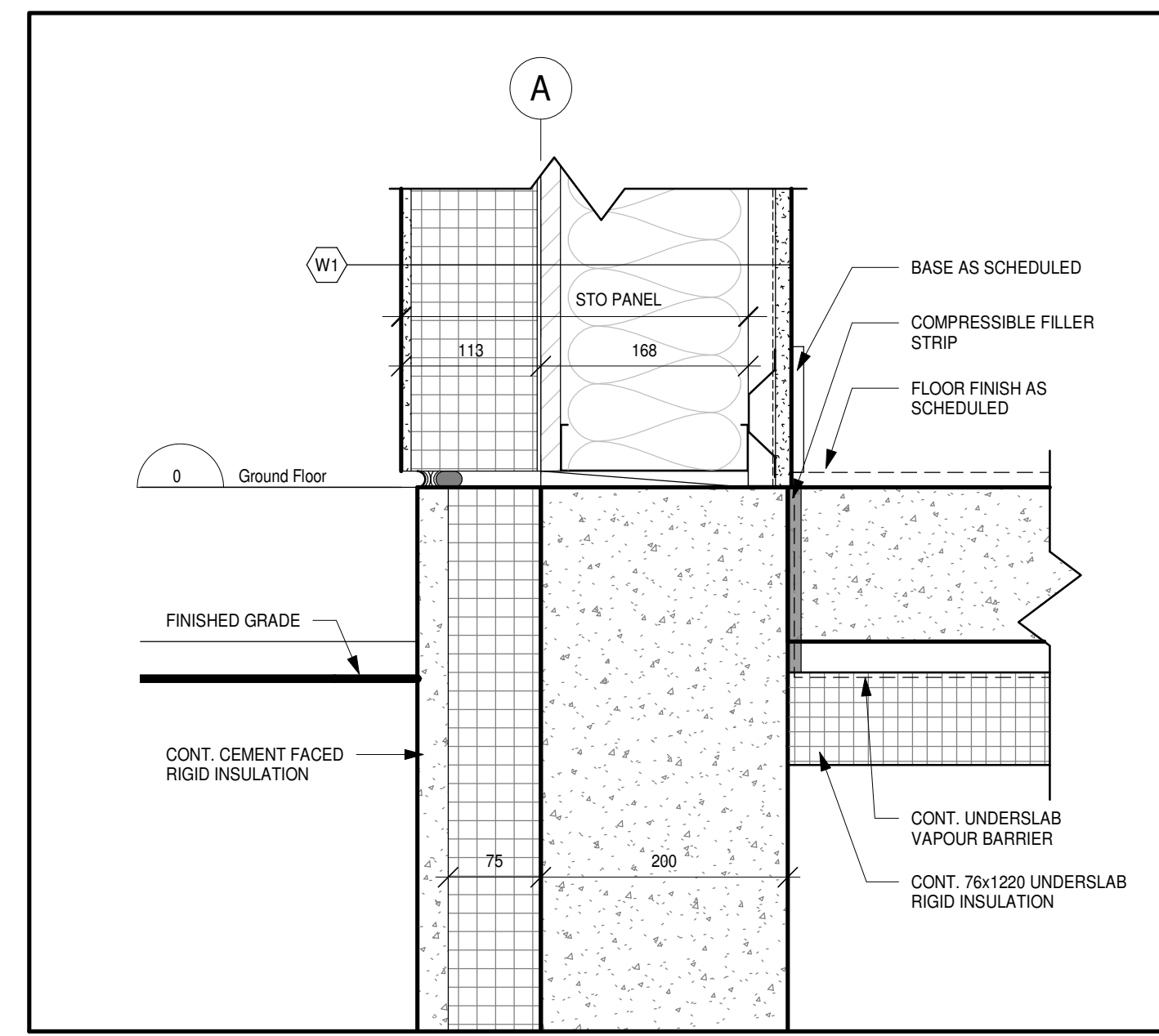
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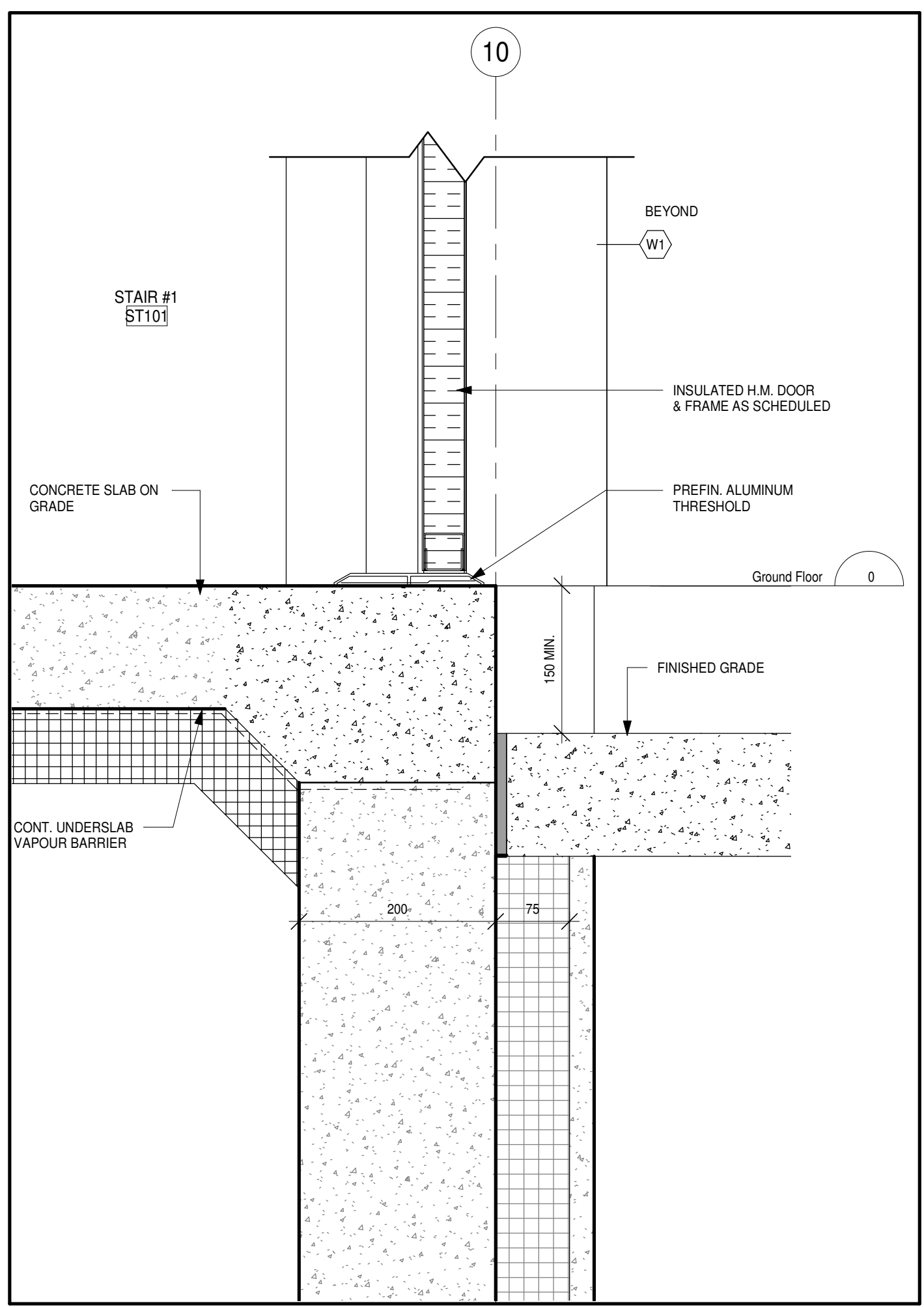
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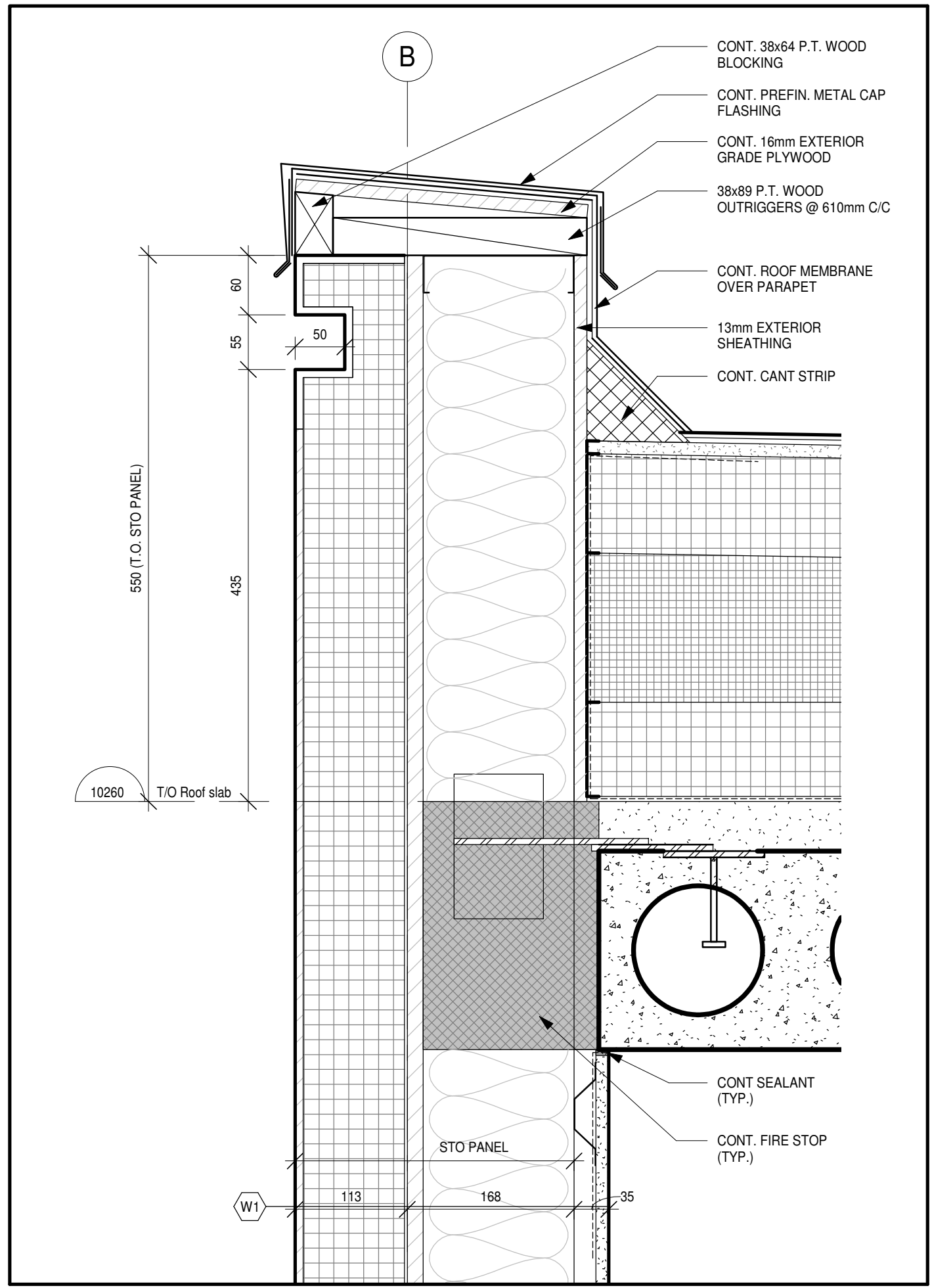
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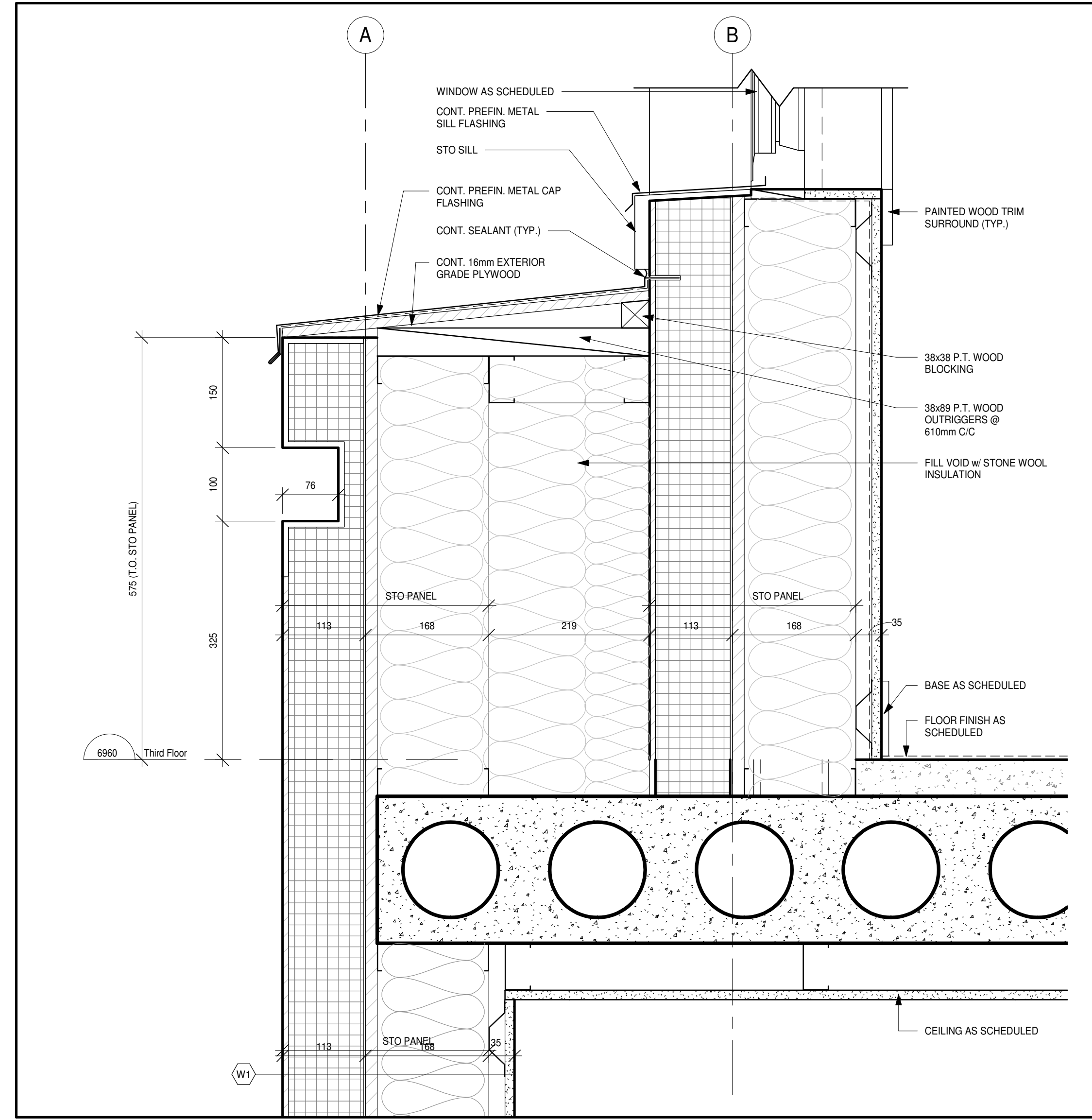
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1:5



5
SECTION DETAIL
1:5

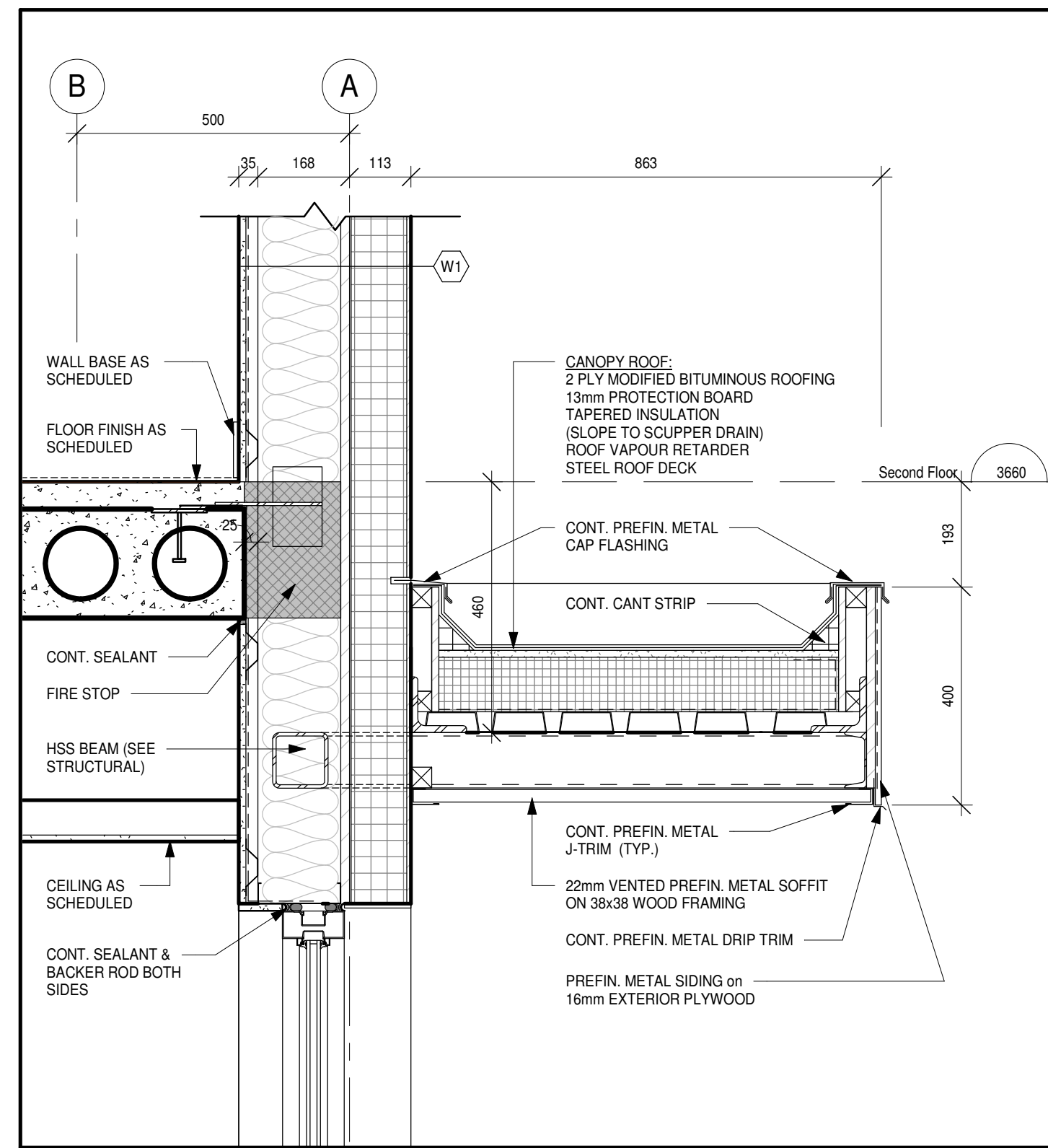


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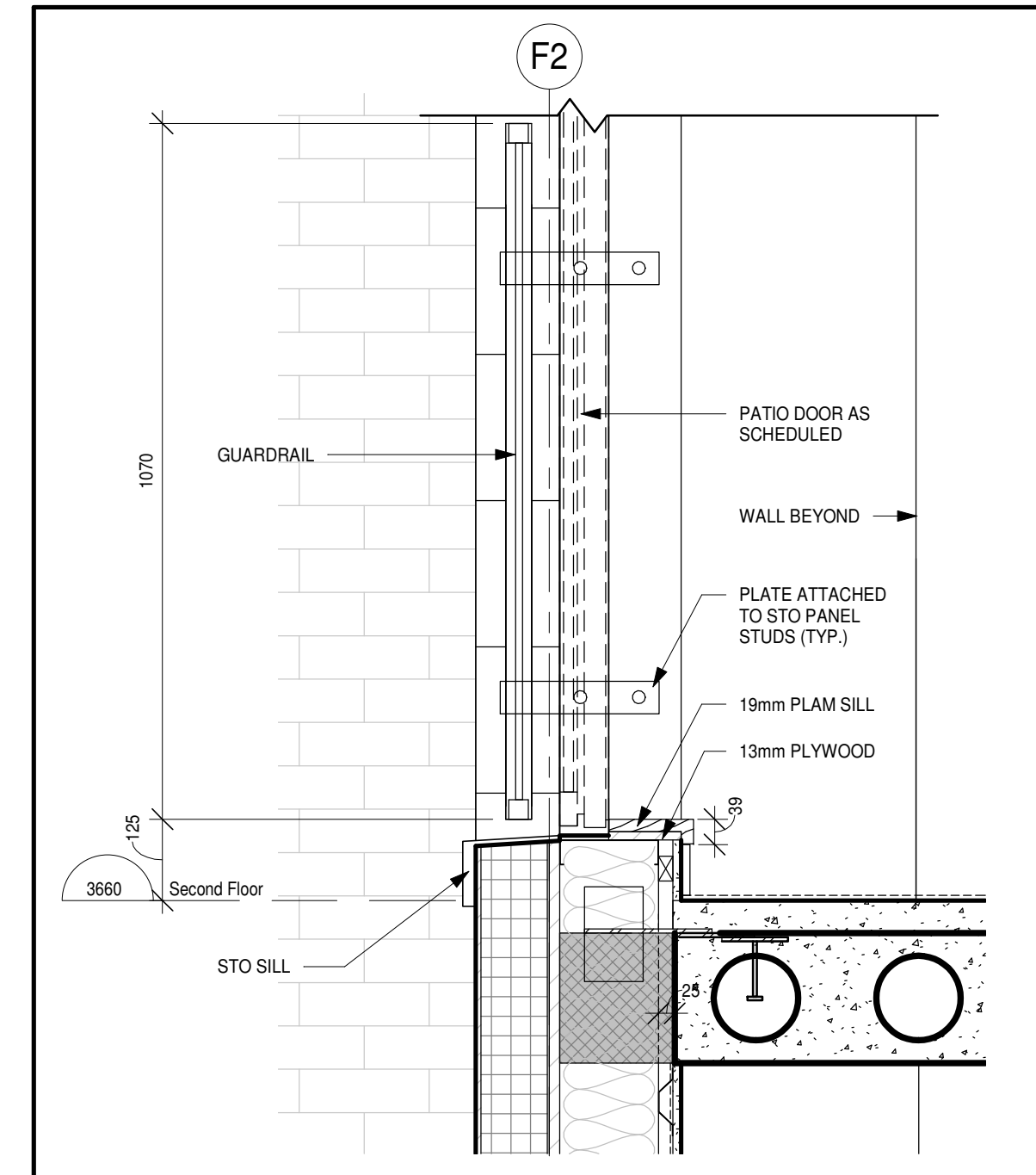


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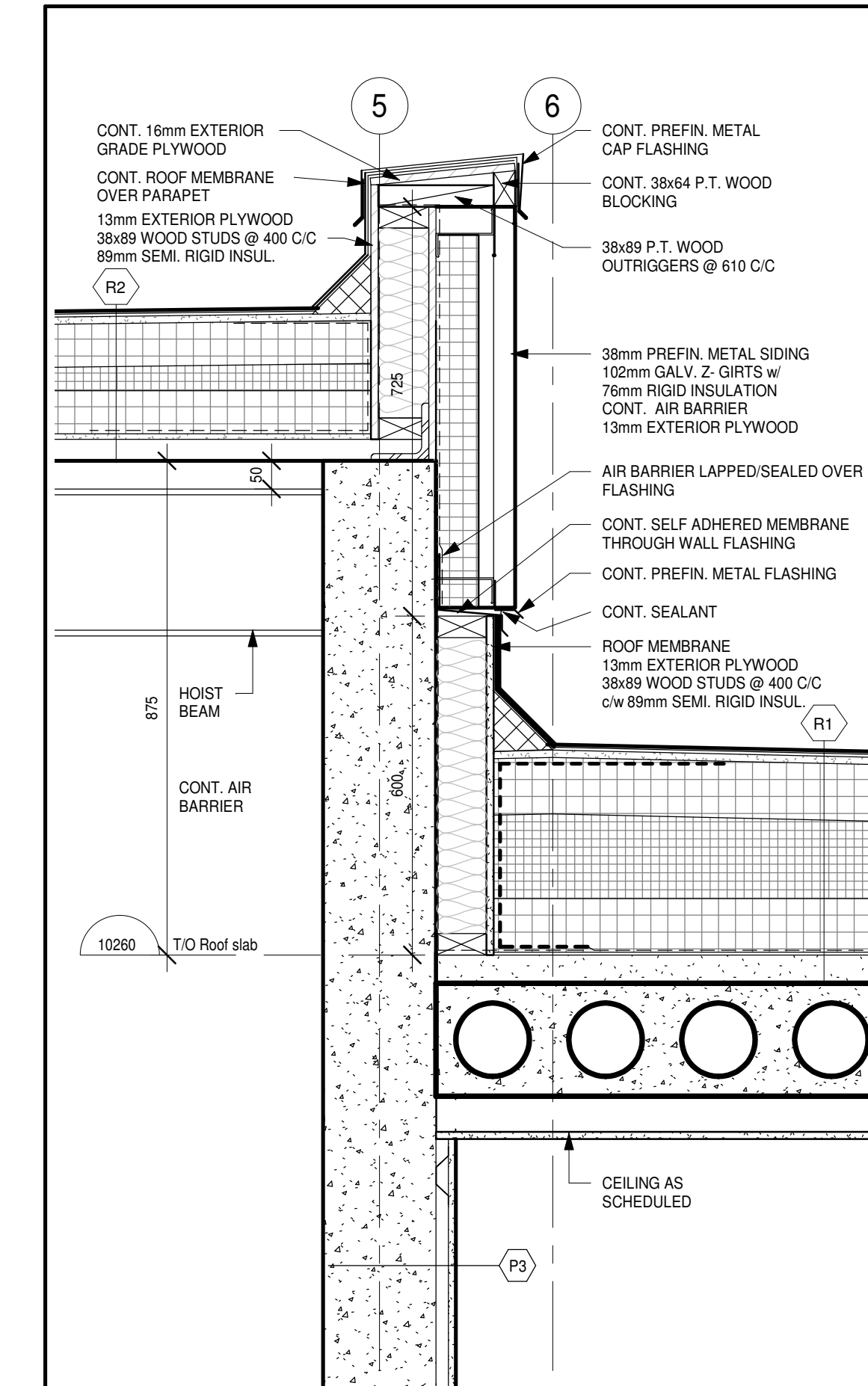
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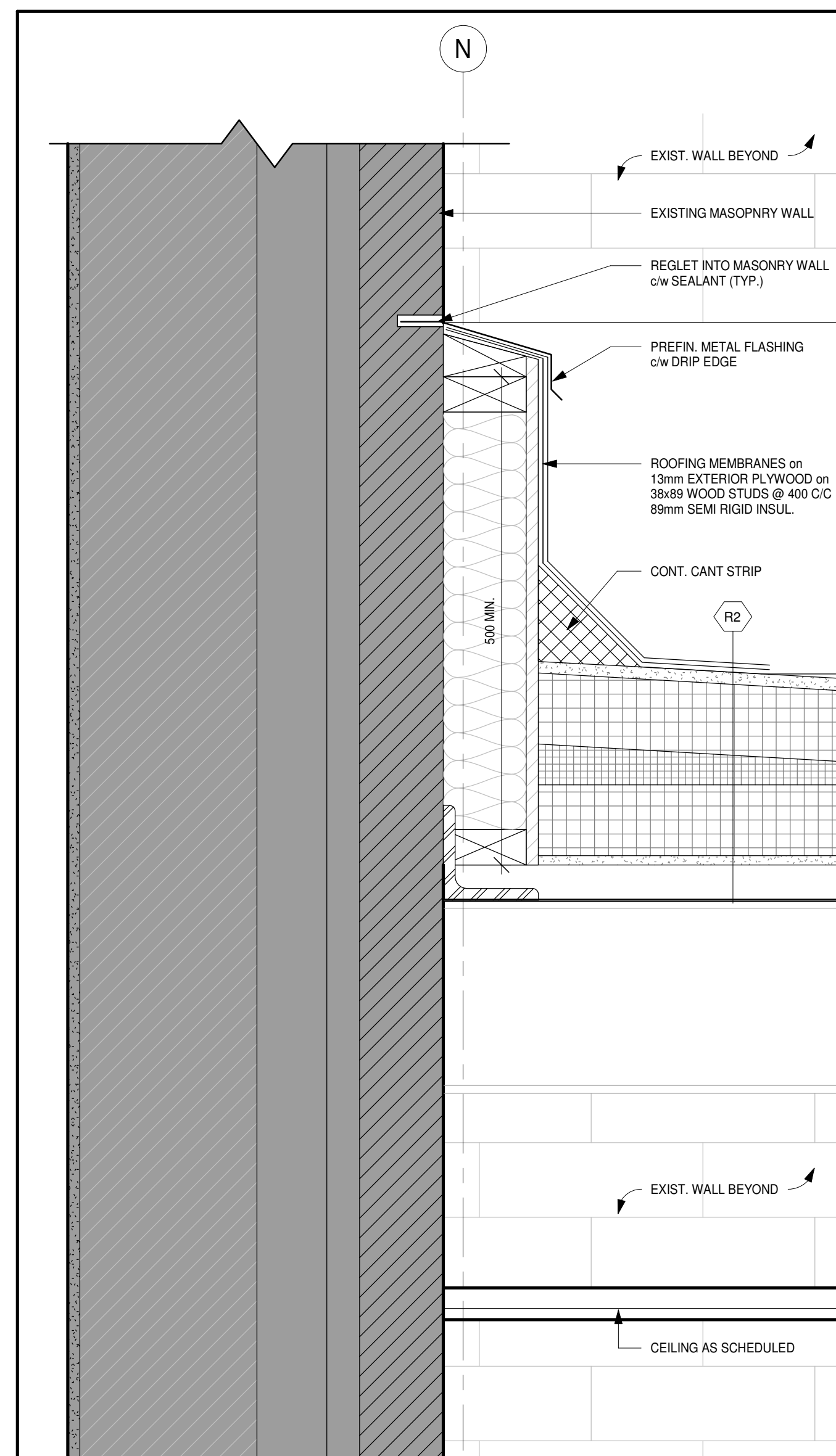
6 SECTION DETAIL
A511 1:10



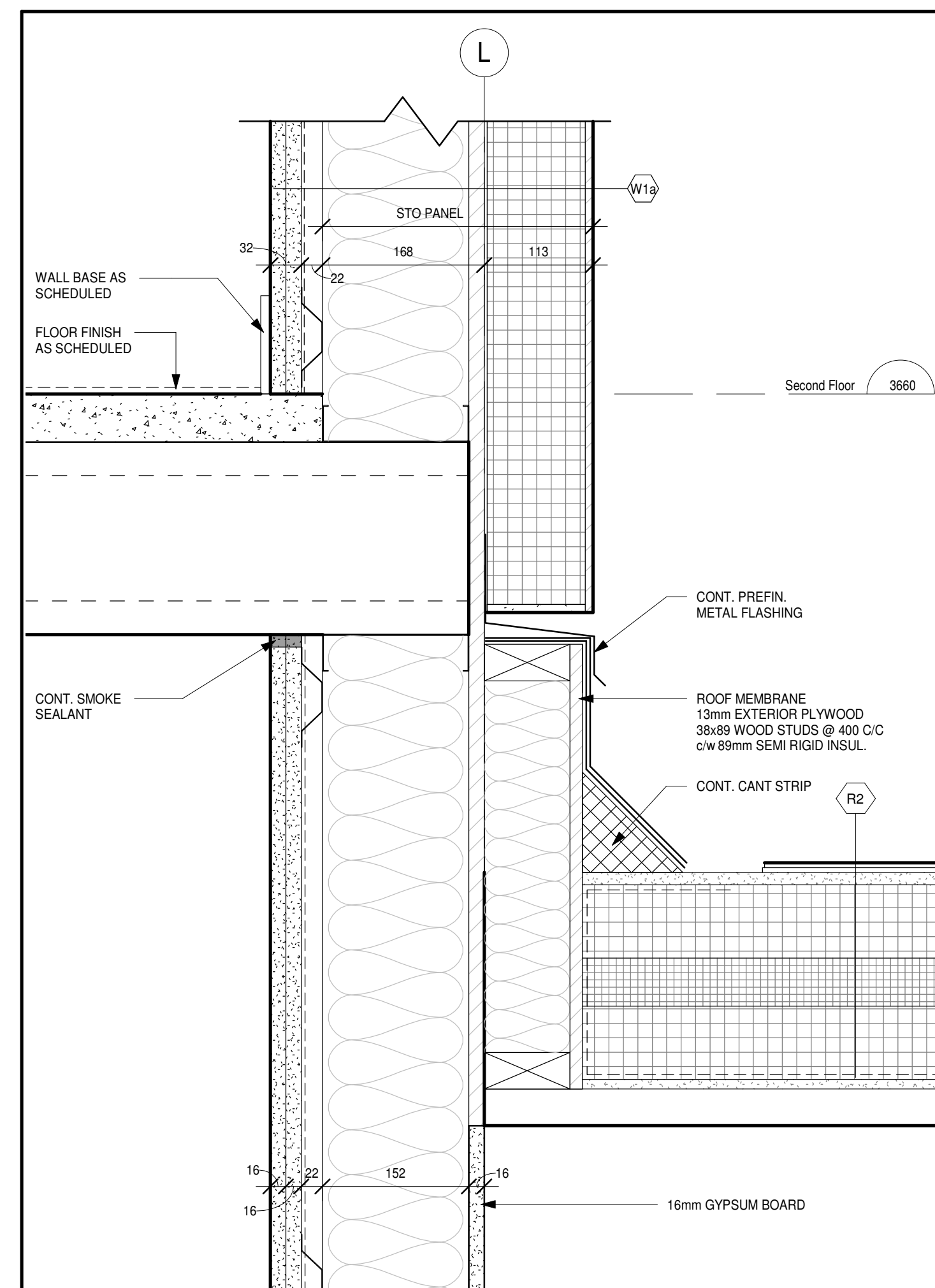
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A511 1:10



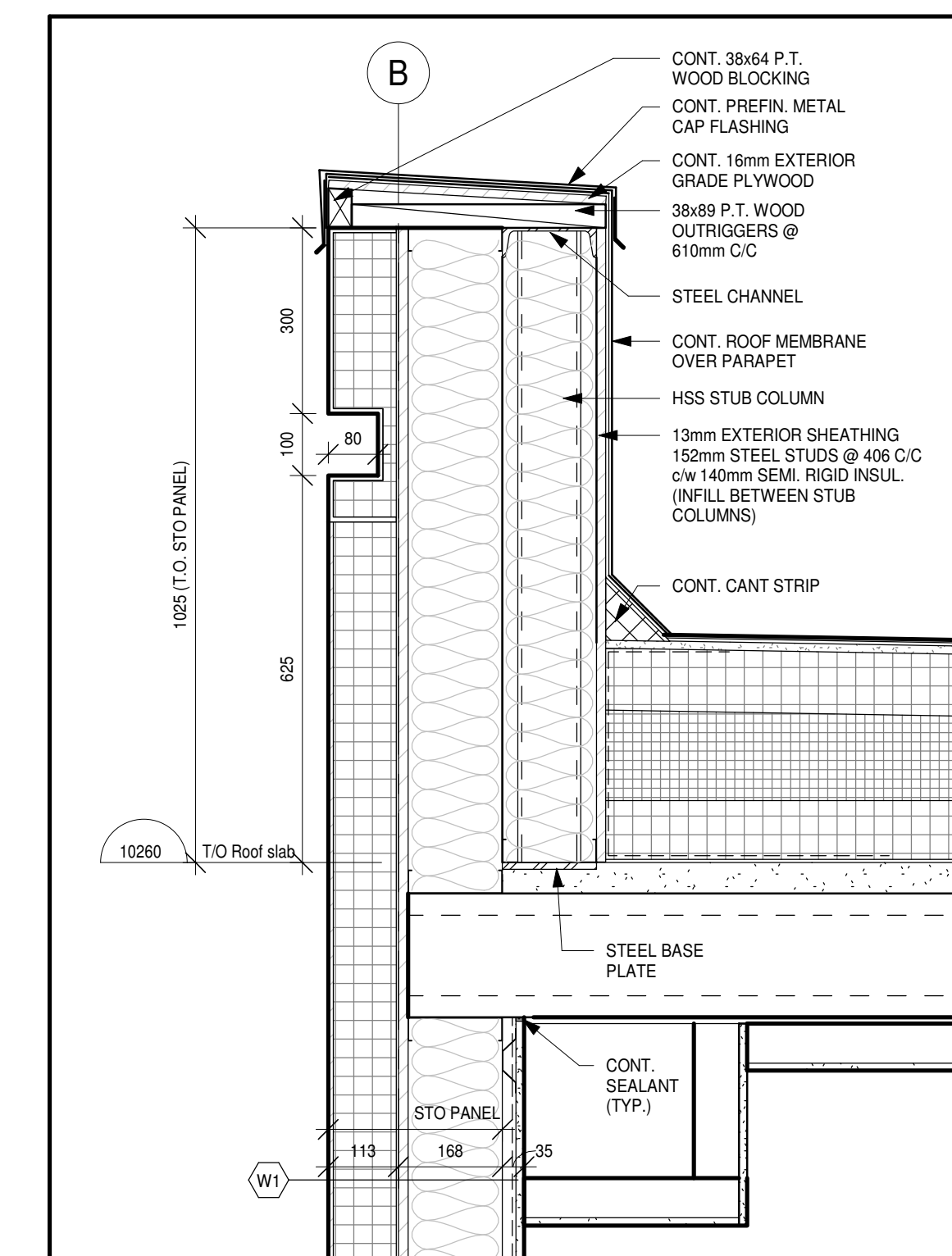
2 SECTION DETAIL
A511 1:10



5 SECTION DETAIL
A511 1:5



3 SECTION DETAIL
A511 1:5



1 SECTION DETAIL
A511 1:10

NO.	ISSUES	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

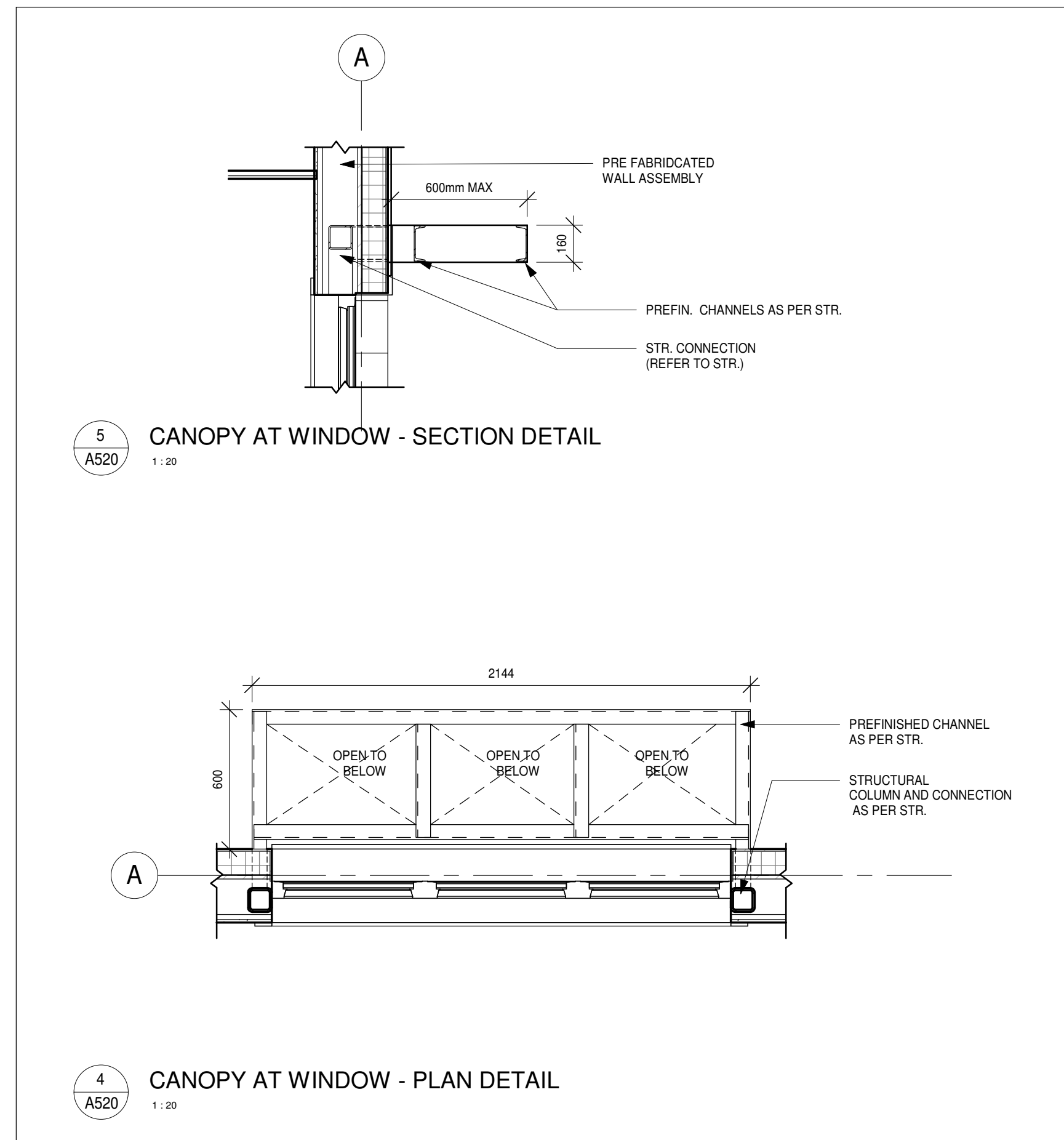
DRAWING:
SECTION DETAILS



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DRAWN BY: [Signature]
AUTHOR: [Signature]
CHECKED BY: [Signature]
DATE: 05/31/19
SCALE: As indicated
FILE:

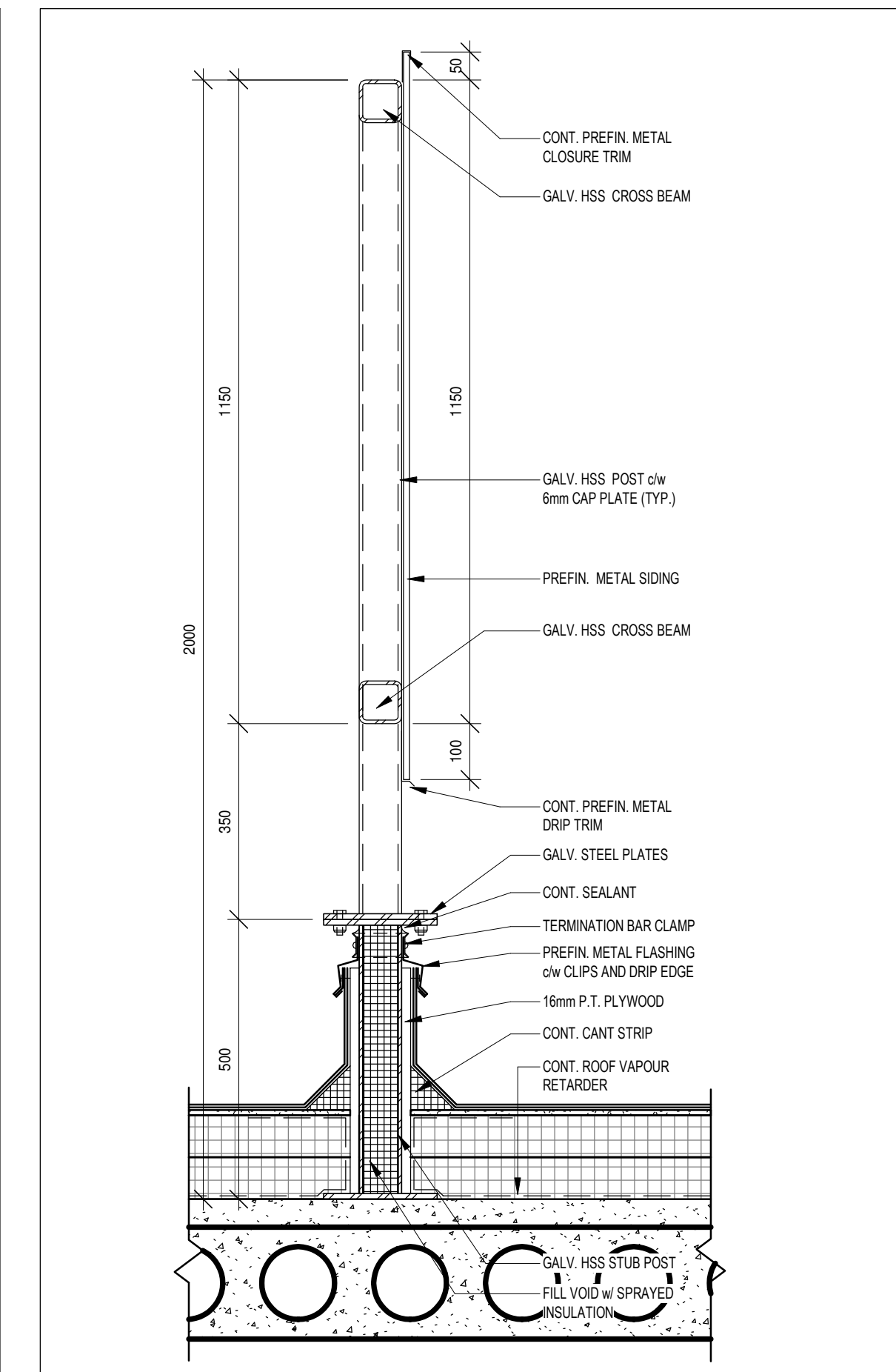
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DRAWING NO: **A511**

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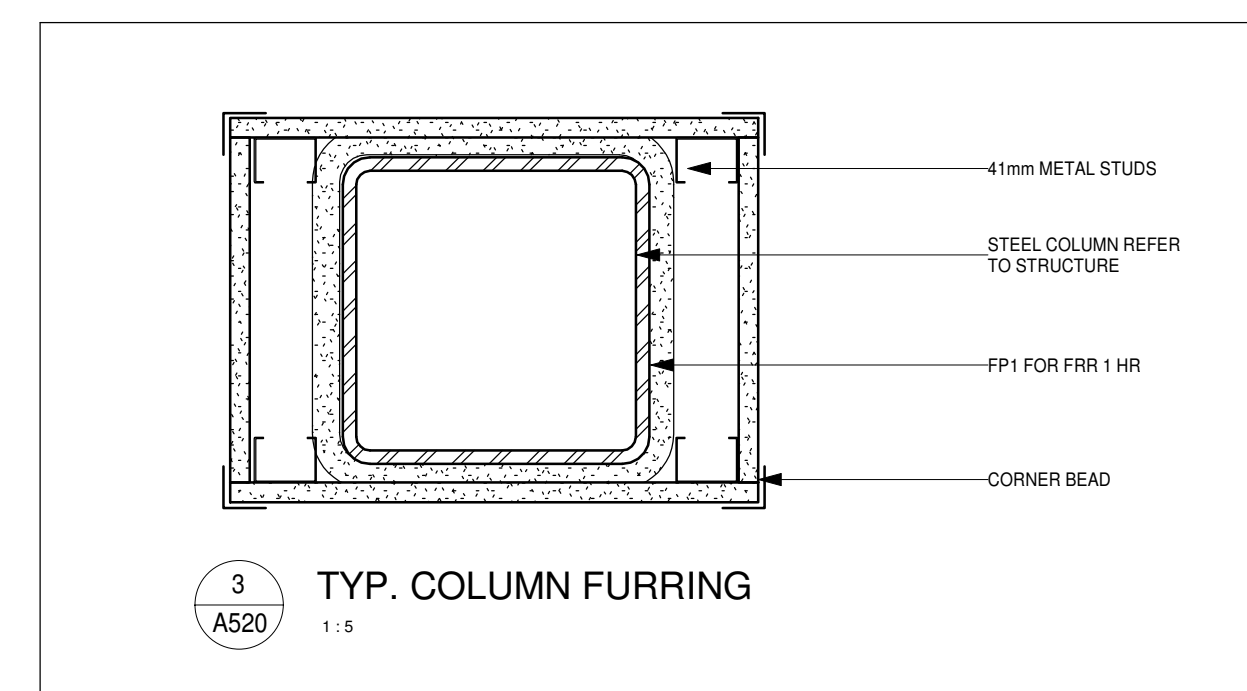


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A520
CANOPY AT WINDOW - SECTION DETAIL
1:20

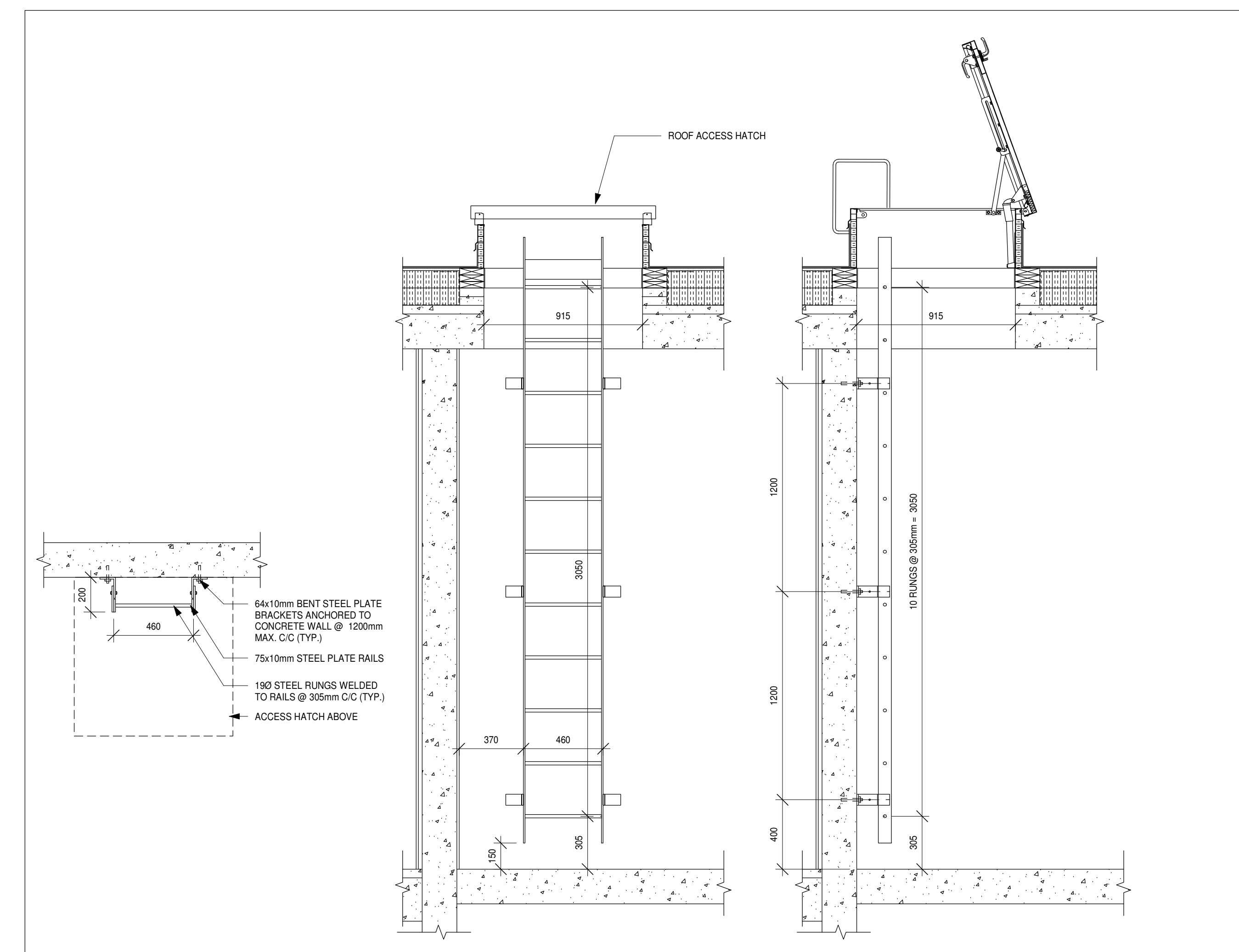
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A520
CANOPY AT WINDOW - PLAN DETAIL
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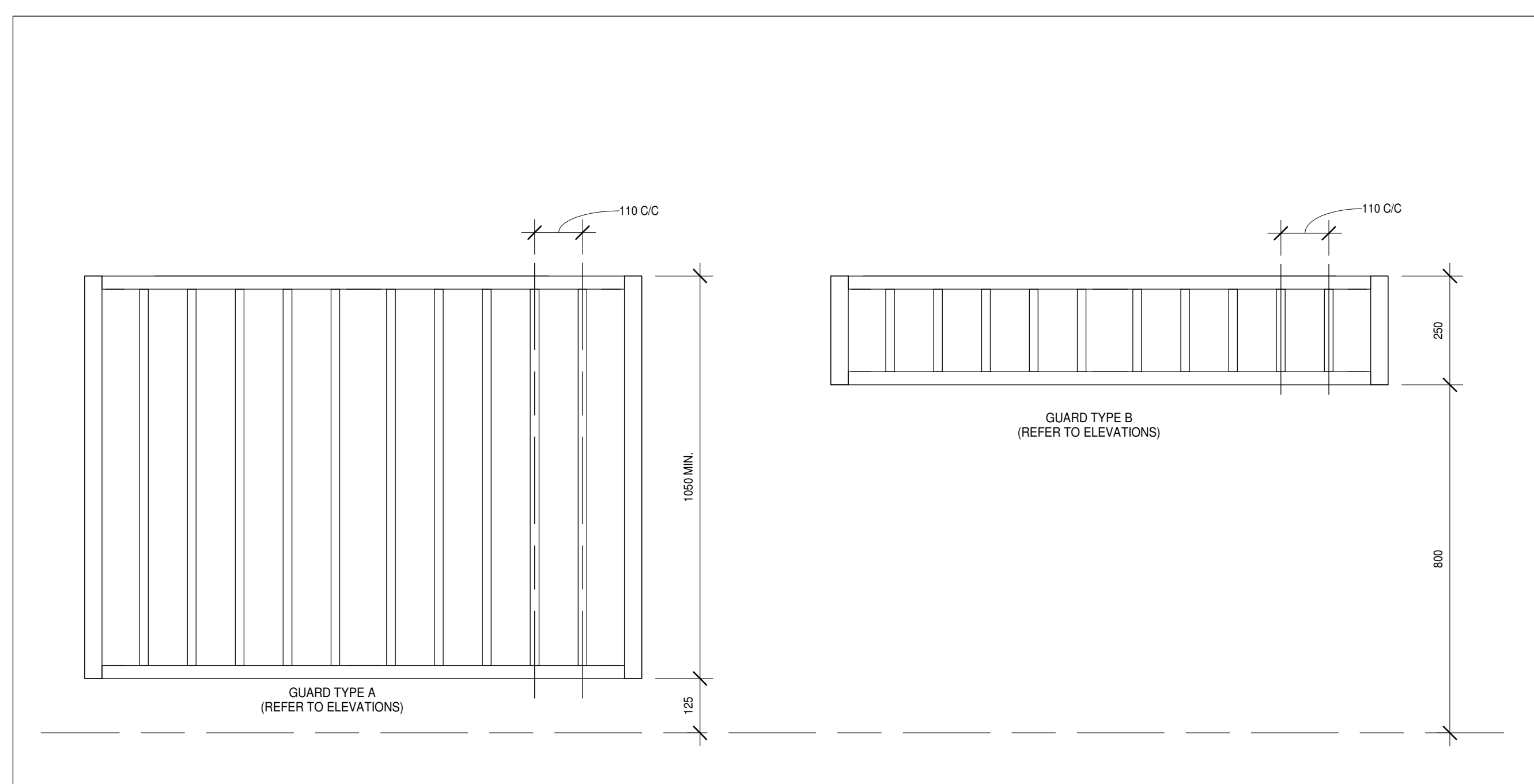
2
A520
MECHANICAL ROOF SCREEN
1:10



3
A520
TYP. COLUMN FURRING
1:5



1
A520
ACCESS LADDER
1:20



3
A520
JULIET BALCONY HANDRAIL
1:10

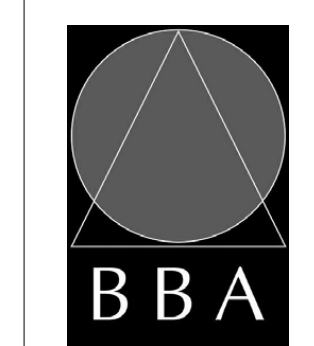
NO.	ISSUES	DATE	BY
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2	COORDINATION SET	2019-02-13	
3	M+E COORDINATION SET	2019-02-20	
4	FOR PERMIT	2019-03-11	
5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
TYPICAL DETAILS



BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers

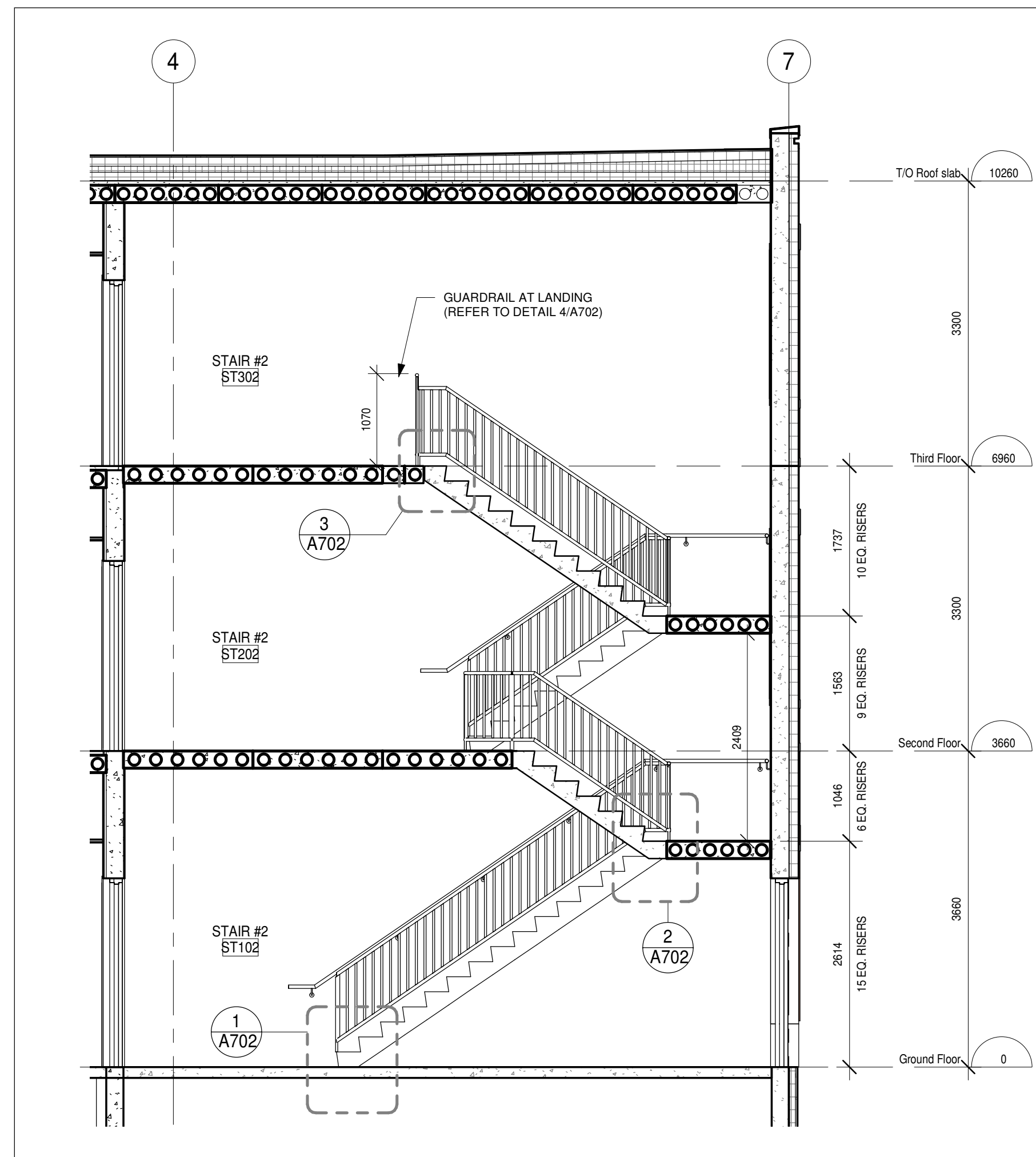
201-250 Water Street
Whitby Ontario L1N 0G5
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-arch.com



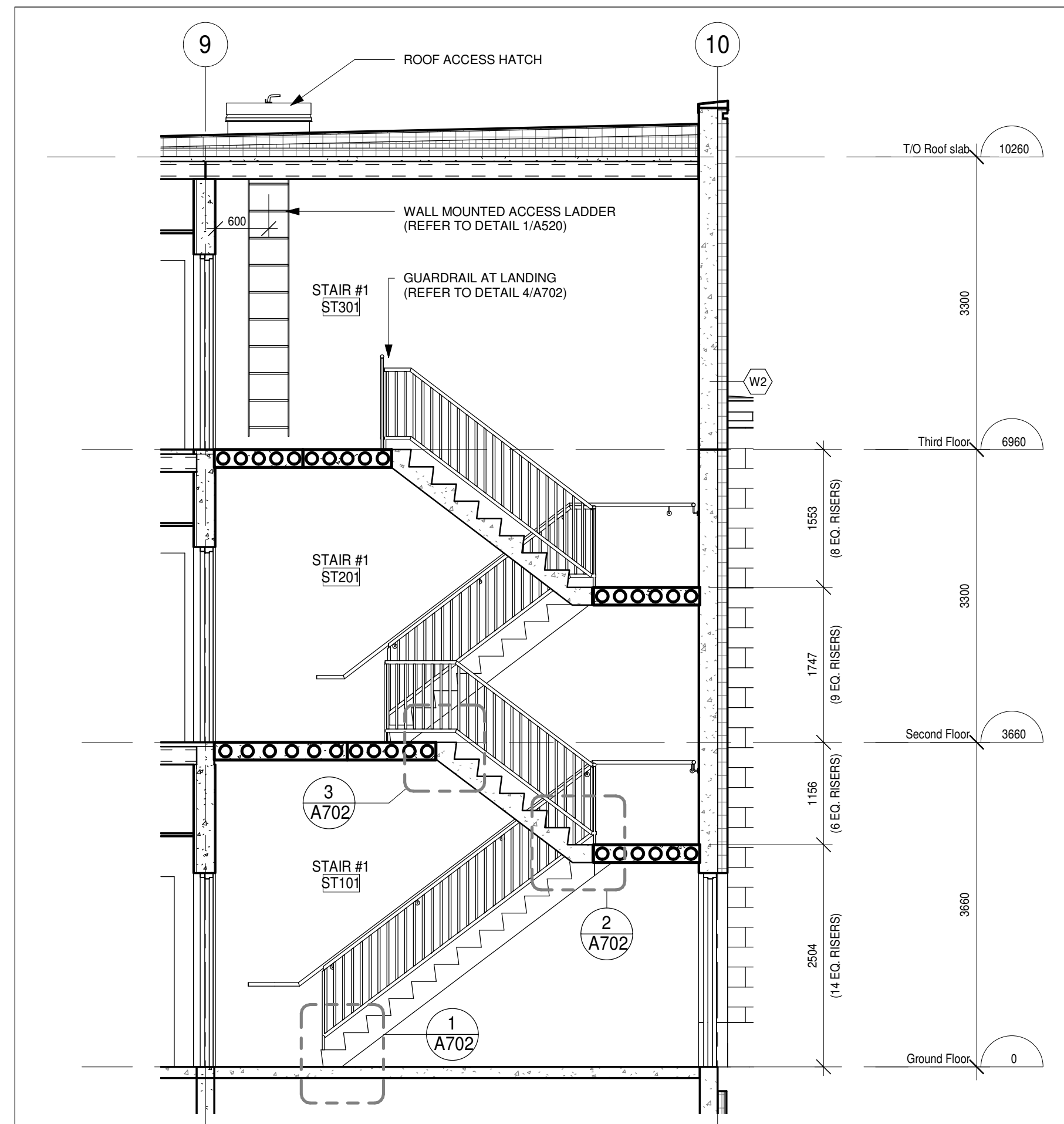
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DATE: 05/13/19
SCALE: As indicated
FILE:

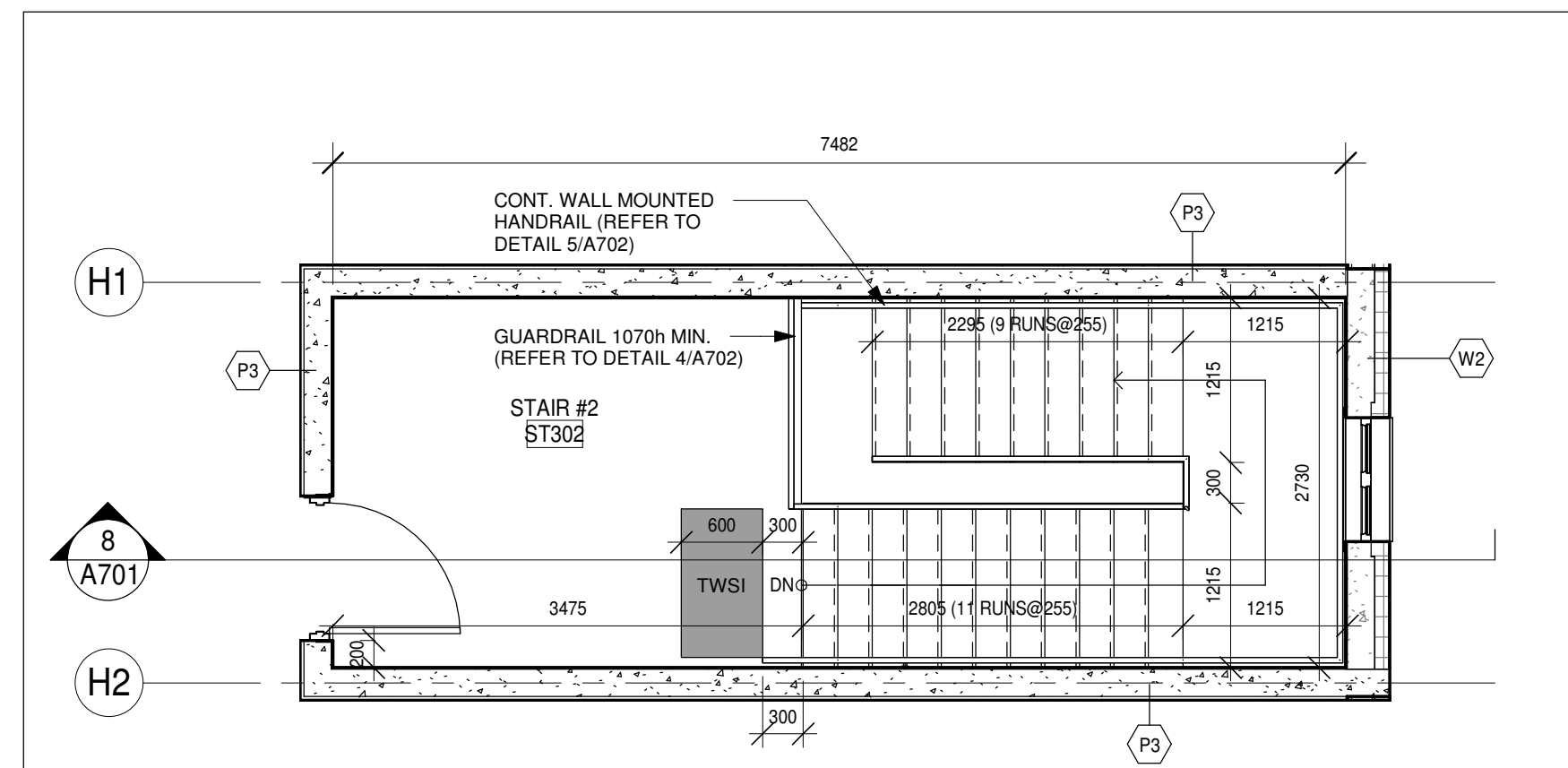
PROJECT NO. **18811**
DRAWING NO. **A520**



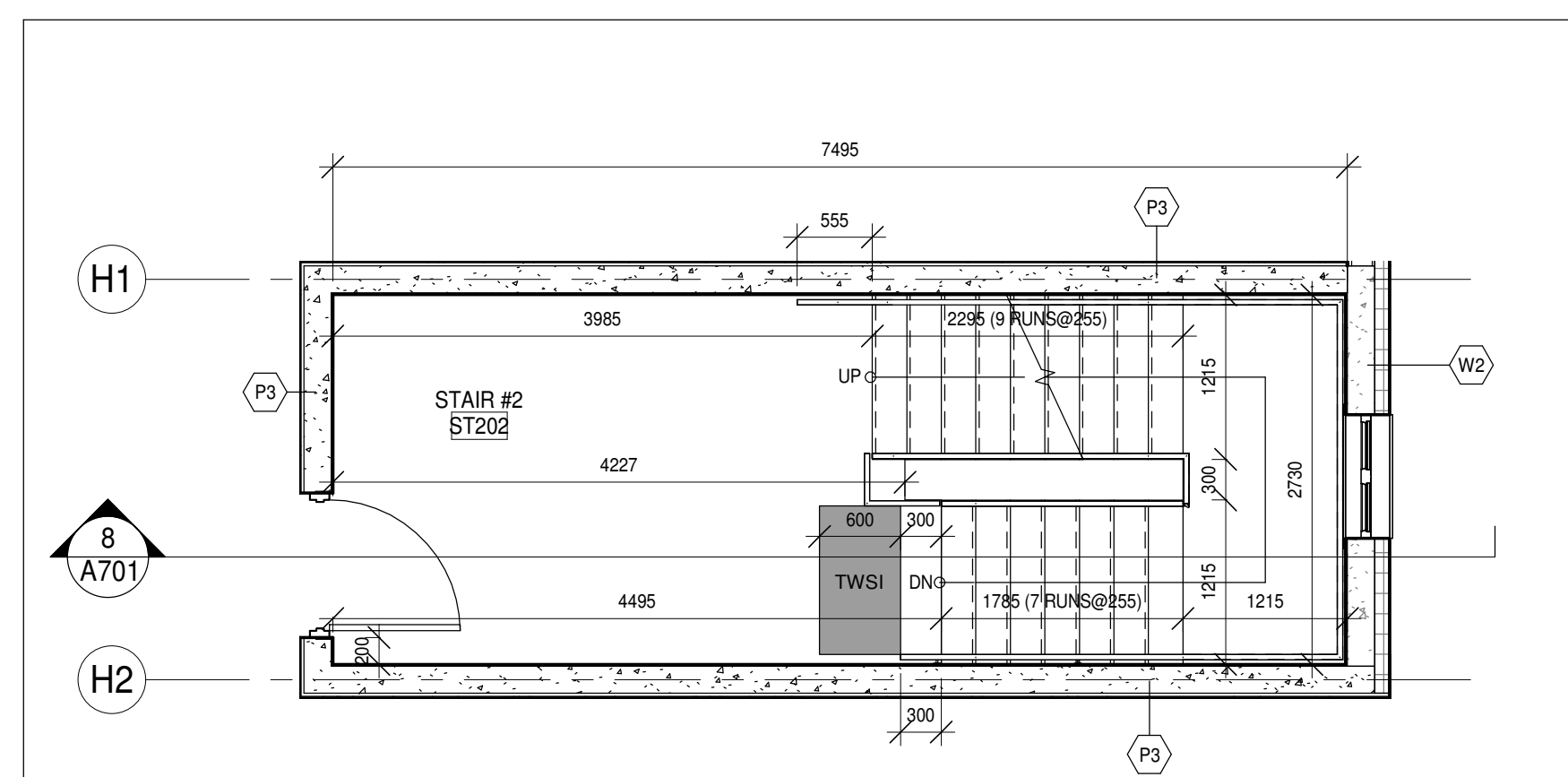
8 A701 STAIR #2 - SECTION
1:50



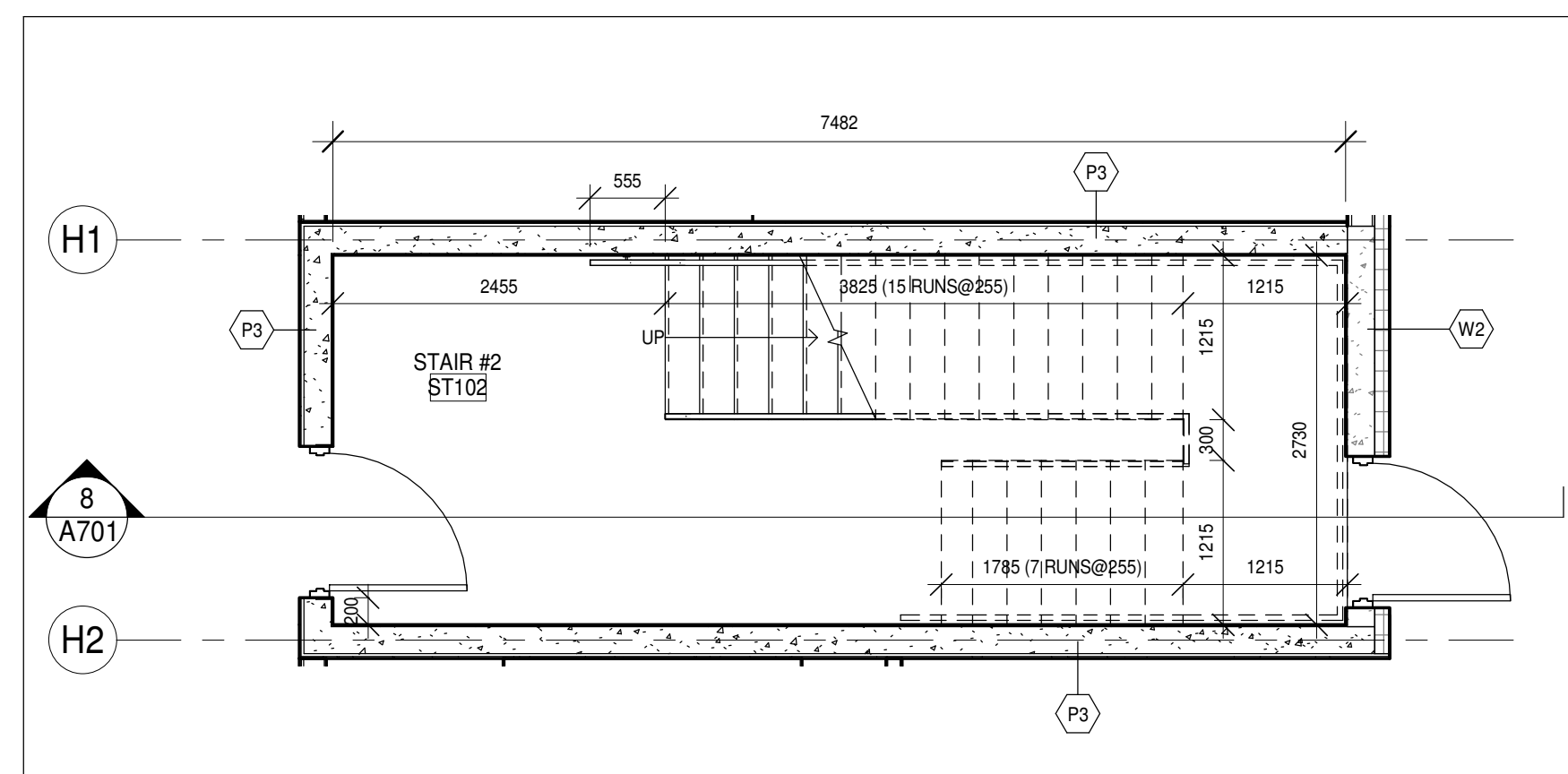
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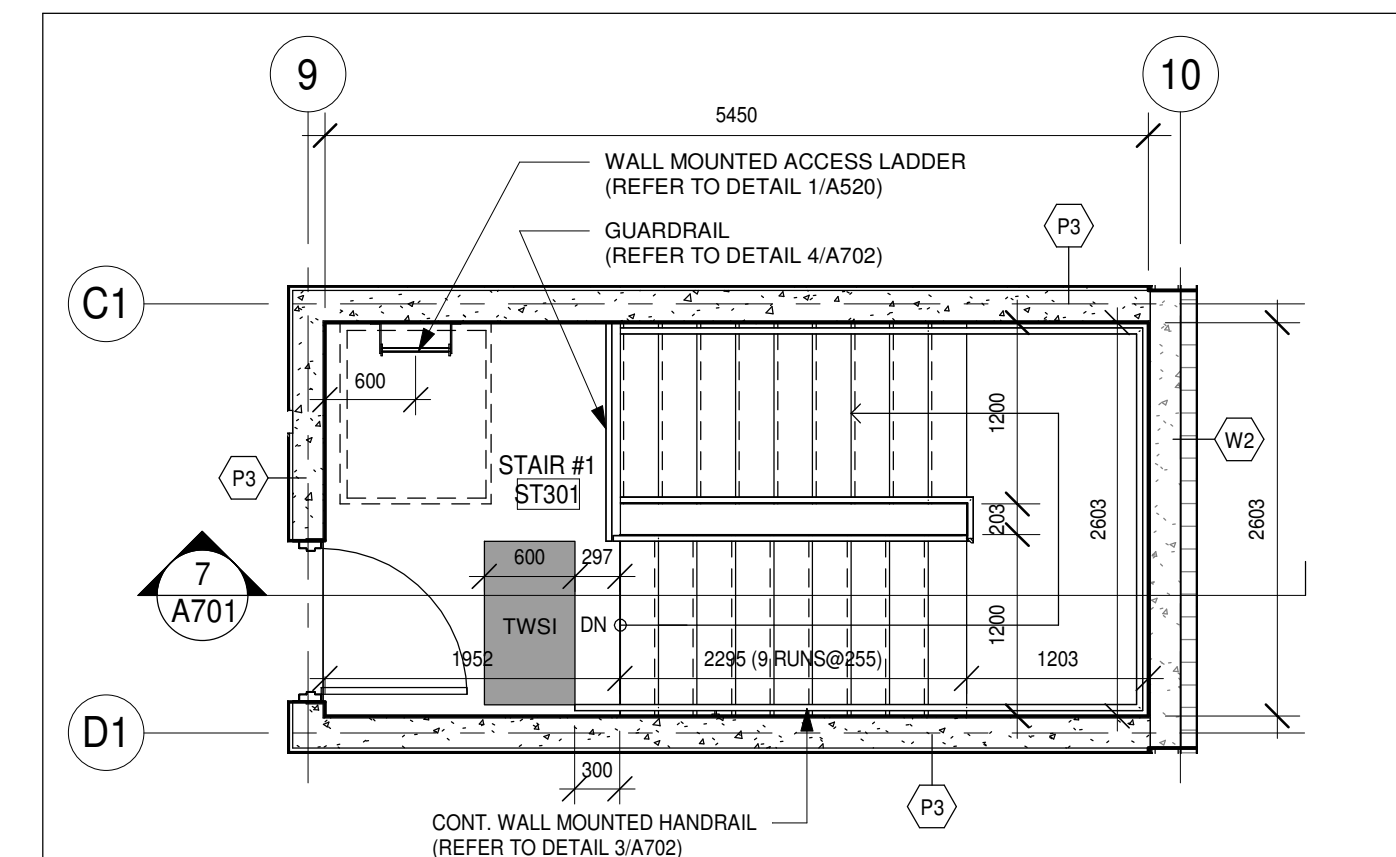
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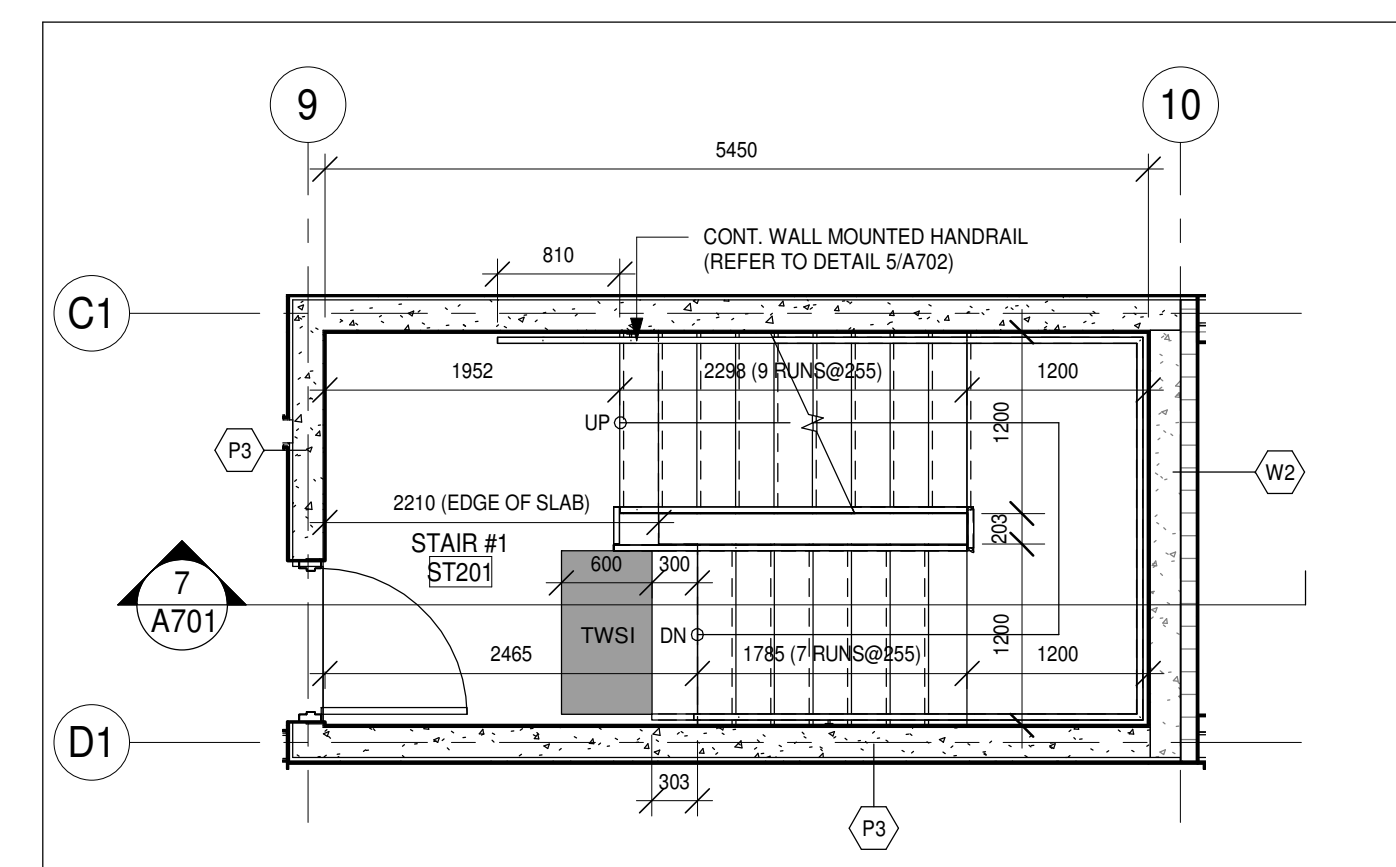
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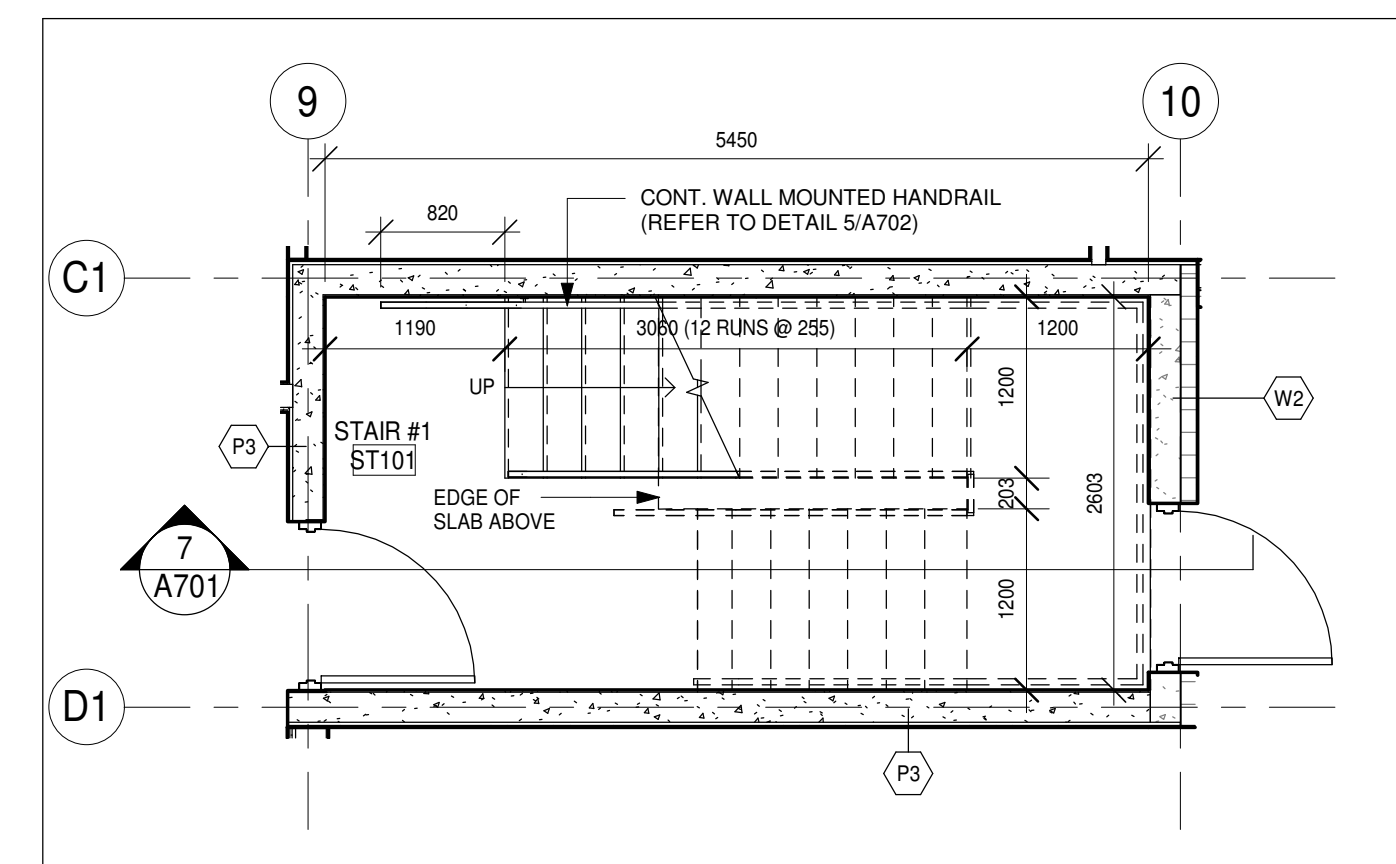
4 A701 STAIR #2 - GROUND FLOOR
1:50



3 A701 STAIR #1 - THIRD FLOOR
1:50



2 A701 STAIR #1 - SECOND FLOOR
1:50



1 A701 STAIR #1 - GROUND FLOOR
1:50

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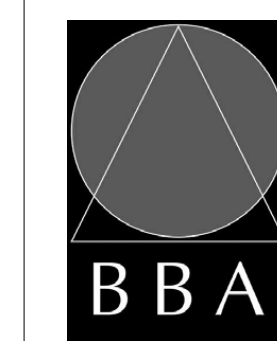
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NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
EXPANSION**

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
**STAIR PLANS AND
SECTIONS**



**BARRY BRYAN
ASSOCIATES**

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DP
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DATE: 02/15/19
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FILE:

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DRAWING NO. **A701**

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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
EXPANSION**


153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
**STAIR AND RAILING
DETAILS**



**BARRY BRYAN
ASSOCIATES**

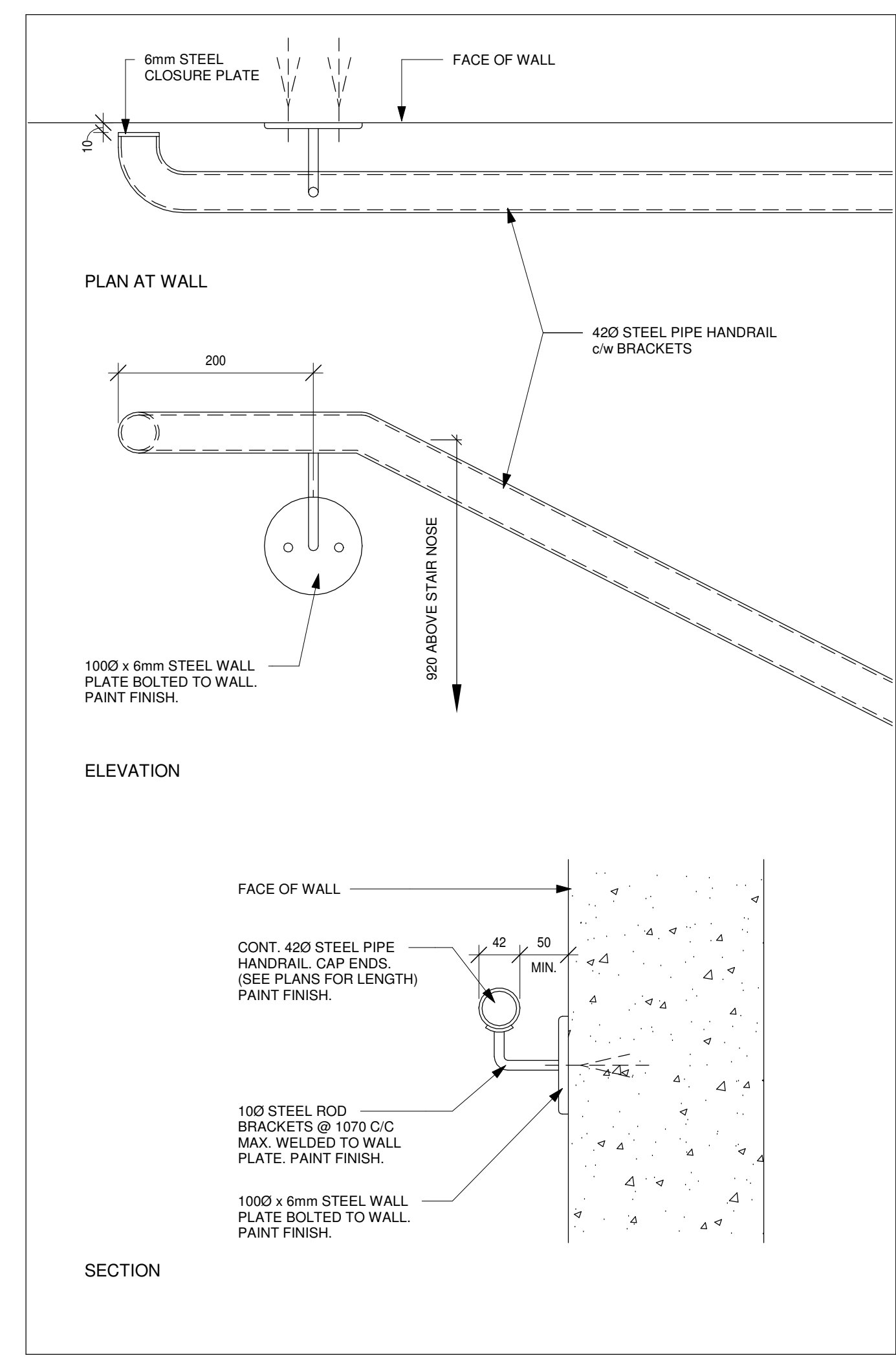
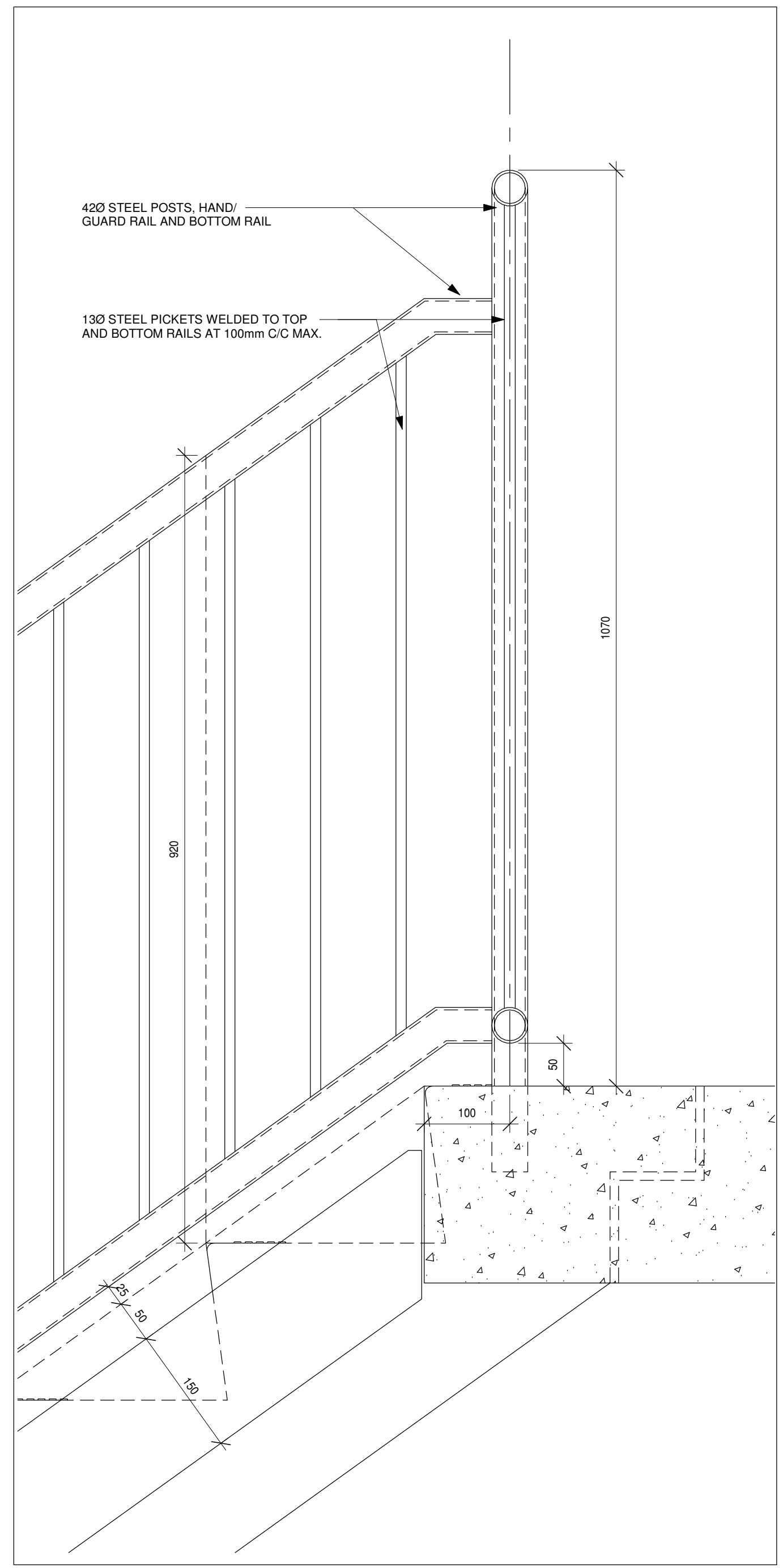
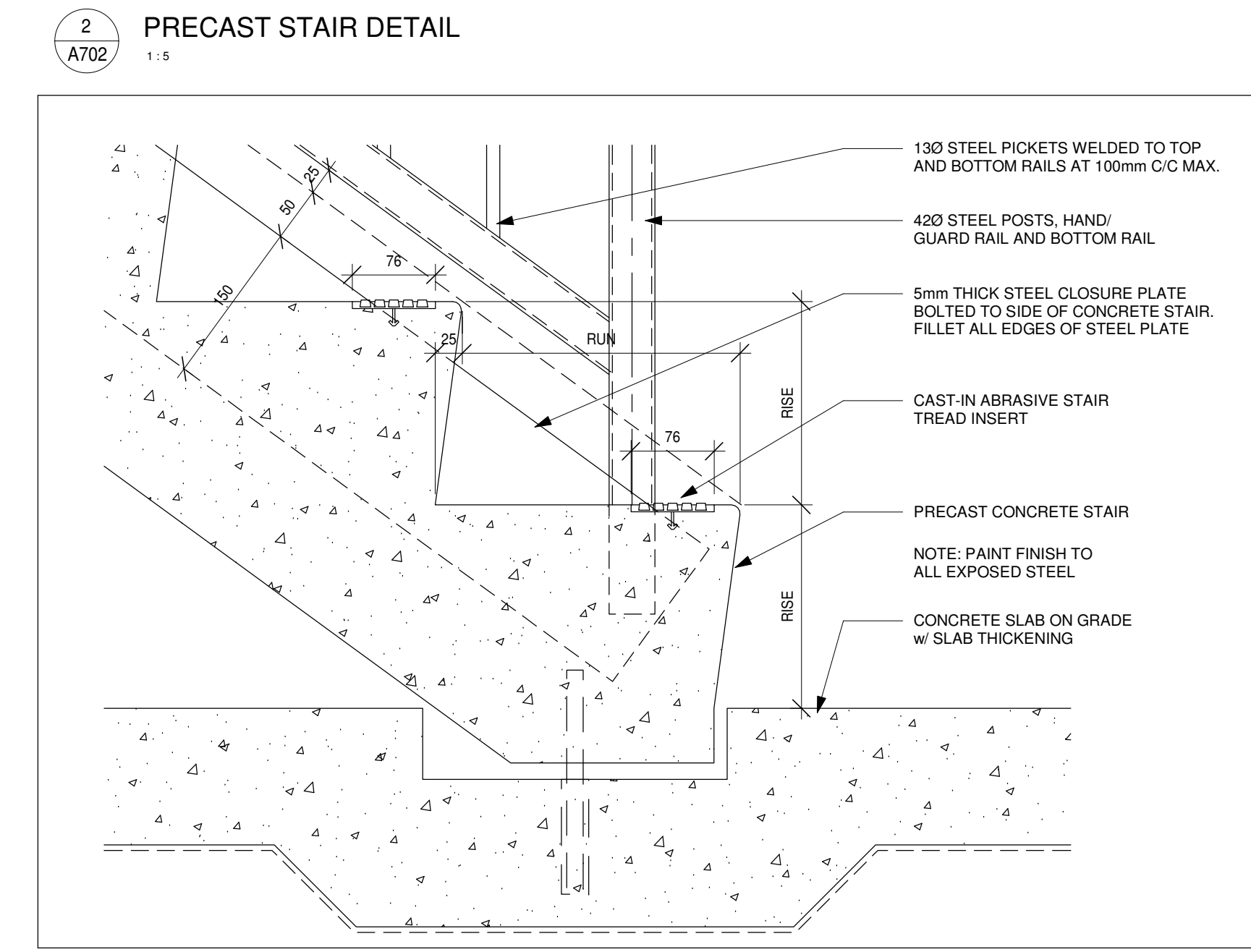
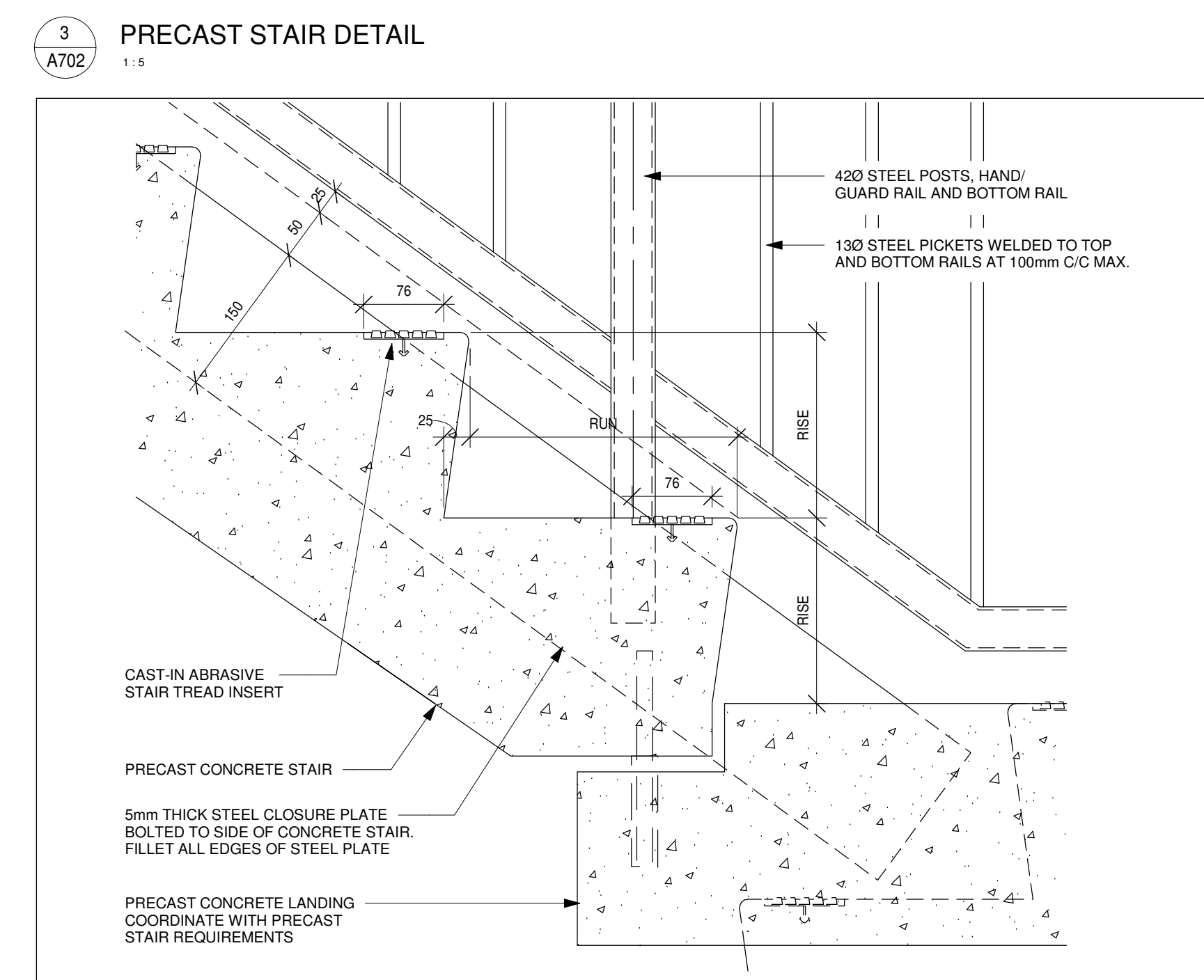
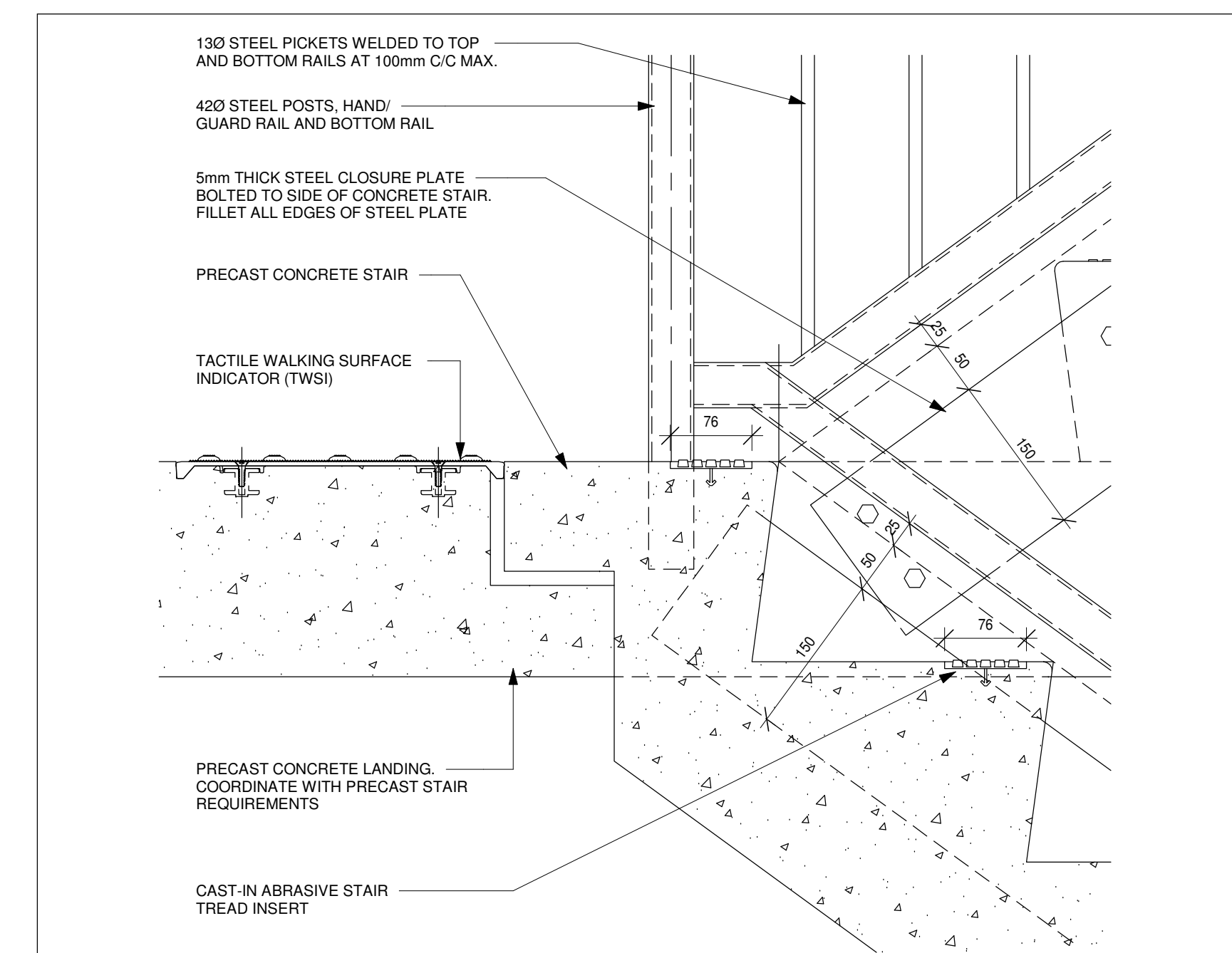
Architects
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DATE: 05/16/19
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DRAWING NO. **A702**

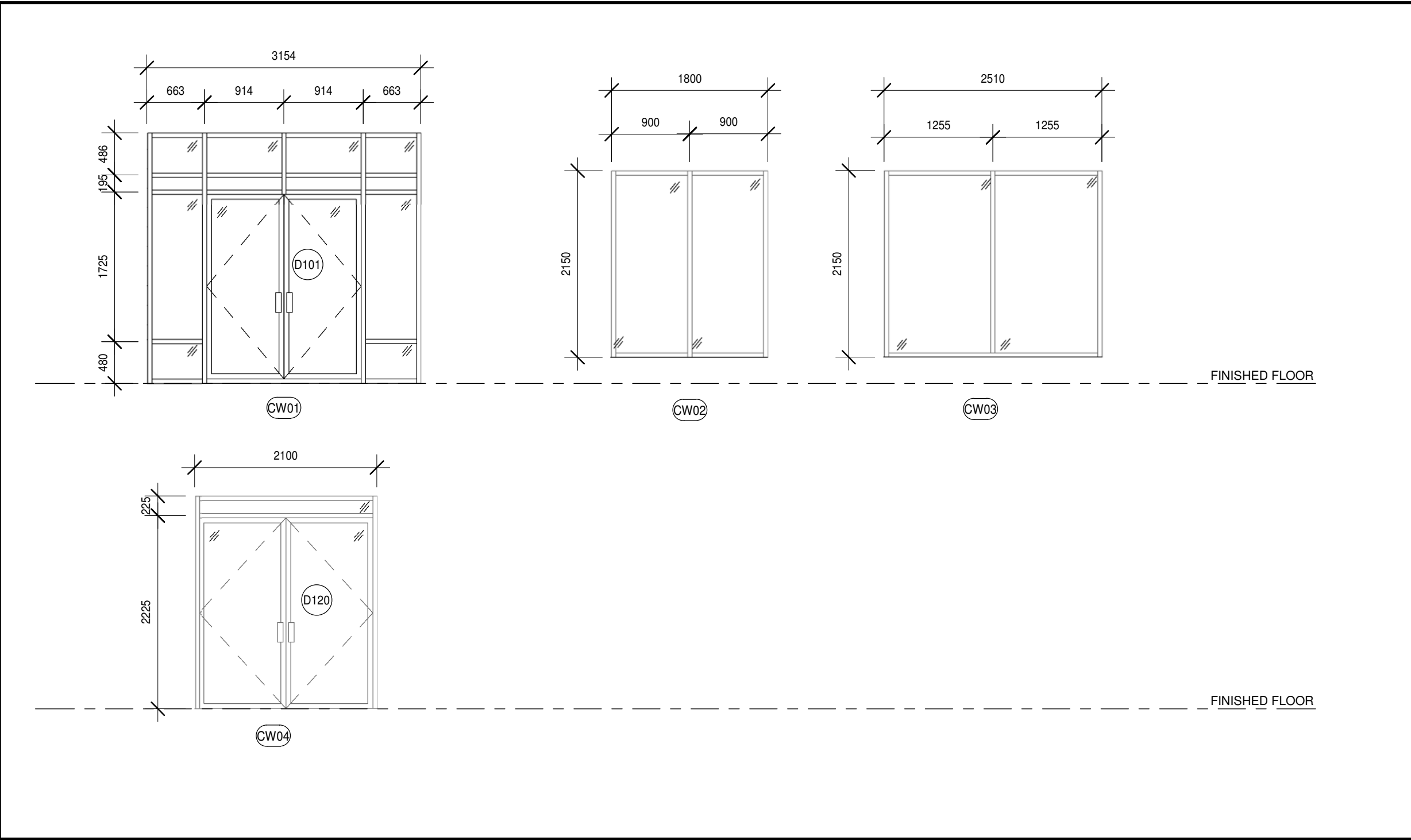


5 WALL MOUNTED HANDRAIL DETAILS
A702 1:5

4 GUARD RAIL DETAIL
A702 1:5

1 PRECAST STAIR DETAIL
A702 1:5

ROOM SCHEDULE														
ROOM		FLOOR		WALL 1 (NORTH)		WALL 2 (EAST)		WALL 3 (SOUTH)		WALL 4 (WEST)		CEILING		COMMENTS
No.	Room Name	Floor Finish	Base Finish	Substrate	Finish	Substrate	Finish	Substrate	Finish	Substrate	Finish	Ceiling Finish	Height	
Ground Floor														
100	MAIL	LVT1	RB	-	-	GWB	PT	GWB	PT	GWB	PT	ACT	4000	
101	NORTH VESTIBULE	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	4000	
102	LOBBY	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3355	
103	W/C	CT	CT	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	4000	
104	COMMUNITY ROOM / KITCHEN	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3360	
105	STORAGE	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3360	
106	LAUNDRY	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3360	
107	SCOOTER STORAGE	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3360	
108	LOADING / REFUSE	S	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EXPOSED	3360	
109	MECHANICAL	S	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EXPOSED	3360	
110	UNIT A1 - BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3360	CERAMIC TILE IN BATHROOM
111	UNIT A2 - BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3360	CERAMIC TILE IN BATHROOM
112	UNIT B1	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3360	CERAMIC TILE IN BATHROOM
113	UNIT C1	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3360	CERAMIC TILE IN BATHROOM
114	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3360	CERAMIC TILE IN BATHROOM
115	UNIT C1	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3360	CERAMIC TILE IN BATHROOM
116	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3360	CERAMIC TILE IN BATHROOM
117	UNIT C1	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3410	CERAMIC TILE IN BATHROOM
118	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3372	CERAMIC TILE IN BATHROOM
119	ADMIN	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3624	
120	BREEZEWAY	LVT1	RB	-	-	-	-	-	-	-	-	-	3360	
C101	CORRIDOR	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3360	
C102	SOUTH VESTIBULE	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3360	
ST101	STAIR #1	S	RB	CONC	-	CONC	-	CONC	-	CONC	-	EXPOSED	3652	
ST102	STAIR #2	S	RB	CONC	-	CONC	-	CONC	-	CONC	-	EXPOSED	3360	
Second Floor														
201	UNIT I1-BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
202	UNIT C3	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
203	UNIT G1-BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
204	UNIT H1	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
205	UNIT D1	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	4000	CERAMIC TILE IN BATHROOM
206	UNIT E	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
207	UNIT F1 - BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
208	UNIT A2 - BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
209	UNIT B2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
210	UNIT B3	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
211	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
212	UNIT C1	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
213	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
214	UNIT C1	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
215	REFUSE	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EXPOSED	3271	
C201	CORRIDOR	LVT1	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3050	
ST201	STAIR #1	S	RB	CONC	-	CONC	-	CONC	-	CONC	-	EXPOSED	3000	
ST202	STAIR #2	S	RB	CONC	-	CONC	-	CONC	-	CONC	-	EXPOSED	3000	
Third Floor														
301	UNIT I2-BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
302	UNIT C4	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
303	UNIT G2-BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
304	UNIT H2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
305	UNIT D2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	4000	CERAMIC TILE IN BATHROOM
306	UNIT E	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
307	UNIT F2-BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
308	UNIT A3-BF	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
309	UNIT B4	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
310	UNIT B5	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
311	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
312	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
313	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
314	UNIT C2	LVT2/CT	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	GWB	3000	CERAMIC TILE IN BATHROOM
315	REFUSE	LVT2	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	EXPOSED	3140	
C301	CORRIDOR	LVT2	RB	GWB	PT	GWB	PT	GWB	PT	GWB	PT	ACT	3050	
ST301	STAIR #1	S	RB	CONC	-	CONC	-	CONC	-	CONC	-	EXPOSED	3000	
ST302	STAIR #2	S	RB	CONC	-	CONC	-	CONC	-	CONC	-	EXPOSED	3000	



CURTAIN WALL TYPES

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6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION


153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
CURTAIN WALL TYPES AND ROOM SCHEDULE



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DESIGN BY:
Designer

DRAWN BY:
E. COMPLETE

AUTHOR
Author

CHECKED BY:
Checker

DATE:
05/22/19

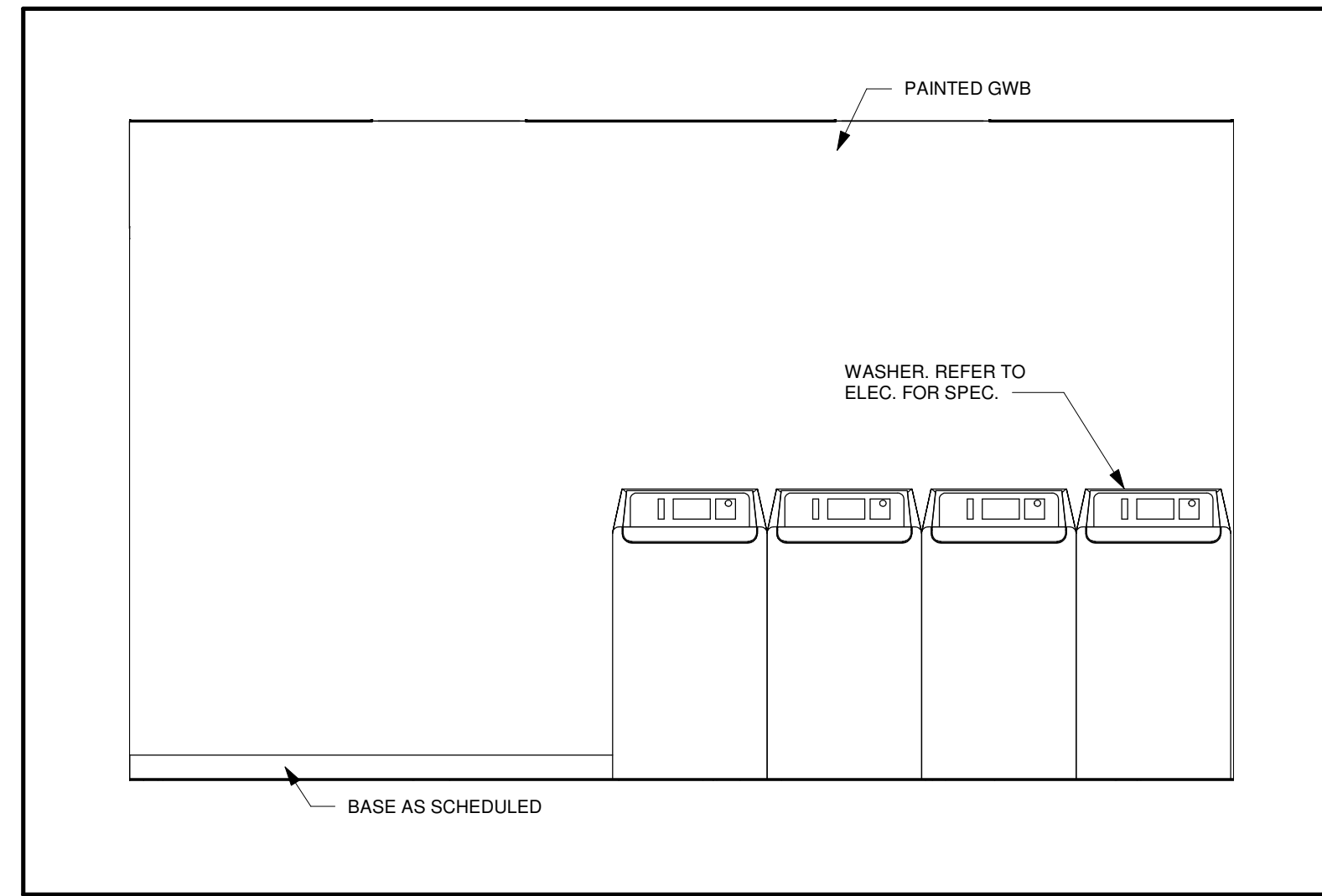
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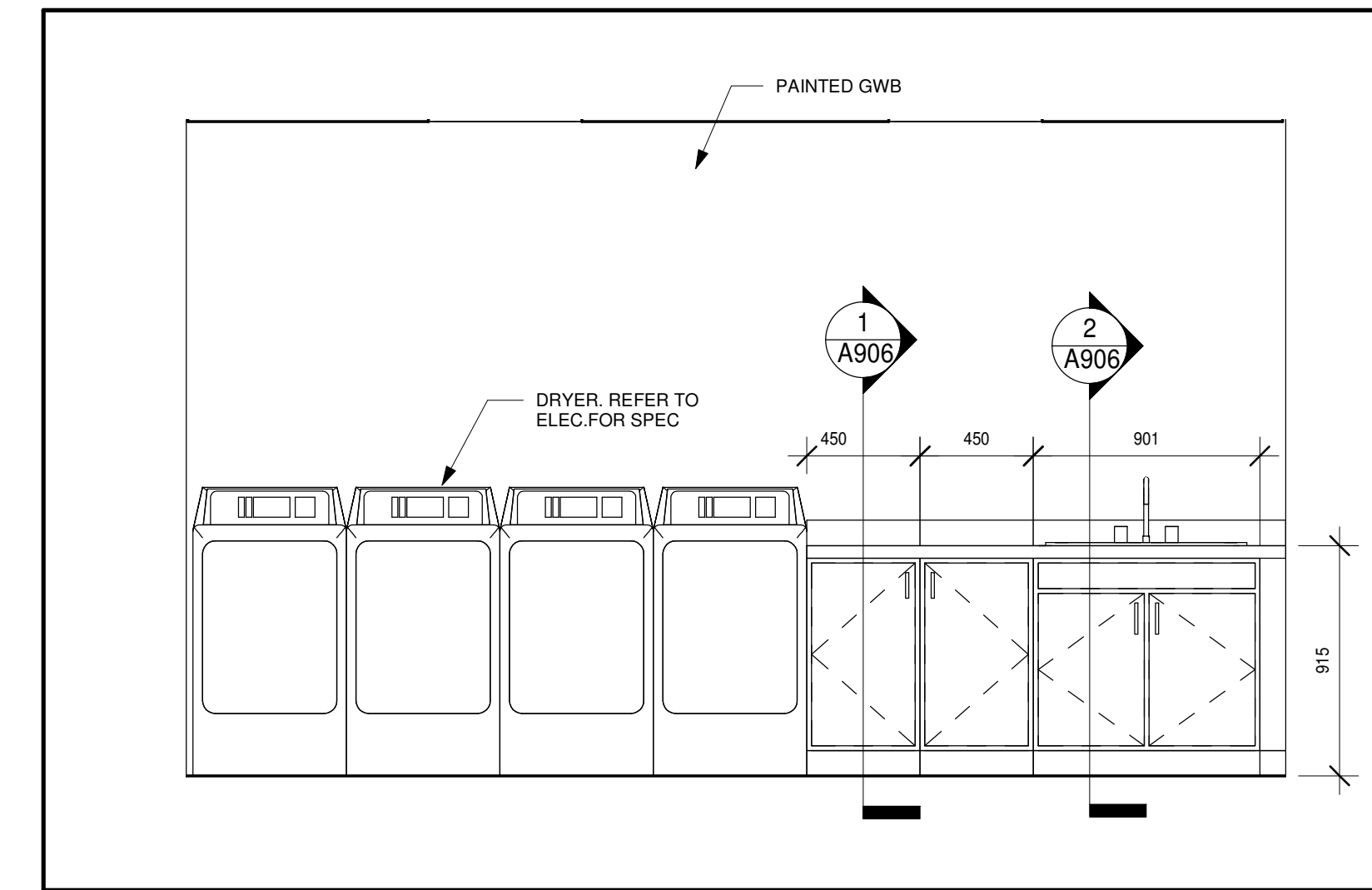
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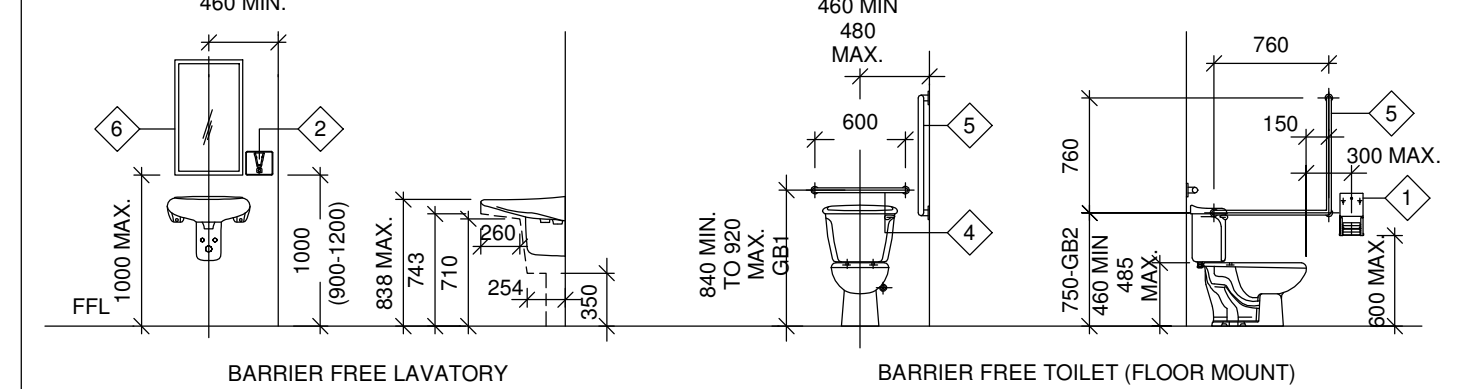
6
A901
Laundry Room-6
1:25



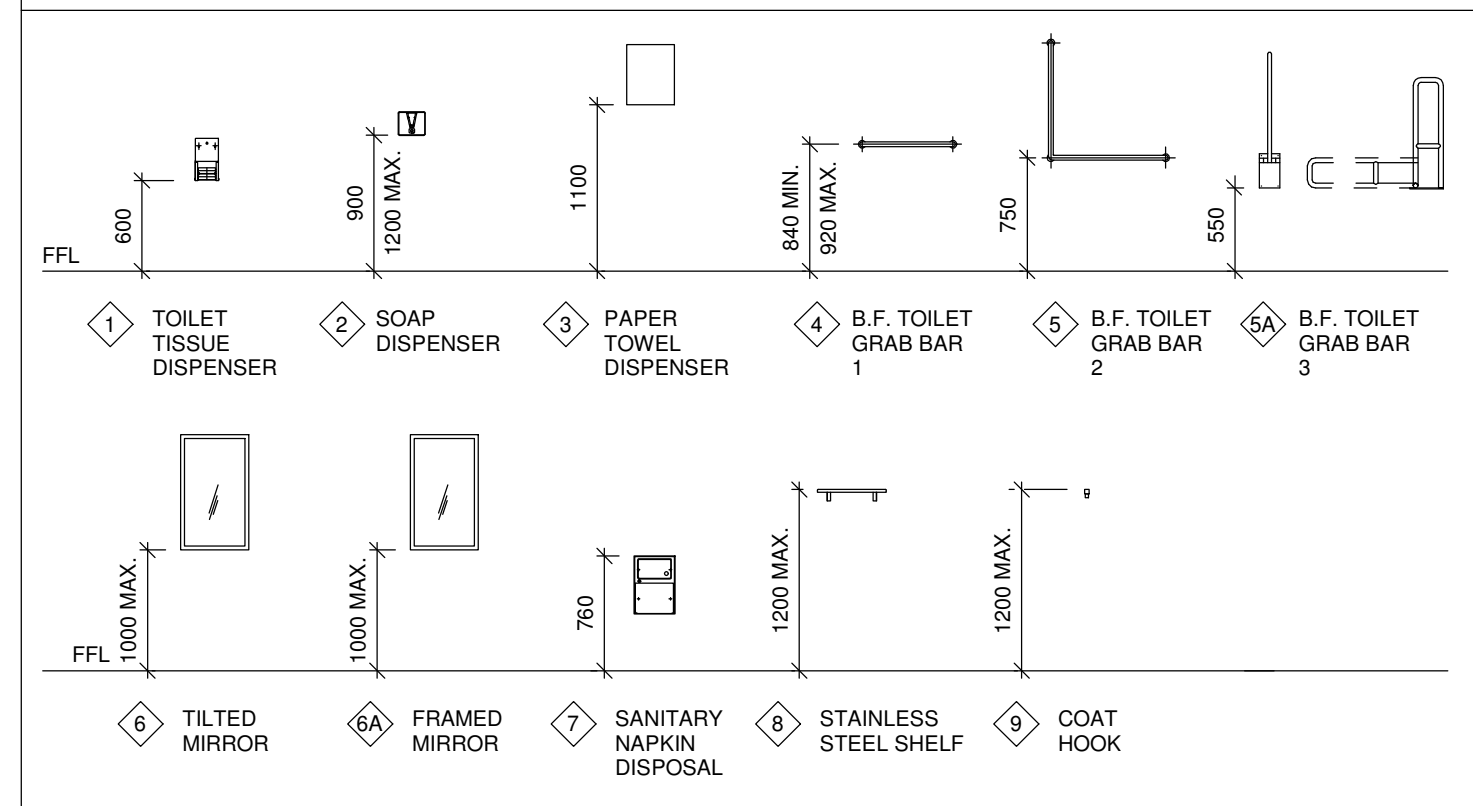
5
A901
Laundry Room-5
1:25

BARRIER FREE MOUNTING HEIGHT REQUIREMENTS

- GRAB BARS SHALL BE MIN. 35mm Ø, 40mm Ø MAX.
- CLEARANCE FOR GRAB BARS TO BE MIN. 38mm, 50mm MAX.
- GRAB BARS TO HAVE SLIP RESISTANT SURFACE.
- INSTALL GRAB BARS TO SUPPORT LOADING REQUIRED BY THE ONTARIO BUILDING CODE.
- LOCATE COAT HOOK ON SIDEWALL OF TOILET STALL DOOR AT 1200mm MAX. ABOVE FINISHED FLOOR AND PROJECTING NOT MORE THAN 50mm.
- ALL FIXTURES SHALL CONFORM TO BARRIER-FREE HEIGHTS OUTLINED IN THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- ALL ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- INSTALL DOOR OPERATOR, PUSH BUTTONS AND PUSH TO LOCK DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
- INSTALL EMERGENCY CALL SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.

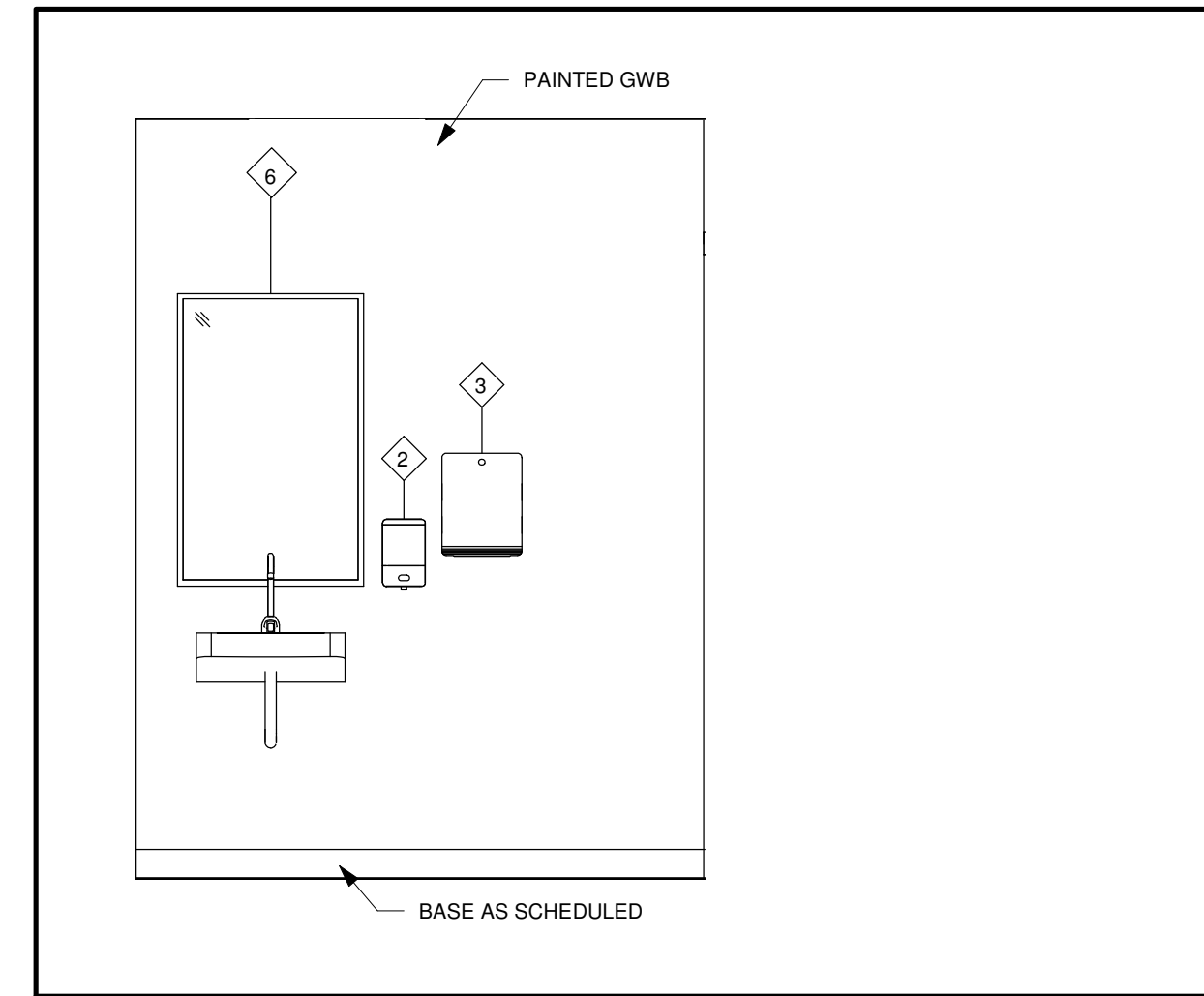


WASHROOM ACCESSORIES MOUNTING HEIGHTS

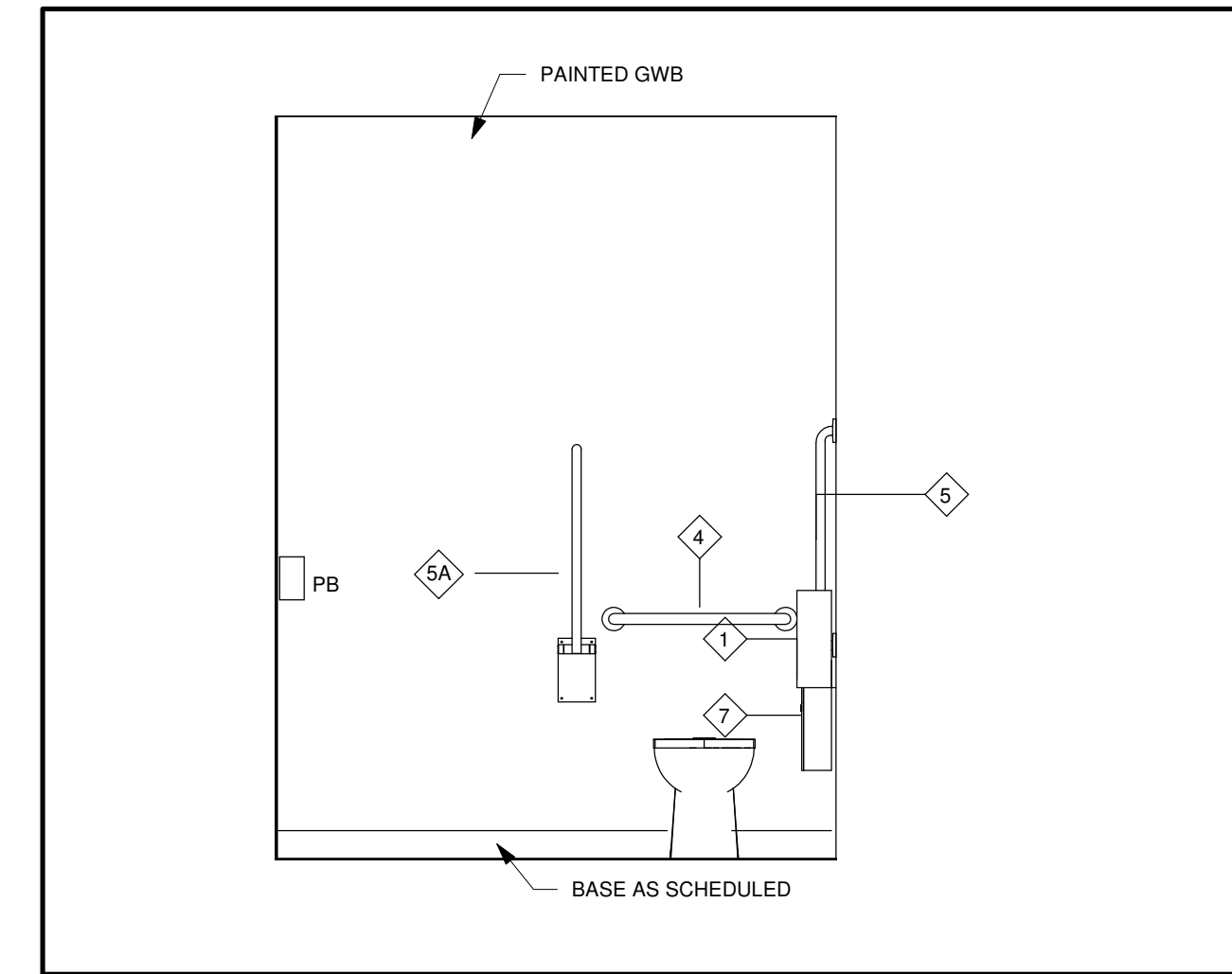


BARRIER FREE WASHROOM NOTES:

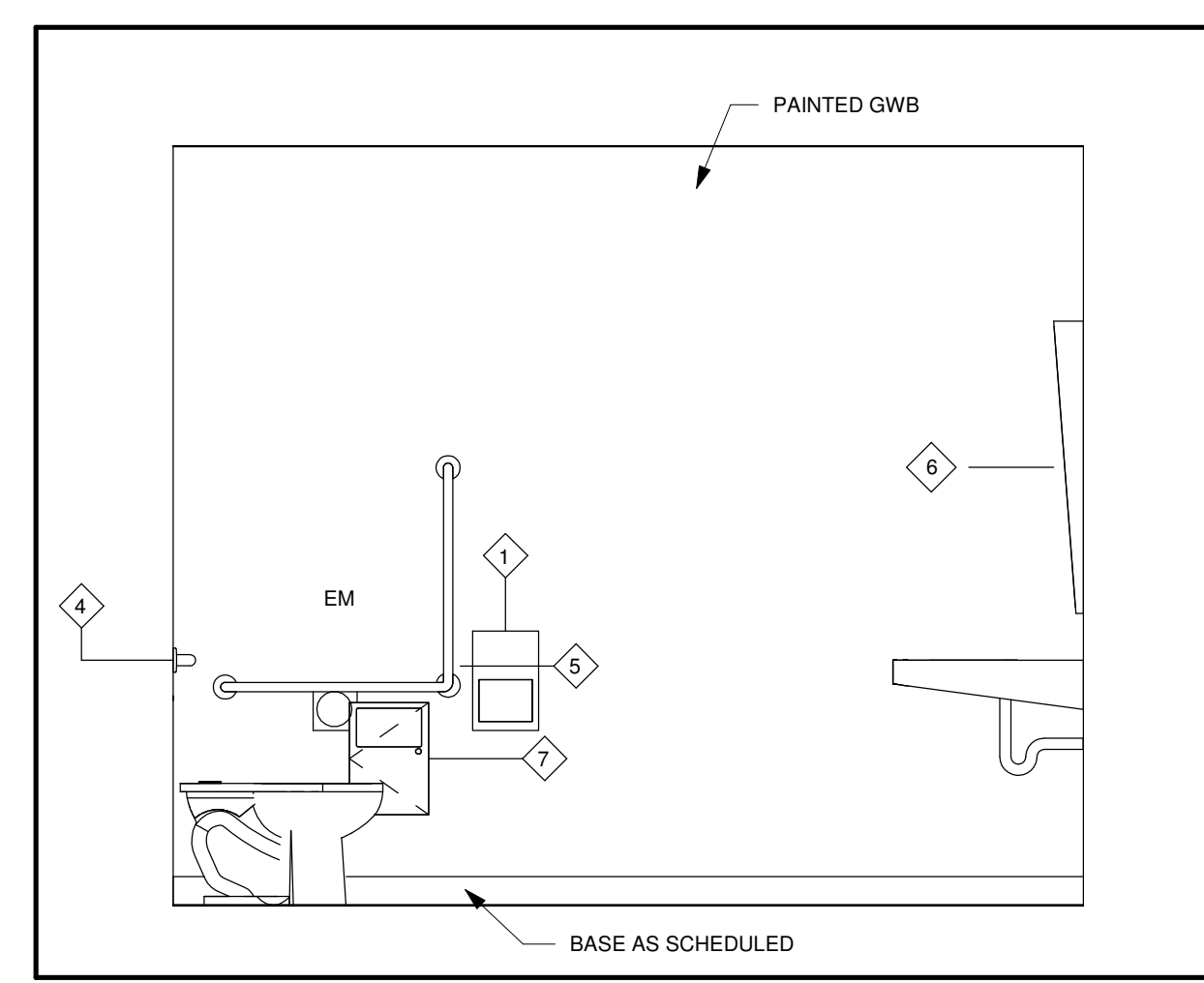
- Continuous L-Shaped Grab bar shall**
- be installed to resist a load of at least 1.3 kN applied vertically or horizontally.
 - be not less than 35 mm and not more than 40 mm in diameter.
 - have a clearance of not less than 38 mm and not more than 50 mm from the wall to the inside surface of the grab bar, and
 - have a slip-resistant surface
- Lavatory shall**
- be located so that the distance between the centre line of the lavatory and the side wall is not less than 460 mm.
 - be mounted so that the top of the lavatory is not more than 840 mm above the finished floor.
 - have a clearance beneath the lavatory not less than:
 - 500 mm wide, (ii) 735 mm high at the front edge, (iii) 685 mm high at a point 205 mm back from the front edge, and (iv) 350 mm high from a point 300 mm back from the front edge to the wall.
 - have insulated pipes where they would otherwise present a burn hazard or have water supply temperature limited to a maximum of 43 °C.
 - be equipped with faucets that have lever type handles without spring loading or operate automatically and that are located so that the distance from the centre line of the faucet to the edge of the basin or, where the basin is mounted in a vanity, to the front edge of the vanity, is not more than 485 mm.
 - have a minimum 1 370 mm deep floor space to allow for a forward approach, of which a maximum of 500 mm can be located under the lavatory.
 - have a soap dispenser that is, (i) located to be accessible to persons in wheelchairs, (ii) located so that the dispensing height is not more than 1 200 mm above the finished floor, (iii) located not more than 610 mm, measured horizontally, from the edge of the lavatory, (iv) operable with one hand, and
 - have a towel dispenser or other hand drying equipment that is, (i) located to be accessible to persons in wheelchairs, (ii) located so that the dispensing height is not more than 1 200 mm above the finished floor, (iii) operable with one hand, and (iv) located not more than 610 mm, measured horizontally, from the edge of the lavatory.
 - Mirror shall be mounted with its bottom edge not more than 1000mm above the finished floor or inclined to the vertical to be usable by a person in wheel chair
- Universal Washroom shall**
- be served by a barrier-free path of travel.
 - have a door that is capable of being locked from the inside and released from the outside in case of emergency and that has:
 - a graspable latch-operating mechanism located not less than 900 mm and not more than 1000 mm above the finished floor.
 - have one lavatory conforming to CBC 2012 3.8.3.11
 - have one water closet conforming to Article 3.8.3.9, that is located in accordance with Clause 3.8.3.8.(2)(a) or (b).
 - have grab bars conforming to: (i) Sentence 3.8.3.8.(3), if the water closet is located in accordance with Clause 3.8.3.8.(2)(a), (ii) Sentence 3.8.3.8.(4), if the water closet is located in accordance with Clause 3.8.3.8.(2)(b).
 - have no internal dimension between walls that is less than 1 700 mm.
 - have a coat hook that conforms to Clause 3.8.3.8.(1)(e) and a shelf that is located not more than 1 100 mm above the finished floor and projects not more than 100 mm from the wall.
 - be designed to permit a wheelchair to turn in an open space not less than 1 700 mm in diameter.
 - be provided with a door equipped with a power door operator if the door is equipped with a self-closing device.
 - be provided with a mirror (i) installed above a lavatory described in Clause 11(c), and (ii) mounted with its bottom edge not more than 1 000 mm above the finished floor or inclined to the vertical to be usable by a person in a wheelchair, and
 - have lighting controlled by a motion sensor conforming to Sentence 12.2.4.1.(2).
 - have an emergency call system that consists of audible and visual signal devices inside and outside of the washroom that are activated by a control device inside the washroom, and
 - have an emergency sign that contains the words in the event of an emergency push emergency button and audible and visual signal will activate in letters at least 25 mm high with a 5 mm stroke and that is posted above the emergency button.
 - A clear space not less than 810 mm wide and 1 830 mm long shall be provided in each universal washroom for an adult-size change table. Where the clear space provided for an adult-size change table is adjacent to a wall, reinforcement shall be installed in the wall to permit the future installation of the change table.
 - Where an adult-size change table is installed, it shall, (a) when fully loaded, have a surface height above the finished floor that can be adjusted from between 450 mm and 500 mm at the low range to between 850 mm and 900 mm at the high range, (b) be designed to carry a minimum load of 1.33 kN, (c) have a clear floor space parallel to the long side of the table not less than 760 mm wide and 1500 mm long, and (d) in the case of a fold-down table, be installed so that it does not encroach into a clear transfer space described in Clause 3.8.3.8.(2)(a) or (b), and have no operating mechanisms higher than 1 200 mm.
 - All grab bars as per specifications to be stainless steel with min. 38mm diameter as per Sect.3.8 CBC 2012- see specifications.
 - Provide acceptable and adequate backing and fasteners systems for all grab bars, fixtures and items within universal washroom- to be reviewed by consultants prior to construction.



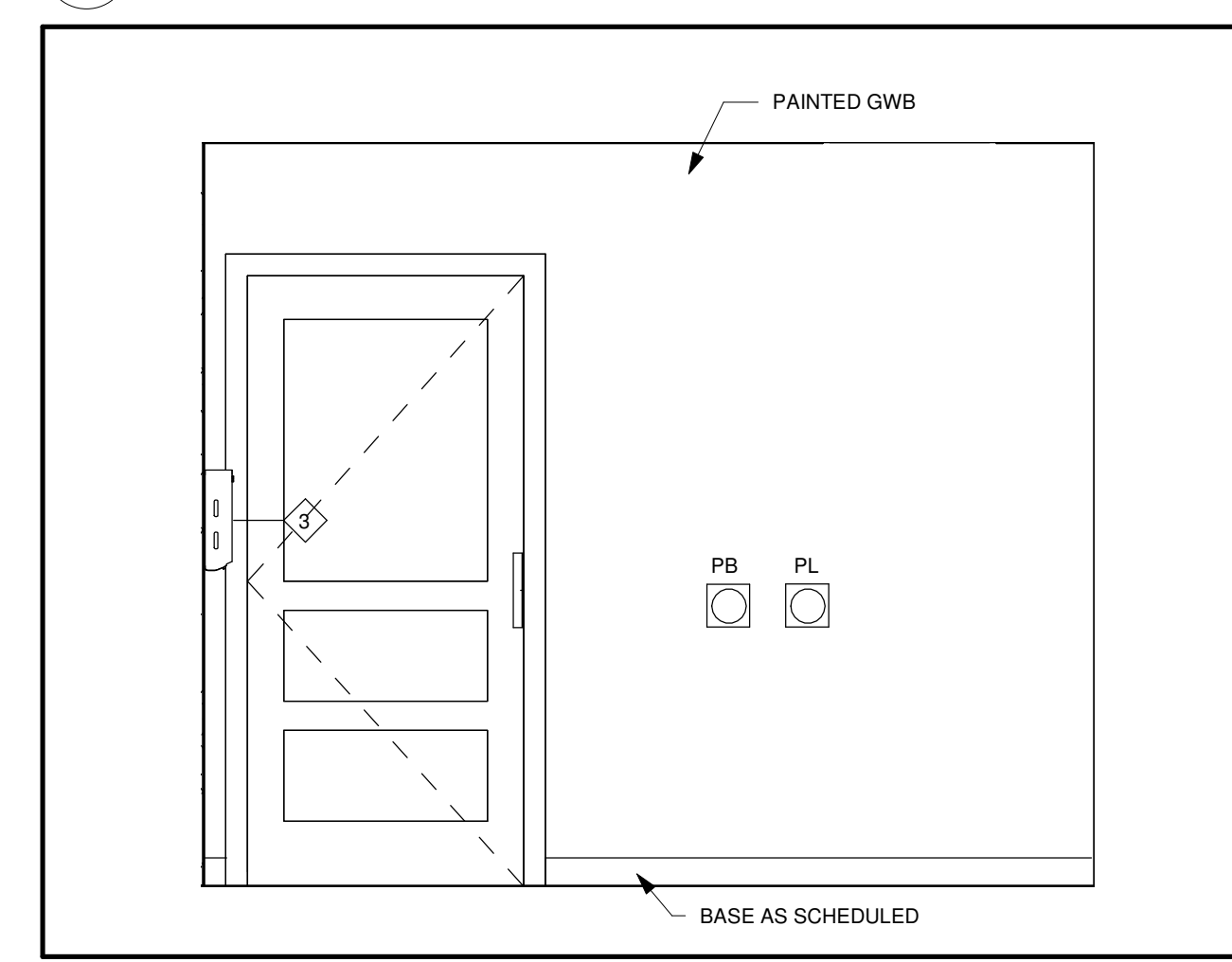
4
A901
B.F Washroom - 2
1:25



2
A901
B.F Washroom - 4
1:25



3
A901
B.F Washroom - 1
1:25



1
A901
B.F Washroom - 3
1:25

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
INTERIOR ELEVATIONS

BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers

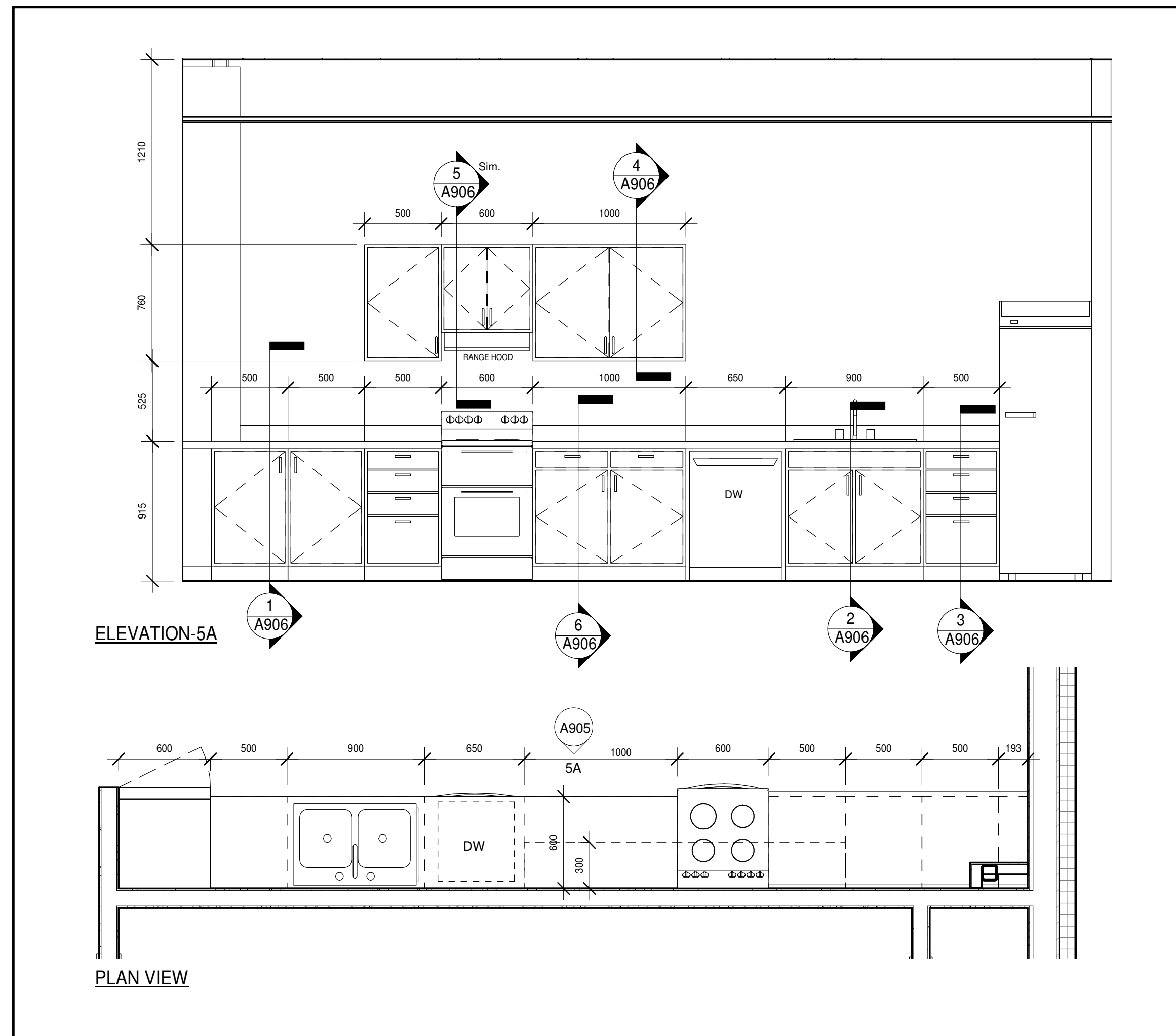
201-250 Water Street
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Fax: (905) 666-5256
e-mail: bba@bba-archeng.com

ONTARIO ASSOCIATION OF ARCHITECTS
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7117

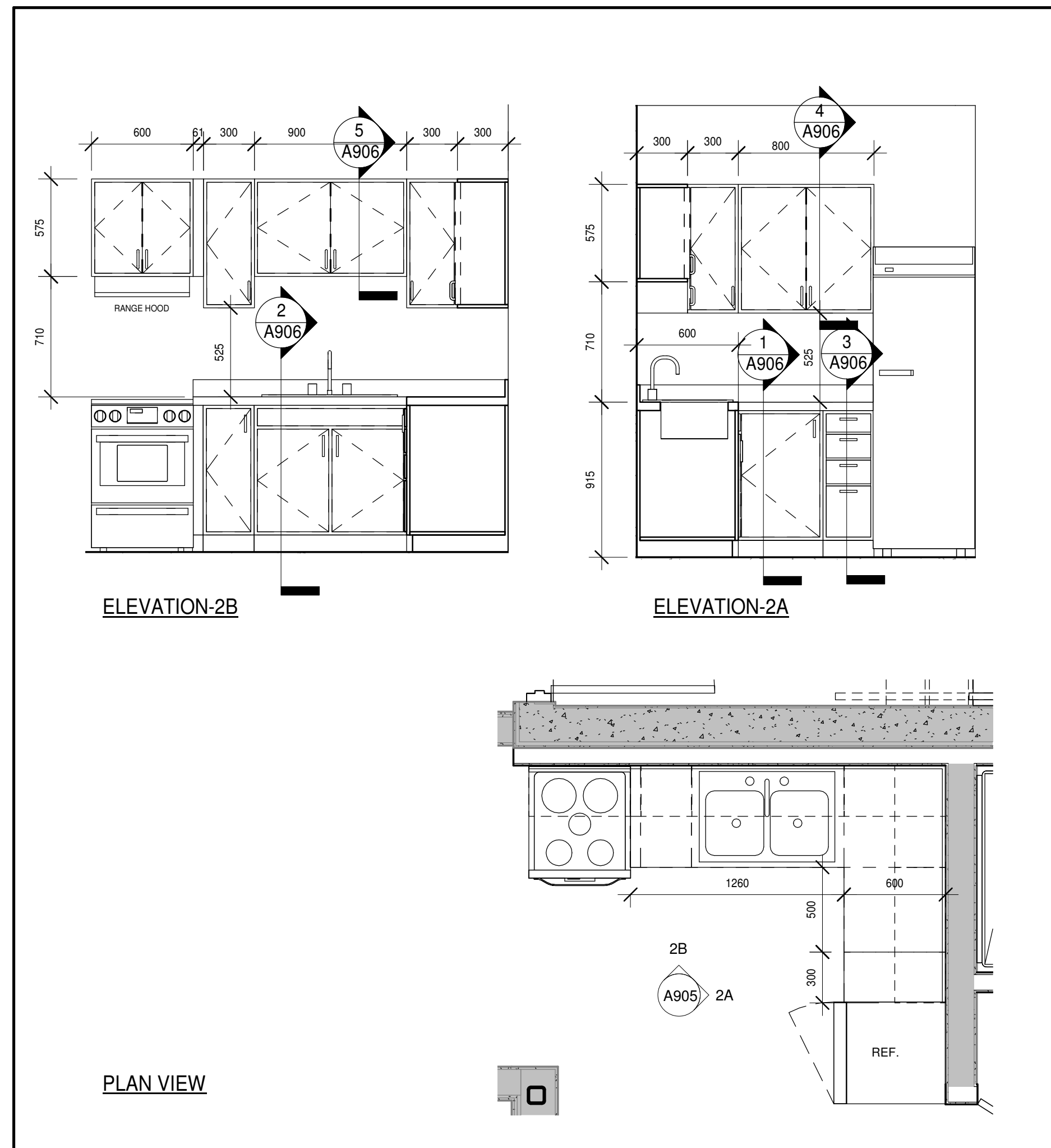
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DRAWN BY: LO
CHECKED BY: PL

DATE: 05/17/19
SCALE: As indicated
FILE:

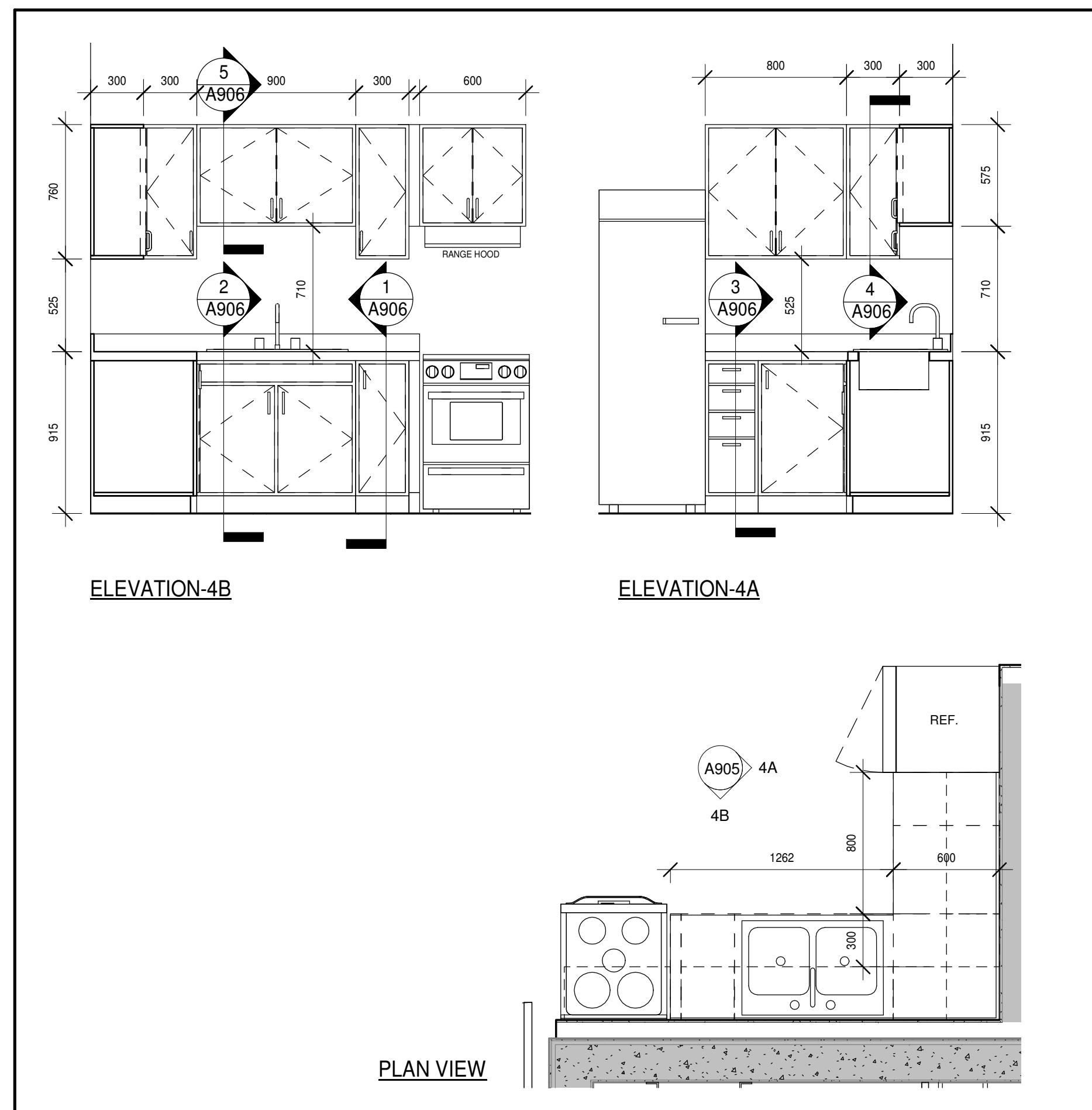
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DRAWING NO: **A901**



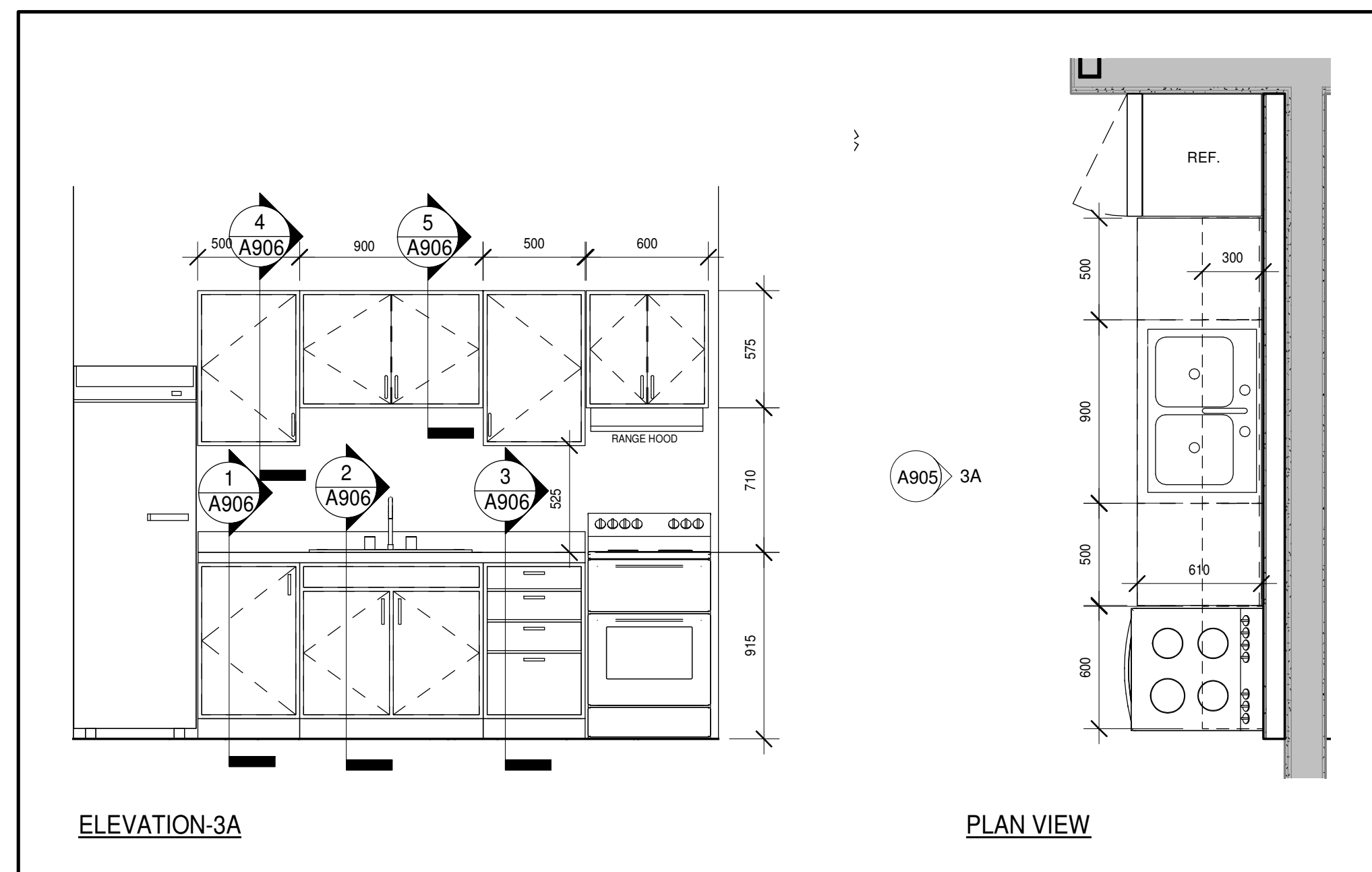
5 A905 Community Room/Kitchen
1:25



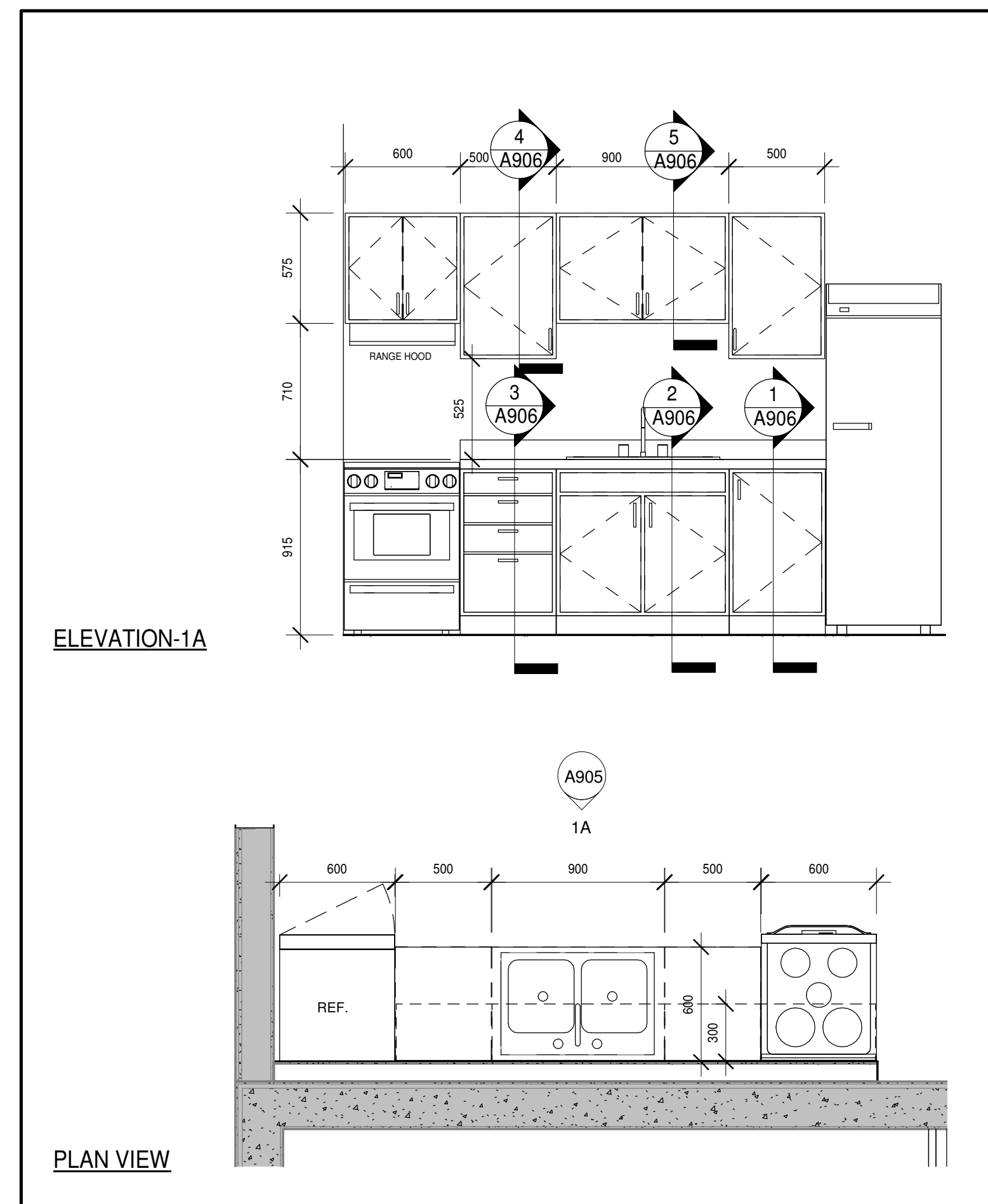
2 A905 KITCHEN TYPE 2A
1:25



4 A905 KITCHEN TYPE 2B
1:25



3 A905 KITCHEN TYPE 1B
1:25



1 A905 KITCHEN TYPE 1A
1:25

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NO.	ISSUES	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
2	COORDINATION SET	2019-02-13	
3	M+E COORDINATION SET	2019-02-20	
4	FOR PERMIT	2019-03-11	
5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
PARKVIEW SENIORS EXPANSION

153 KING AVE EAST, NEWCASTLE, ON L1B 1H3

DRAWING:
MILLWORK PLANS AND ELEVATIONS



B B A

BARRY BRYAN ASSOCIATES

*Architects
Engineers
Project Managers*

DESIGN BY: [Signature]

DRAWN BY: [Signature]

AUTHOR: [Signature]

CHECKED BY: [Signature]

DATE: 05/23/19

SCALE: 1:25

FILE: [Signature]

PROFESSIONAL ASSOCIATION OF ARCHITECTS

REGISTERED PROFESSIONAL ARCHITECT

LICENCE 7117

PROJECT NO: **18811**
DRAWING NO: **A905**

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NO.	ISSUES	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	2019-02-08	
2	COORDINATION SET	2019-02-13	
3	M+E COORDINATION SET	2019-02-20	
4	FOR PERMIT	2019-03-11	
5	RE-ISSUED FOR PERMIT	2019-05-22	
6	ISSUED FOR TENDER	2019-06-05	

NO.	REVISIONS	DATE	BY

PROJECT:
**PARKVIEW SENIORS
EXPANSION**

153 KING AVE EAST, NEWCASTLE, ON
L1B 1H3

DRAWING:
MILLWORK SECTIONS



**BARRY BRYAN
ASSOCIATES**
*Architects
Engineers
Project Managers*

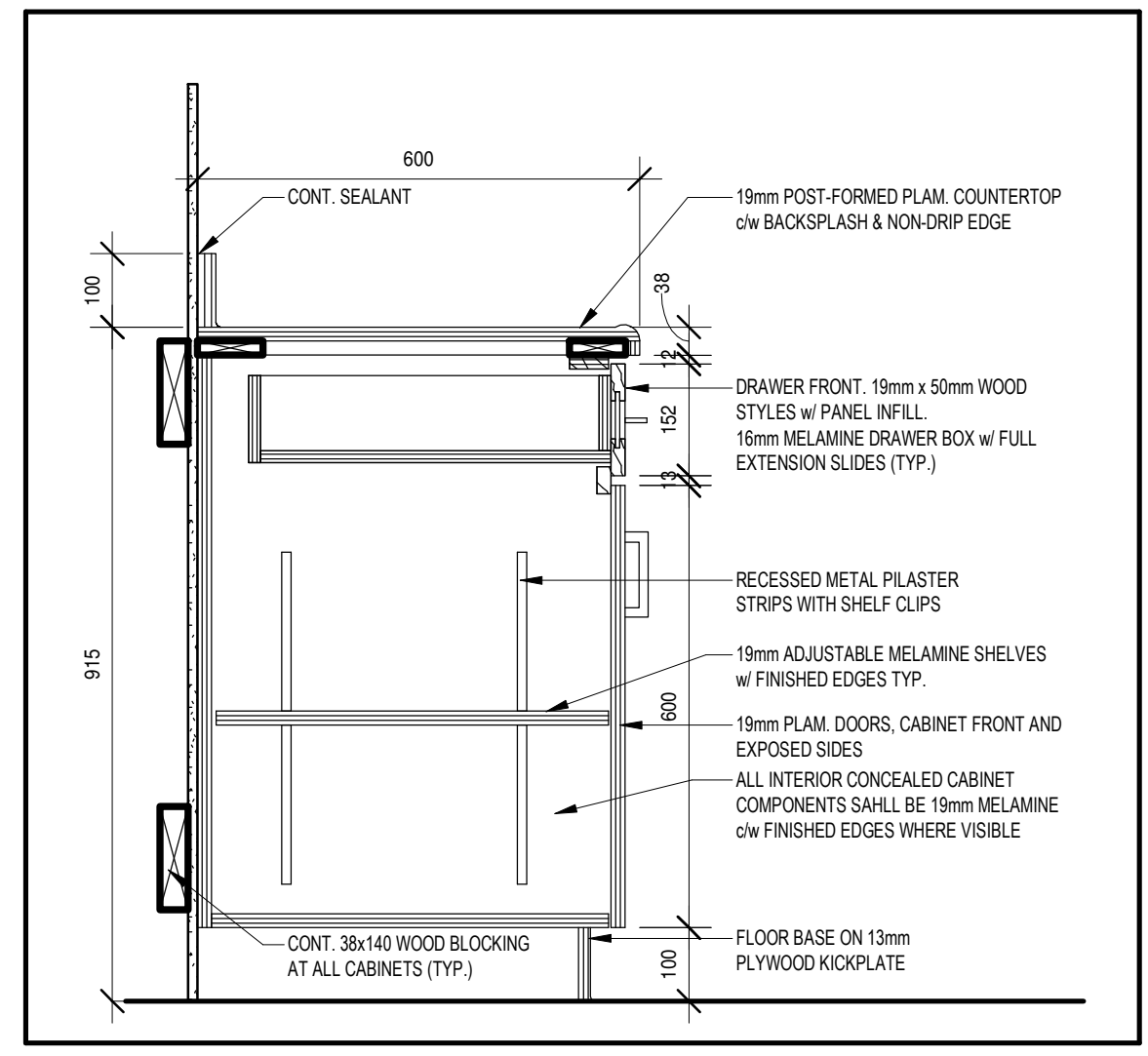
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OF
ARCHITECTS**

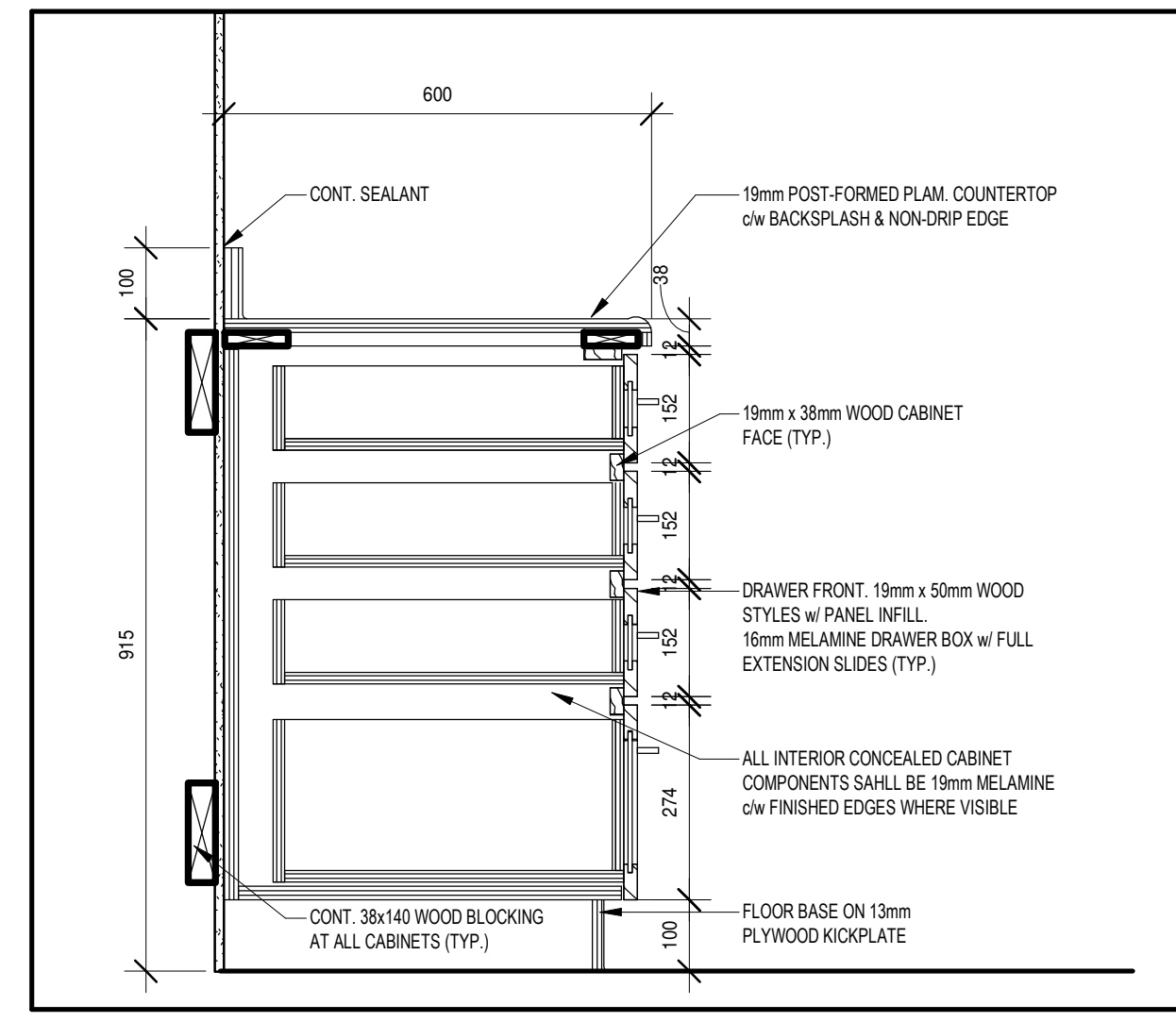
MICHAEL PERMAN, P. ENG. REG. P.
LICENCE 7117

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DRAWN BY: [Signature]
AUTHOR: [Signature]
CHECKED BY: [Signature]
DATE: 05/24/19
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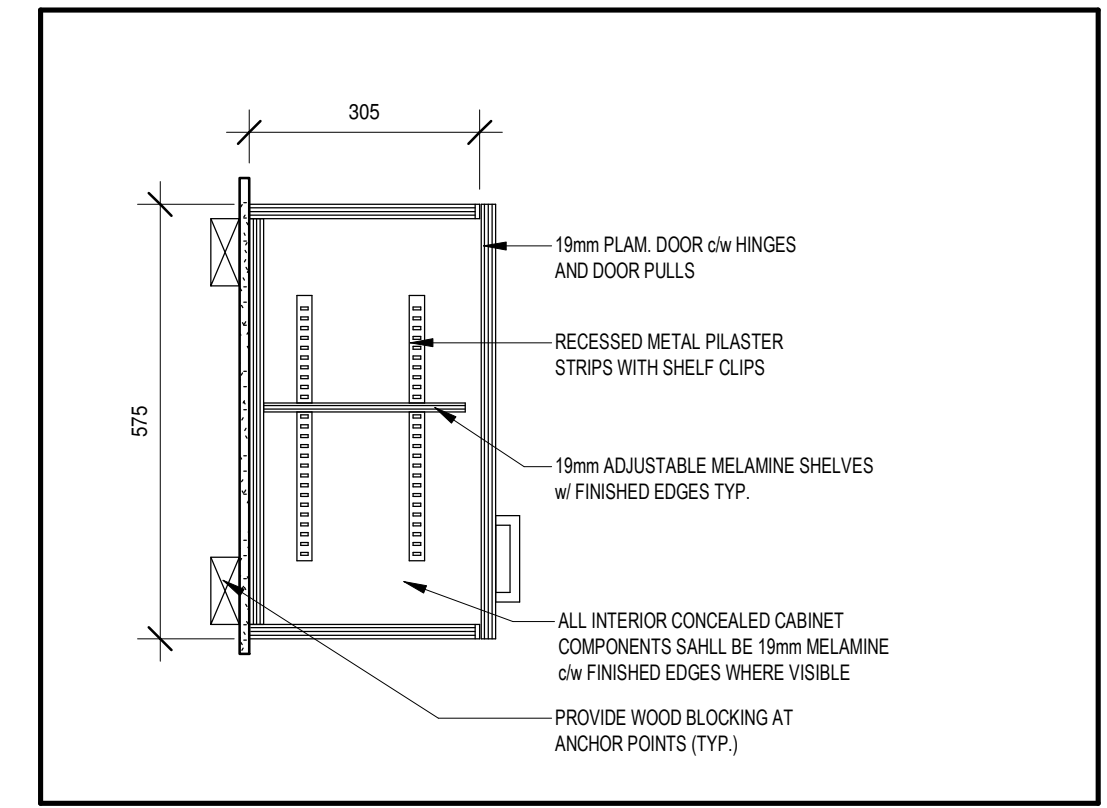
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DRAWING NO: **A906**



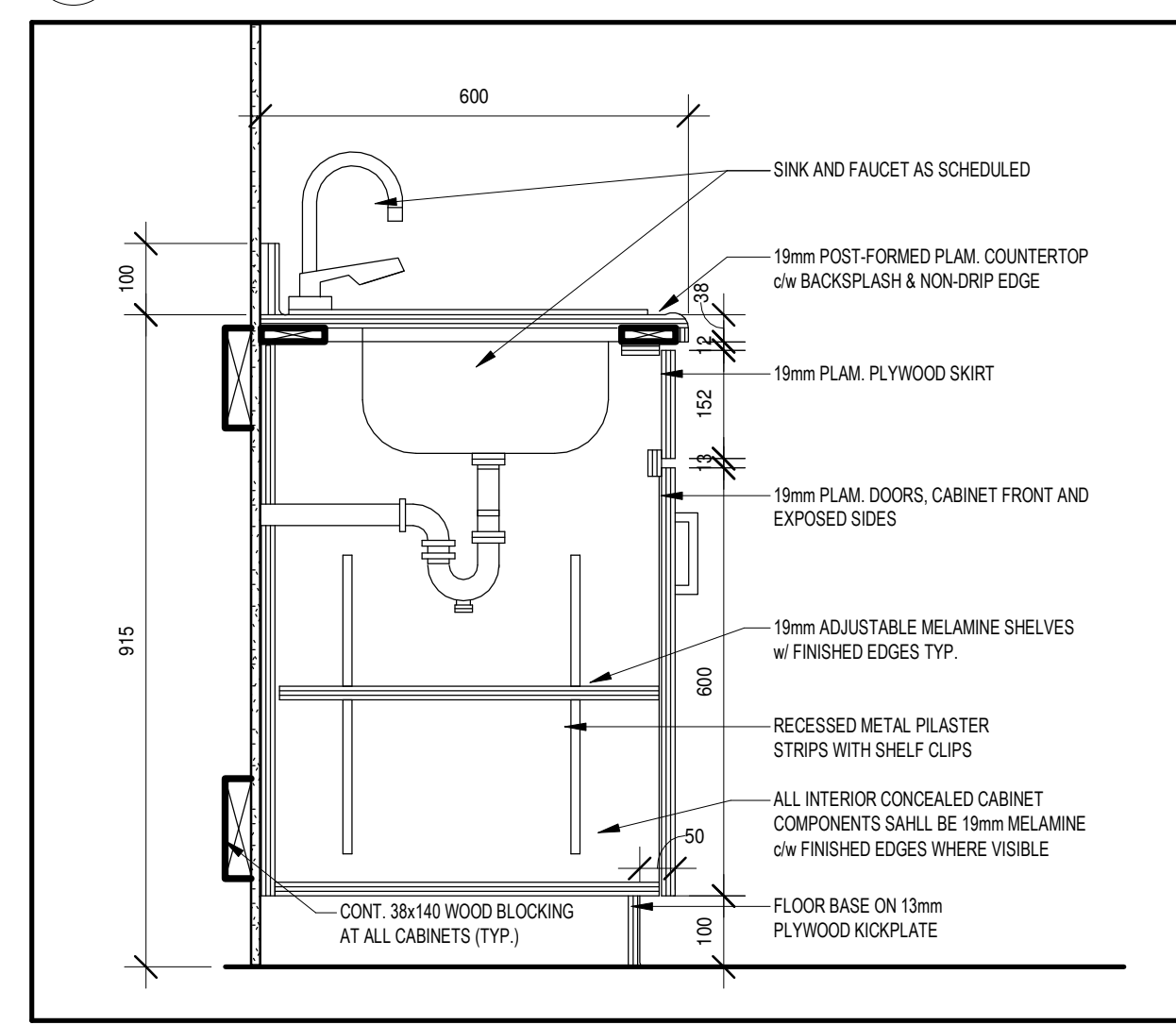
6
A906
BASE CABINET- DRAWER & DOOR
1 : 10



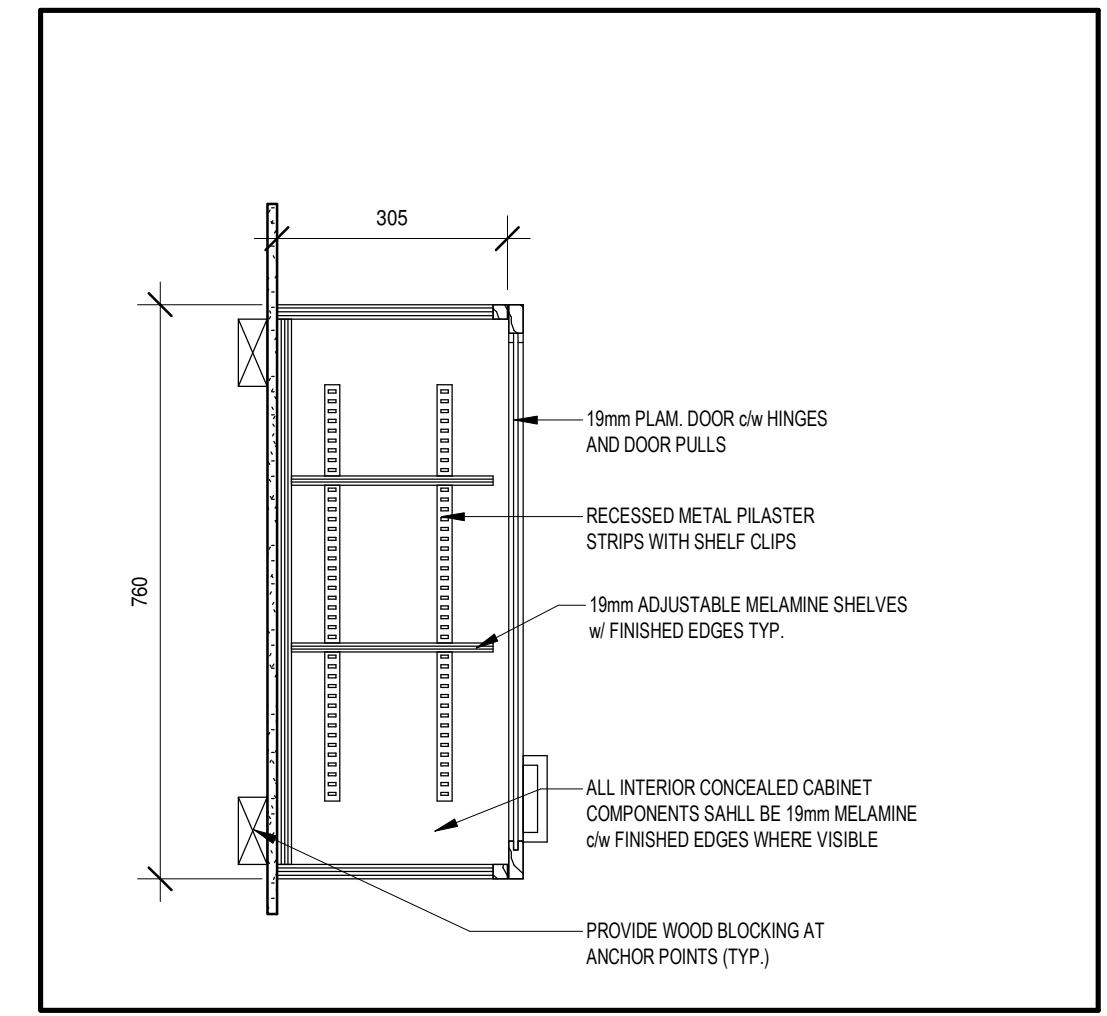
3
A906
BASE CABINET-DRAWER
1 : 10



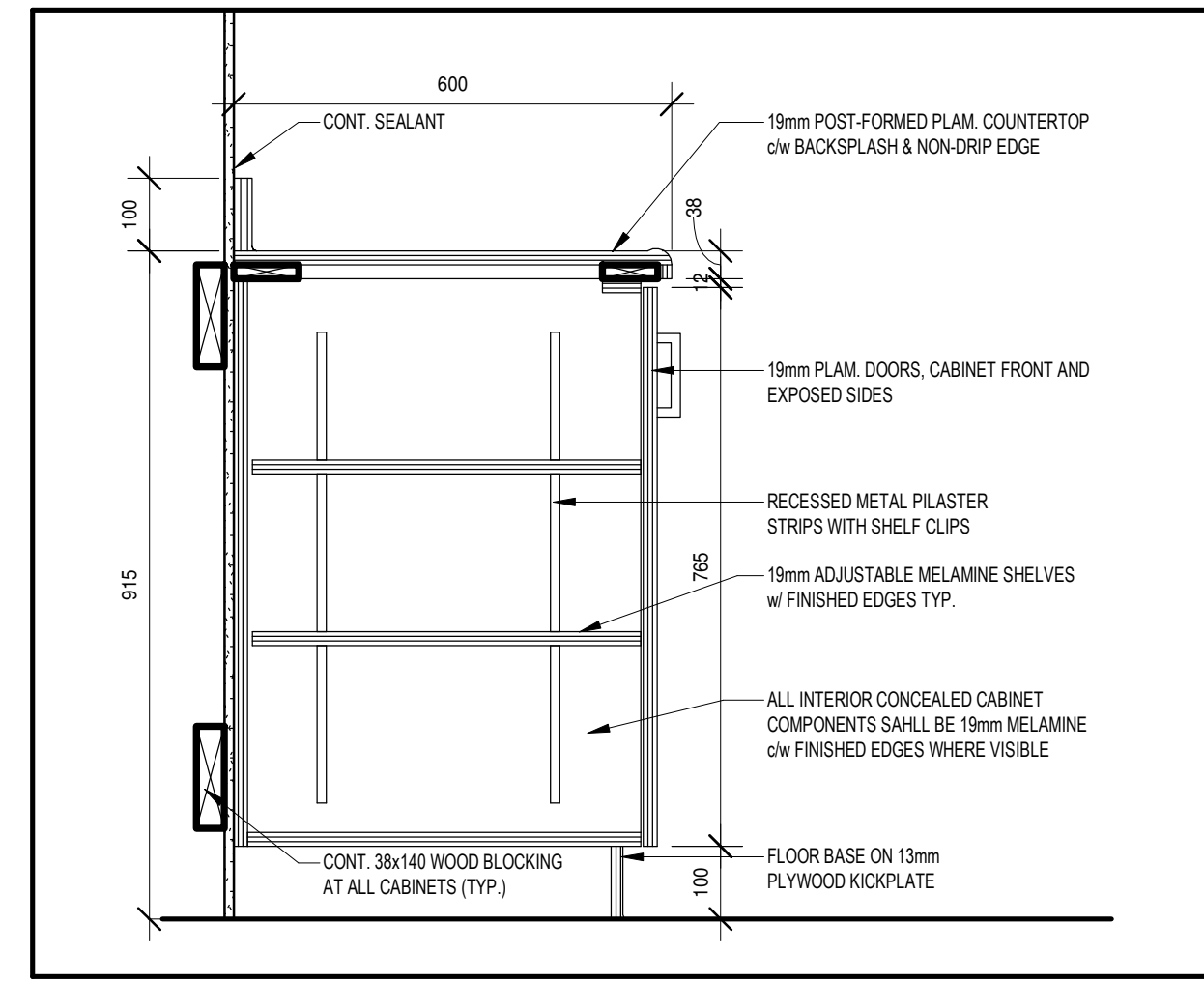
5
A906
UPPER CABINET-575
1 : 10



2
A906
BASE CABINET- SINK
1 : 10



4
A906
UPPER CABINET-760
1 : 10



1
A906
BASE CABINET
1 : 10

DESIGN LOADS:

All loads are unfactored.

- Roof Loads:** Live Loads = 1.6 kPa (Ss = 1.5 kPa, Sr = 0.4 kPa)
Dead Loads = 5.64 kPa
- Private Floor Loads:** Live Loads = 1.9 kPa
Dead Loads = 6.14 kPa
- Public Floor Loads:** Live Loads = 4.8 kPa
Dead Loads = 5.14 kPa
- Earthquake Loads:** Sa(0.2) = 0.200
Sa(0.5) = 0.130
Sa(1.0) = 0.074
Sa(2.0) = 0.024
PGA = 0.081
- Wind Loads:** q_z = 0.48 kPa

GENERAL:

- All materials and workmanship shall be in conformance with the Ontario Building Code.
- Where standards published by various organizations are referred, conform to latest edition of standards as amended and revised to date of contract.
- All dimensions, elevations, openings for pipes, sleeves, equipment locations and the like shall be checked with the architectural and the appropriate structural, mechanical or electrical drawings. Report any discrepancies before proceeding with the work.
- Do not scale the drawings.
- The Contractor shall examine the site and satisfy himself of the actual conditions and requirements of the work.
- Check underground utilities and assume responsibility for same during construction.
- Set all anchors, inserts, etc. as required by other trades.
- The Contractor shall caulk and seal all joints, spaces, etc. to provide a weather-tight building.
- The Contractor shall make any necessary allowances for any variations and/or any revisions made on account of sub-trades and product selection for the completion of the project.
- Features of construction not fully shown shall be of the same character as shown for similar conditions.
- Confirm all measurements that govern the scope of work built into existing building.

EXCAVATION, GRADING & BACKFILLING:

- Refer to soil test report, if there is any, for the borehole data and site conditions.
- The accuracy of the soil test report is not guaranteed. Soil data applies for actual test pit location and conditions may differ at other parts of the site.
- All spread footings shall be placed on undisturbed native material. Have base inspected by Engineer before placing footing.
- Design bearing pressure to be SLS=100 kPa unless otherwise stated.
- Excavate and remove all fills, surface features and topsoil from building area before starting the work.
- Protect foundations, slabs on grade, footings, and adjacent soil against freezing and frost action at all times during construction.
- Backfill footings using approved free draining materials.
- Place backfill simultaneously on both sides of walls below grade.
- Slab on grade shall be placed on soil capable of safely sustaining 30 KPa without settlement related to building footings.
- Slab on grade shall be, unless otherwise stated, 100mm thick poured concrete reinforced with 152x152 MW18.7/MW18.7 WWF, on 200mm deep crushed stones compacted to at least 95% standard proctor maximum dry density.
- Restore exterior surfaces to condition equal to that existing prior to excavation unless otherwise noted.

CONCRETE & REINFORCING STEEL:

- Concrete construction shall conform to CAN/C.S.A. A23.1-14.
- Concrete compressive strength to be 25MPa at 28 days, maximum aggregate size to be 20mm, slump to be 75mm maximum, unless otherwise stated.
- Concrete cover for reinforcements shall be in accordance with Ontario Building Code and C.S.A. A23.1-14.
- Exposed concrete shall have air entrainment of 6-7%.
- Form all vertical surfaces of concrete work, where neat excavation in native soil are possible. Concrete for footings need not be formed.
- All floor surfaces shall be level to a tolerance of 10mm and not out of plane by more than 3mm on 3000mm template. Steel trowel finish all floors.
- Reinforcing steel shall be in accordance with C.S.A. G30.18-M92, Grade 400.
- Welded wire fabric shall be in accordance with C.S.A. G30.15-M83.
- The Contractor shall prepare and submit six (6) copies of shop drawings indicating material, size, spacing, and location of reinforcing steel, anchors, and details.
- Reinforcing bars shall be continuous across construction joints and elevation variations unless noted. Continuous bars shall be fully developed by lapping where spliced.

PRECAST CONCRETE SLAB:

- Pre-cast pre-stressed hollow core slabs shall be designed in accordance with C.S.A. A23.1-04 under the supervision of a Professional Engineer in the Province of Ontario.
- Shop drawings showing the hollow core slab layout, and details of prestressing and reinforcement shall be submitted to the Consultant for review prior to manufacturing.
- Concrete shall have a minimum compressive strength of 31 MPa. at transfer and 41 MPa. at 28 days.
- The pre-stress strand shall be uncoated 7-wire cable conforming to C.S.A.-CAN3-A23.4-M78 and ASTM A416, A421.
- Provide approved grout having minimum compressive strength of 35 MPa. at 28 days for shear keys in slab joints.
- Provide 10m dowels to masonry at each joint between slabs at end bearing and at 2400mm on centre at junction between edge of slabs and end wall. Grout or concrete fill side ties to wall.

STEEL - INSPECTION AND TESTING:

- The undertaking to inspect welding shall be qualified in accordance with the requirements of CSA W178.1, "Certification of Welding Inspection Organizations", and certified by the Canadian Welding Bureau.
- The inspection shall cover all moment connections to review for compliance with the CSA S16.
- The inspection agency shall submit reports to the consultant covering the Work inspected and provide details of nonconformities or deficiencies observed.

STRUCTURAL STEEL:

- Rolled shapes and plates shall conform to CAN/C.S.A. G40.20-13/G40.21-13 (R. 2018), Grade 350W.
- Hollow structural sections shall conform to CAN/C.S.A. G40.20-13/G40.21-13 (R. 2018), Grade 350W.
- Pipe column sections shall conform to ASTM A53-18, 240 MPa.
- Bolts to be A325 high strength steel bolts for friction type connections, and A307 for anchor bolts.
- Steel deck finish to be zinc coated to A.S.T.M. A123M-17
- Fabrication, erection and workmanship shall be performed by a welder qualified under C.S.A. W47.
- Design open web steel joist to C.S.A S16-14 Provide joist bridging and joist camber as per C.S.A. S16M.
- Surfaces to be welded shall be thoroughly cleaned of all foreign matter including paint film.
- All welded joints shall use E49XX electrodes. Connections that are friction type shall use 20mm diameter ASTM A325-14 high strength bolts unless otherwise noted.
- All steel deck shall be in conformance with C.S.A. S136-17 and shall be designed to safely support all the loads indicated on the drawings.
- Steel decks to be designed to act as diaphragms. Decks to have wipe coat galvanized finish unless noted otherwise on drawings.
- Steel decks and joists shall have a maximum deflection under live load of 1/240 of span.
- Shop prime all structural steel with primer. Do not paint contact surfaces of joints or surfaces to receive field welds.
- The Contractor shall prepare and submit to the Consultant for review six (6) copies of erection diagrams and shop drawings indicating material, size, spacing and location of structural steel members, connection, bridging, reinforcing, bearing shoes, anchors, elevations and details.
- The Contractor shall prepare and submit to the Consultant six (6) catalogues or tables of joists and steel deck checked and approved by a Professional Engineer of Ontario.
- All loads specified are unfactored in accordance with C.S.A. S16.

COLD FORMED STEEL:

- Unless otherwise specified, Cold Formed Steel to conform to CSA-S16, Steel Structures for Building - Limit States Design and CAN/CSA-S136, Cold Formed Steel Structural Members.
- Work to be executed by firm thoroughly conversant with laws, by-laws and regulations which govern, and capable of workmanship of best grade of modern shop and field practice known to recognized manufacturer's specializing in this work.
- Work shall be executed by workers especially trained and experienced in this type of work. Have a full time, senior, qualified representative at the site to direct the work.
- Install system to provide for movement of components without damage, failure of joint seals, undue stress on fasteners, or other detrimental effects when subject to seasonal or cyclic day/night temperature ranges.
- Install system to accommodate construction tolerances, deflection of building structural members, and clearances of intended openings.
- Galvanized Sheet Steel shall conform to ASTM A653/A653M, minimum Grade D, 50 PSI (345 MPa) yield for 1.5mm (.060") material.
- Structural Metal Studs to be galvanized sheet steel formed to channel shape, of minimum gauge, sizes, and section properties to meet design requirements, and conforms to ASTM C955.
- Metal Stud Runners/Top and Bottom Tracks to be Galvanized sheet steel formed to channel shape, having same width as studs, with tight fit and solid web, of minimum gauge to meet design requirements, but no less than gauge of metal studs, and conforms to ASTM C955.
- Metal Plates, Bridging, Gussets and Clips to be Formed from galvanized sheet steel, of gauges, shapes and sizes required to meet design requirements determined for conditions encountered, and of some finish as framing members.
- Fasteners to be Self-drilling, Self-tapping Screws, Bolts, Nuts and Washers: Hot-dip galvanized to 1.25 ounce per square foot and conforms to ASTM A153/A153M-09, Class B3, '12-24 x 7/8 HWH #4STLG' by Hilti Canada, or approved equal.
- Anchorage Devices to be power driven, powder actuated, drilled expansion bolts, or screws with sleeves, as application dictates.
- Where required welding shall be performed by a welder qualified under C.S.A. W47.
- Welding Materials to conform to CSA W59.
- Electrodes for welding shall have minimum 480 Mpa tensile strength series, (E480XX, E480S-X).
- Provide Bridging for restraining member rotation and translation. Bridging shall be continuous and spaced at 1200mm O/C vertical maximum.
- The Contractor shall prepare and submit to the Consultant for review six (6) copies of erection diagrams and shop drawings indicating material, size, spacing and location of structural cold form steel members, connection, bridging, reinforcing, bearing, anchors, elevations and details.

LEGEND:

- F = FOOTING
SF = STRIP FOOTING
P = PIER
FW = FOUNDATION WALL
BP = BASE PLATE
C = COLUMN
SW = STRUCTURAL WALL
LWD = WOOD LINTEL
LCF = COLD FORM STEEL LINTEL
LST = STEEL LINTEL
LCO = CONCRETE LINTEL
LBB = BOND BEAM LINTEL
F = FLOOR
R = ROOF
BOT = BOTTOM
EXT = EXTERIOR
INT = INTERIOR
E/W = EACH WAY
E/F = EACH FACE
O/C = ON CENTER
U/S = UNDER SIDE
T/S = TOP OF STEEL
TYP = TYPICAL
WWF = WELDED WIRE MESH
MW = METAL WIRE
FFE = FINISHED FLOOR ELEVATION
W/ = WITH
TJ = TIE JOIST
PL = POINT LOAD
(HIGH) = BEAM AT UPPER LEVEL
(LOW) = BEAM AT LOWER LEVEL
CANT. = CANTILEVERED

3	ISSUED FOR TENDER	19/06/06	M.S	T.L.R.
2	REISSUED FOR PERMIT	19/05/21	M.S	T.L.R.
1	ISSUED FOR PERMIT	19/03/11	A.A	T.L.R.
NO.	REVISION	DATE	BY	APPROVED

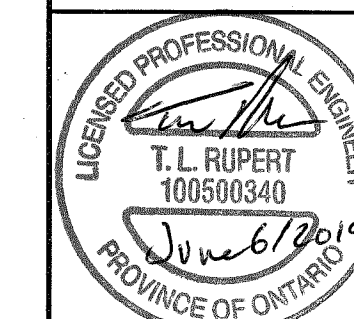
REVISIONS

165 KING AVE. E. NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

**STRUCTURAL
NOTES & LEGEND**



96 KING STREET EAST • OSHAWA, ON L1H 1B6
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info@dgbiddle.com



SCALE:	AS SHOWN	PROJECT NO.	118129
DRAWN BY:	C.L.A.	DRAWING NO.	S1
DESIGN BY:	T.L.R.	CAD FILE:	-
CHECKED BY:	T.L.R.	PLOT DATE:	19/06/06
DATE:	FEBRUARY 2016	SUBMISSION/TENDER	

FOUNDATION WALL SCHEDULE		
WALL	SIZE	REMARKS
FW1	200 POURED CONCRETE W/ 15M @ 400 O/C E/W	600x200 CONCRETE STRIP FOOTING W/2-15M CONT. REINF. 15M HOOKED DOWELS TO MATCH VERTICAL REINF. ALTERNATING LEGS 600
FW2	200 POURED CONCRETE W/ 15M @ 400 O/C E/W	1800x300 CONCRETE STRIP FOOTING W/6-15M LONG. W/15M @ 300 O/C TRANSVERSE. 600
FW3	200 POURED CONCRETE W/ 15M REINF. @400 O/C E/W	450x200 CONCRETE STRIP FOOTING W/2-15M CONT. REINF. 15M HOOKED DOWELS TO MATCH VERTICAL REINF. ALTERNATING LEGS 600
FW4	200 POURED CONCRETE W/ 15M REINF. @400 O/C E/W	2400x400 CONCRETE STRIP FOOTING W/10-15M REINF. LONG. E/F W/ 15M @ 250 O/C REINF. TRANS. E/F 600
FW5	200 POURED CONCRETE W/ 15M VERT. REINF. @300 O/C W/ 15M HORIZ. REINF. @400 O/C	2400x400 CONCRETE STRIP FOOTING W/10-15M REINF. LONG. E/F W/ 15M @ 250 O/C REINF. TRANS. E/F 600
FW6	200 POURED CONCRETE W/ 15M @ 400 O/C E/W	1000x200 CONCRETE STRIP FOOTING W/3-15M LONG. W/ 15M @ 400 O/C TRANS. 600
FW7	400 POURED CONCRETE WALL W/ 15M @ 400 O/C E/W INT. W/ 10M @ 400 O/C E/W EXT.	600x200 CONCRETE STRIP FOOTING W/2-15M CONT. REINF. W/ 15M HOOKED DOWELS TO MATCH VERT. WALL REINF. ALTERNATING LEG. 900 600
FW8	EXISTING	

LINTEL SCHEDULE SCHEDULE		
LINTEL	SIZE	REMARKS
LST1	COLD FORM STEEL LINTEL	DESIGNED BY OTHERS
LCO1	200x400 CONCRETE LINTEL	W/2-15M TOP & BOTTOM W/10M STIRRUPS @ 300 O/C
LST2	W310X39 BEAM	
LST3	EXISTING LINTEL	

STRUCTURAL FLOOR SCHEDULE		
FL1	200 PRECAST HOLLOW CORE SLAB DESIGNED BY OTHER W/ 50 CONCRETE TOPPING W/ 152x152 152/152 W.W.M	

ROOF SCHEDULE		
R1	200 PRECAST HOLLOW CORE SLAB DESIGNED BY OTHER W/ 50 CONCRETE TOPPING W/ 152x152 152/152 W.W.M	R3 C200x17 STEEL CHANNELS @1800 O/C W/ 38x0.76 STEEL DECKING W/ L102x102x6.4 STEEL PERIMETER ANGLE
R2	38x0.76 STEEL DECKING W/ L102x102x6.4 CONT. STEEL PERIMETER ANGLE. STEEL ANGLE TO BE ANCHORED TO CONCRETE WALL W/ 15M HOOKED 300 ANCHORS @ 1200 O/C MAX. 50	

PIER SCHEDULE				
PIER	SIZE	VERT. REINF.	HORIZ. REINF.	REMARKS
P1	400x400	W/ 6-20M VERT.	10M TIES @ 300 O/C	20M HOOK DOWELS TO MATCH VERTICAL REINFORCEMENT
P2	600x600	W/ 8-20M VERT.	10M TIES @ 300 O/C	20M HOOK DOWELS TO MATCH VERTICAL REINFORCEMENT

BASE PLATE SCHEDULE		
BASE PLATE	MEMBER	ANCHORS
BR1	300x150x20	W/ 2-20M HOOKED ANCHOR
BR2	400x400x30	W/ 4-15M HOOKED ANCHOR
BR3	300x300x20	W/ 4-20M HOOKED ANCHOR
BR4	300x150x22	W/ 2-20M HOOKED ANCHOR
BR5	350x350x28	W/ 4-25M HOOKED ANCHOR
BR6	300x300x24	W/ 4-20M HOOKED ANCHOR
BR7	300x300x18	W/ 4-20M HOOKED ANCHOR
BR8	300x150x12	W/ HILTI HY200 ADHESIVE W/ 4-15M HIT Z RODS W/ 150 EMBED.
BR9	200x150x12	W/ 2-15M HOOKED ANCHORS

COLUMN SCHEDULE		
COLUMN	SIZE	REMARKS
C1	HSS102x102x4.8	
C2	HSS102x102x6.4	
C3	HSS102x102x7.9	
C4	HSS152x152x9.5	
C5	HSS127x127x7.9	
C6	HSS102x102x9.5	

STRUCTURAL WALL SCHEDULE		
WALL	SIZE	REMARKS
SW1	200 LOAD BEARING STEEL STUD WALL	DESIGNED BY OTHERS
SW2	152 LOAD BEARING STEEL STUD WALL	DESIGNED BY OTHERS
SW3	152 WIND BEARING STEEL STUD WALL	DESIGNED BY OTHERS
SW4	200 POURED CONCRETE	W/15M @400 O/C E/W
SW5	200 POURED CONCRETE	W/15M @300 O/C VERT. W/ 15M @400 O/C HORIZ.

FOUNDATION PAD SCHEDULE			
FOOTING	SIZE	REINFORCING	REMARKS
F1	1800x1800x250	W/6-15M E/W	PROVIDE 75 COVER MIN.
F2	1400x1400x200	W/4-15M E/W	PROVIDE 75 COVER MIN.
F3	2600x2600x300	W/13-15M E/W	PROVIDE 75 COVER MIN.
F4	2100x2100x300	W/8-15M E/W	PROVIDE 75 COVER MIN.
F5	3400x4900x300	W/11-15M LONG. E/F W/15-15M TRANS. E/F	PROVIDE 75 COVER MIN.
F6	1400x2600x300	W/4-15M LONG. E/F W/8-15M TRANS. E/F	PROVIDE 75 COVER MIN.

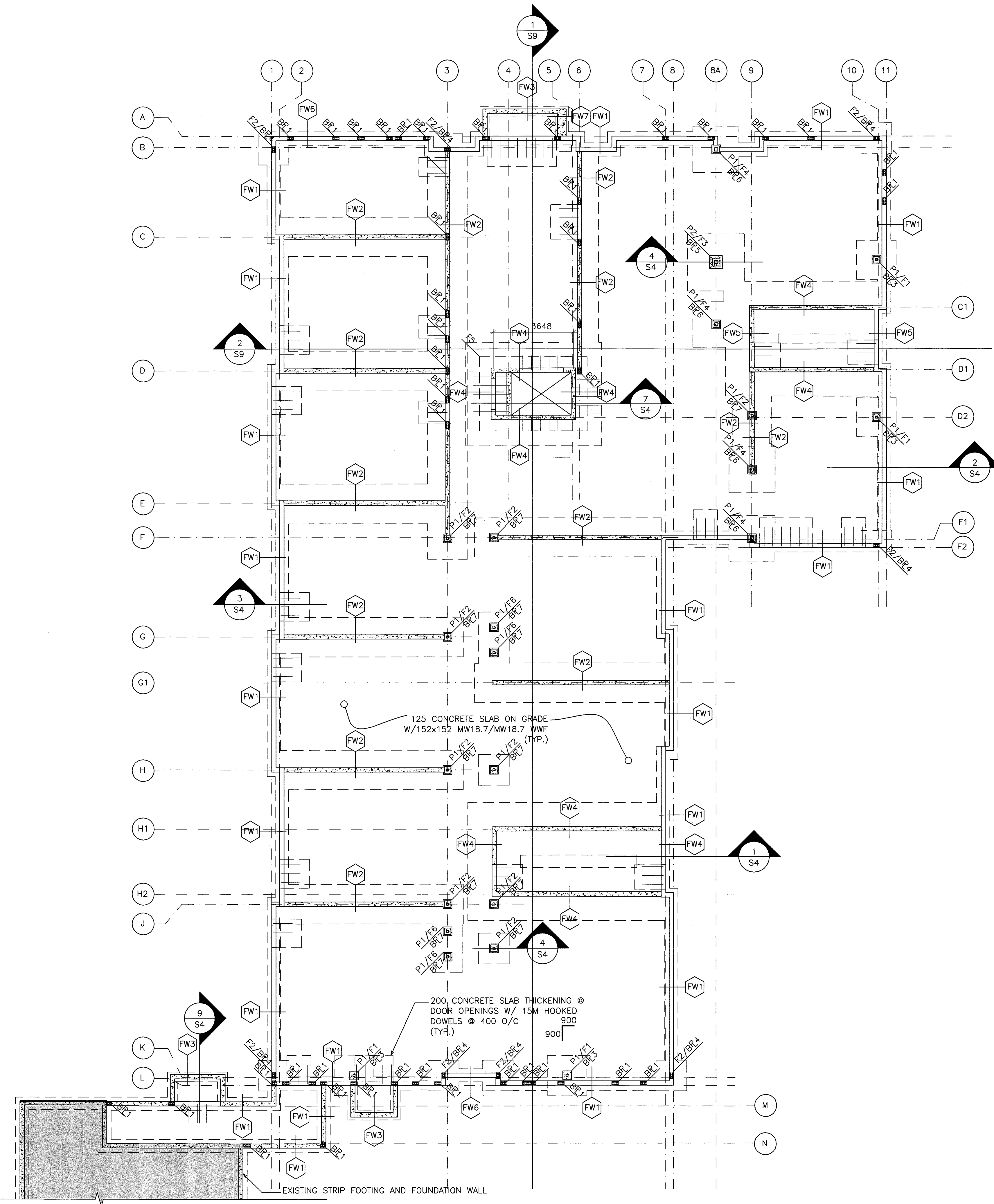
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3	ISSUED FOR TENDER	19/06/06	M.S	T.L.R.
2	REISSUED FOR PERMIT	19/05/21	M.S	T.L.R.
1	ISSUED FOR PERMIT	19/03/11	A.A	T.L.R.

165 KING AVE. E. NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

STRUCTURAL SCHEDULES

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	SCALE: AS SHOWN	PROJECT NO. 118129
	DRAWN BY: C.L.A.	DRAWING NO. S2
	DESIGN BY: T.L.R.	CAD FILE: -
	CHECKED BY: T.L.R.	PLOT DATE: 19/06/06
	DATE: FEBRUARY 2016	SUBMISSION: TENDER



1 FOUNDATION PLAN
S3 SCALE: 1:100

NO.	REVISION	DATE	BY	APPROVED
3	ISSUED FOR TENDER	19/06/06	M.S	T.L.R.
2	REISSUED FOR PERMIT	19/05/21	M.S	T.L.R.
1	ISSUED FOR PERMIT	19/03/11	A.A	T.L.R.

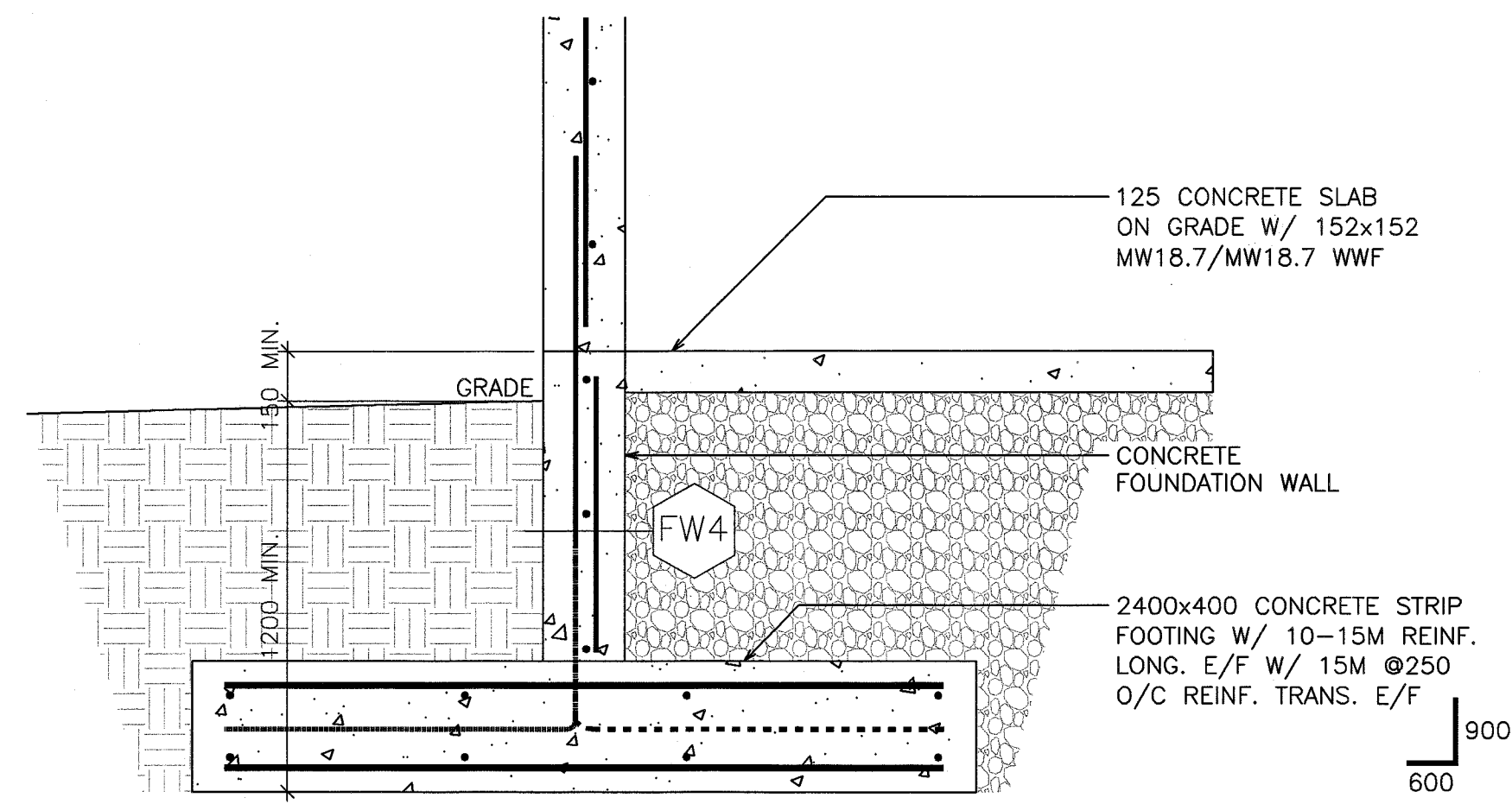
REVISIONS

165 KING AVE. E. NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

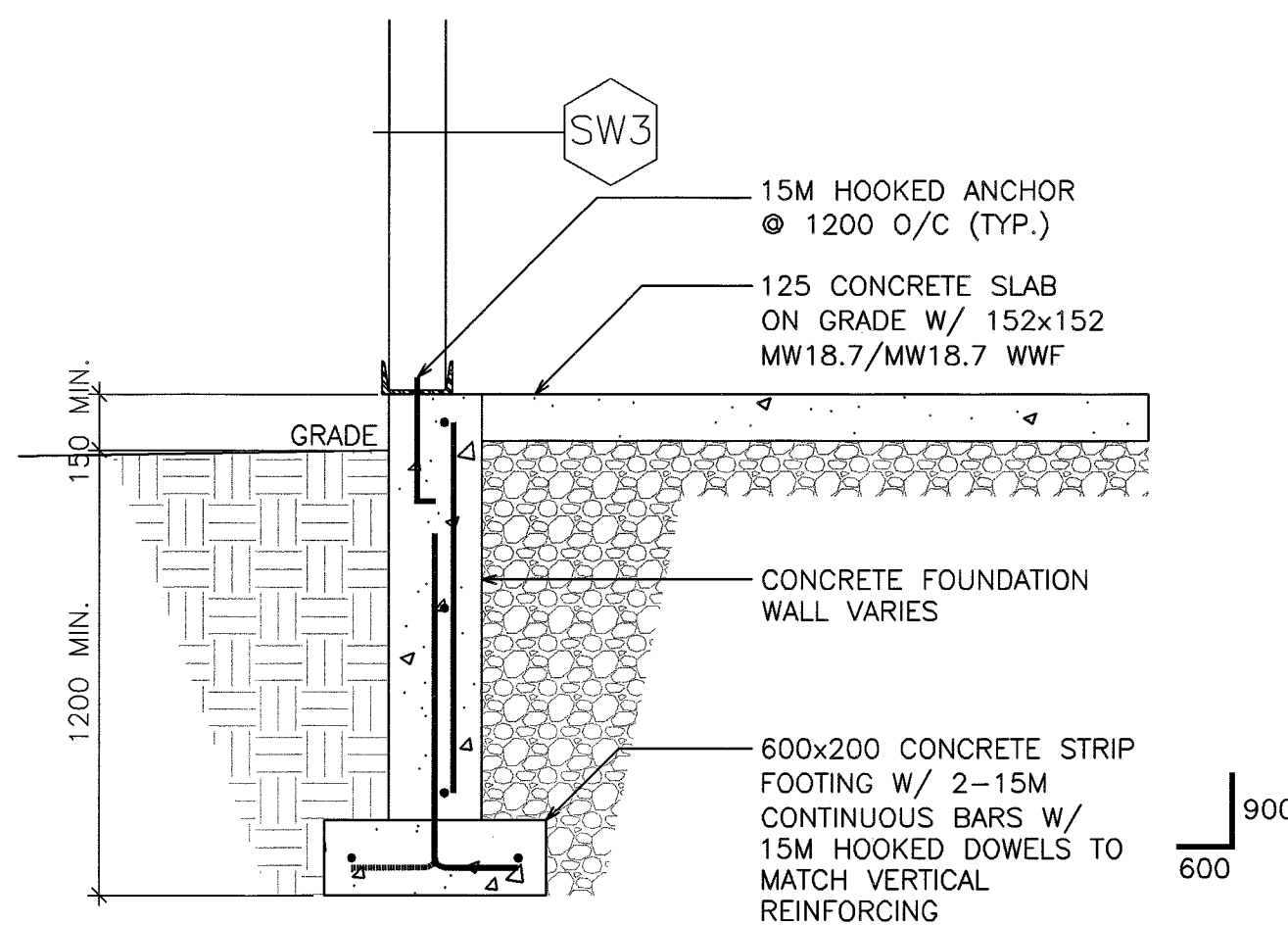
FOUNDATION PLAN

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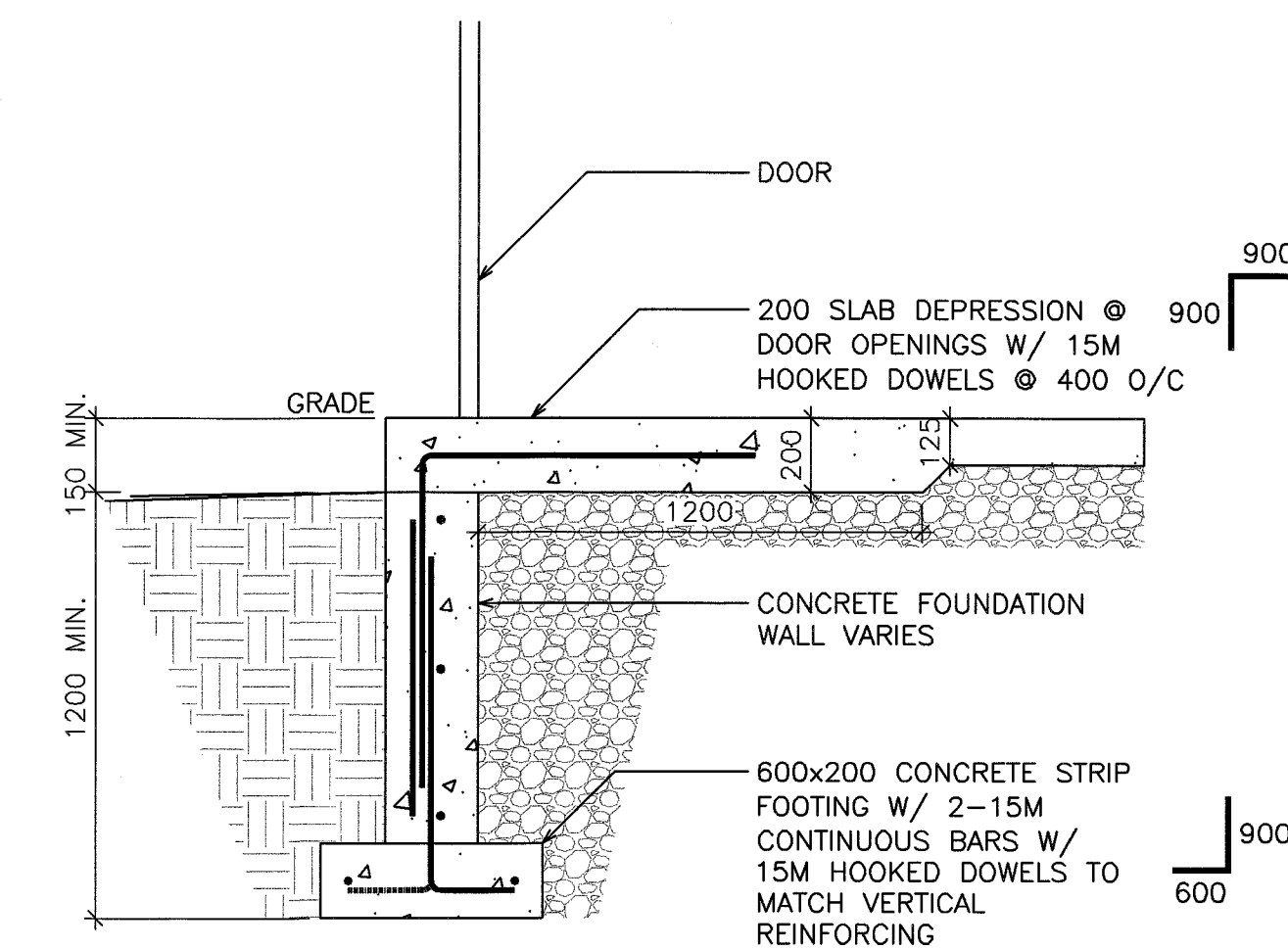
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DATE: FEBRUARY 2016	SUBMISSION: TENDER



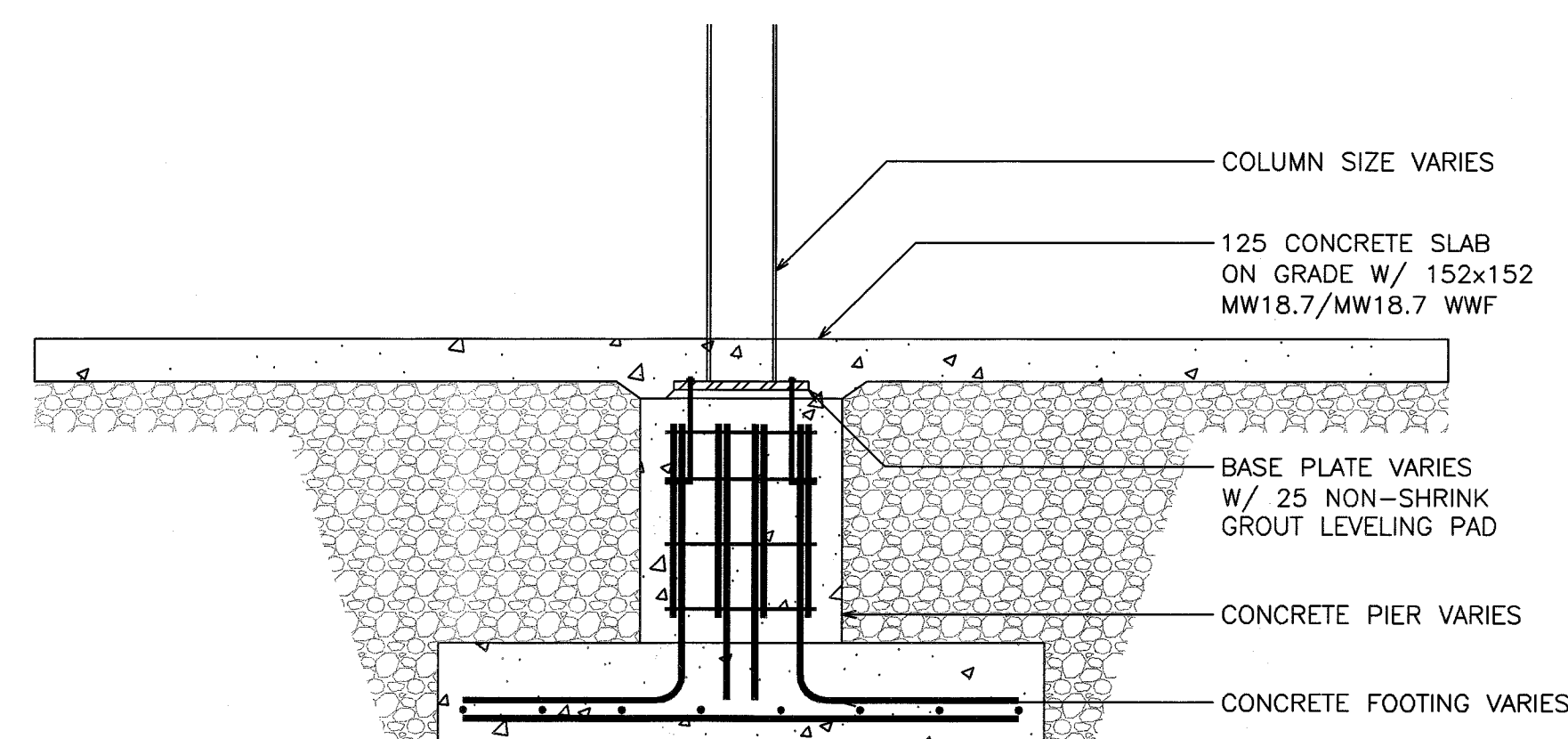
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S4 SCALE: 1:20



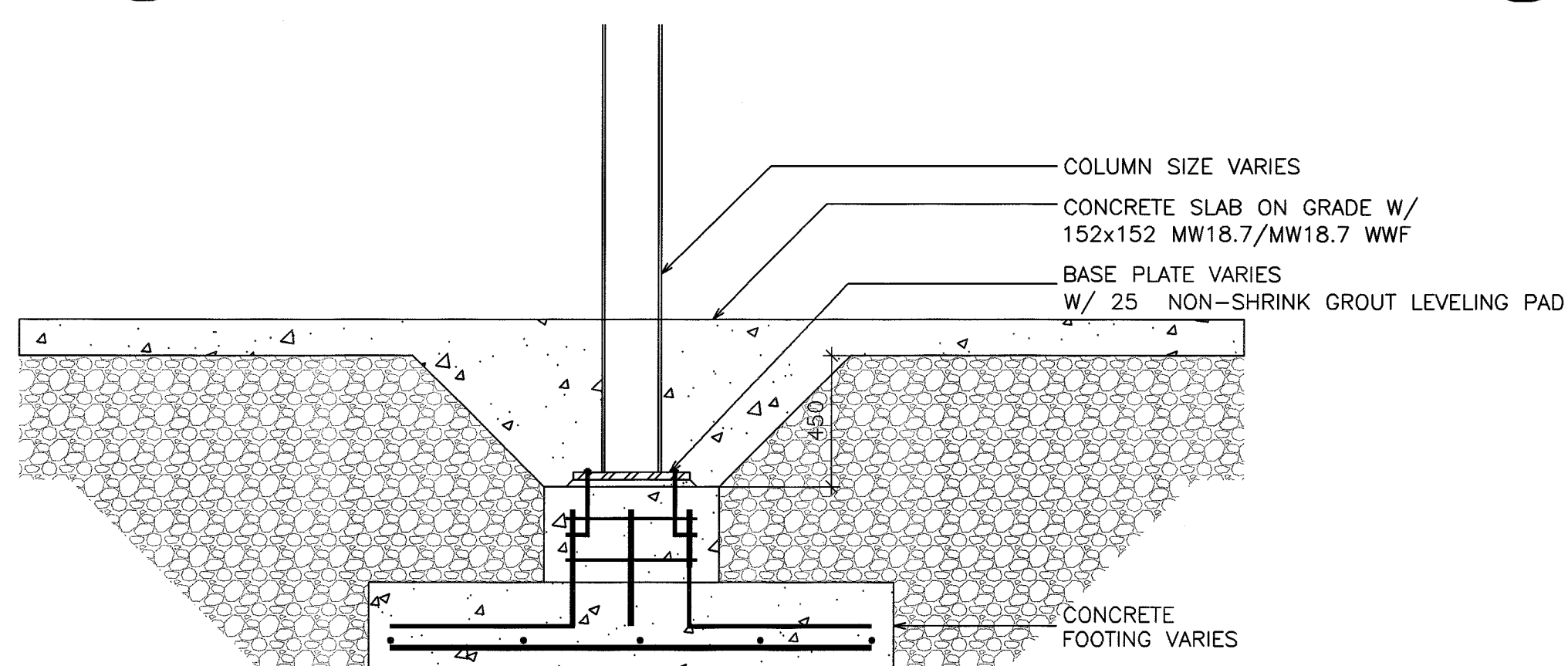
2 TYPICAL FOUNDATION WALL
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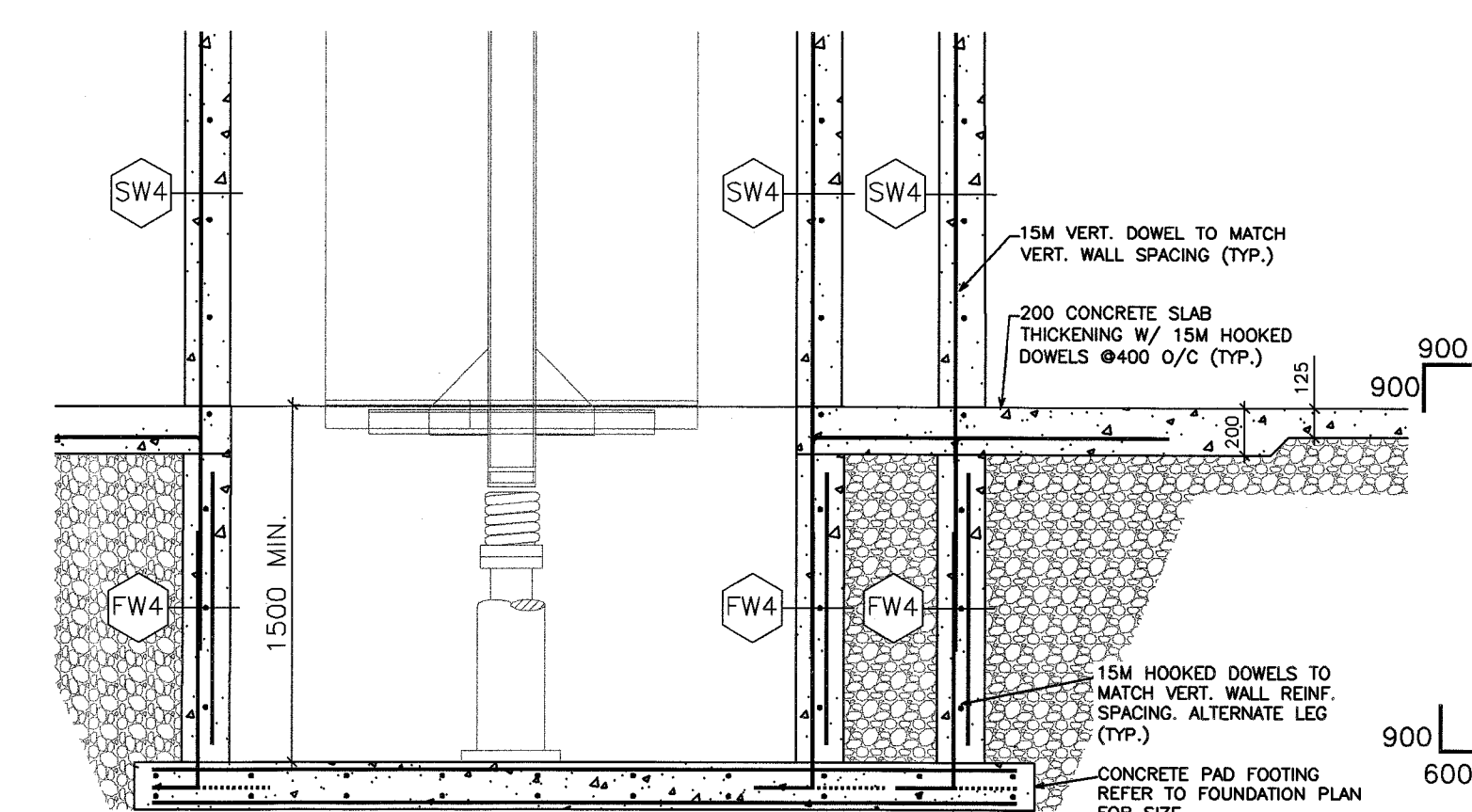
3 TYPICAL FOUNDATION WALL AND SLAB DEPRESSION AT DOORS
S4 SCALE: 1:20



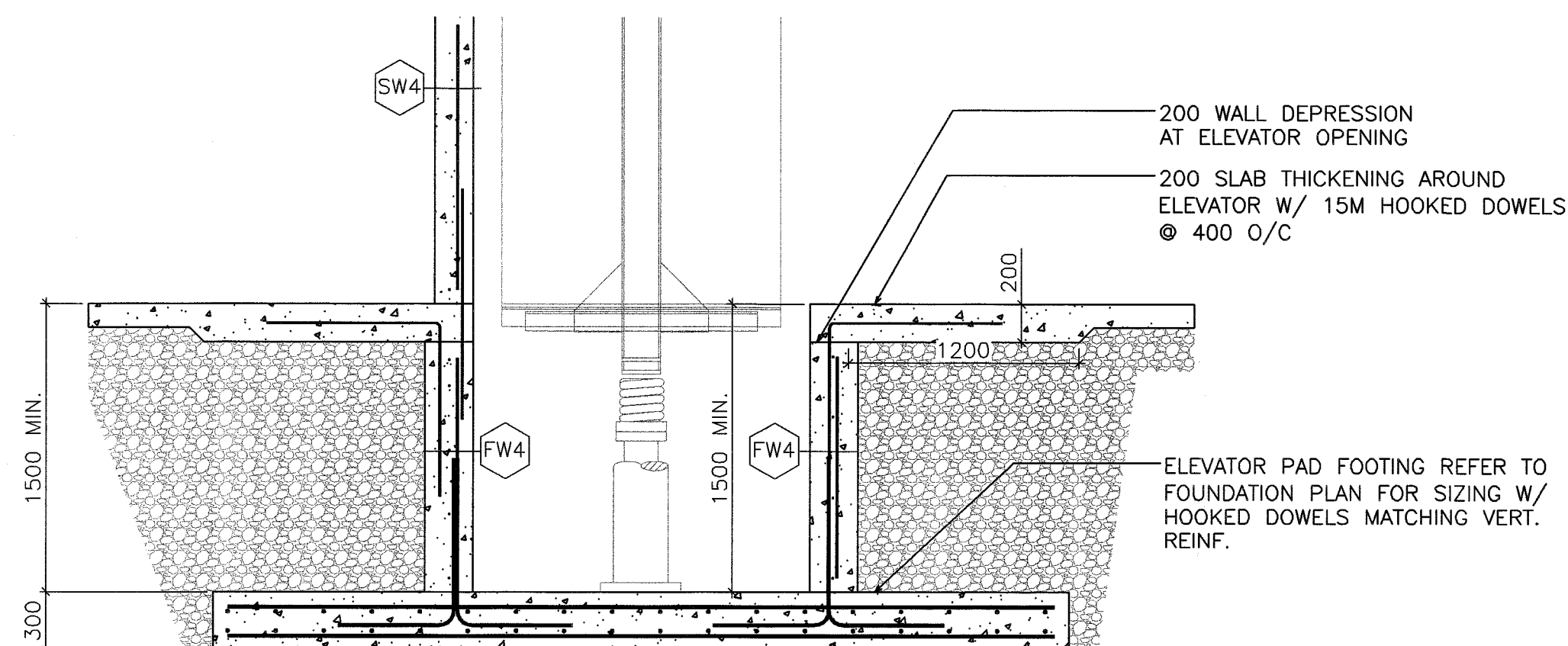
4 TYPICAL PIER AND FOOTING
S4 SCALE: 1:20



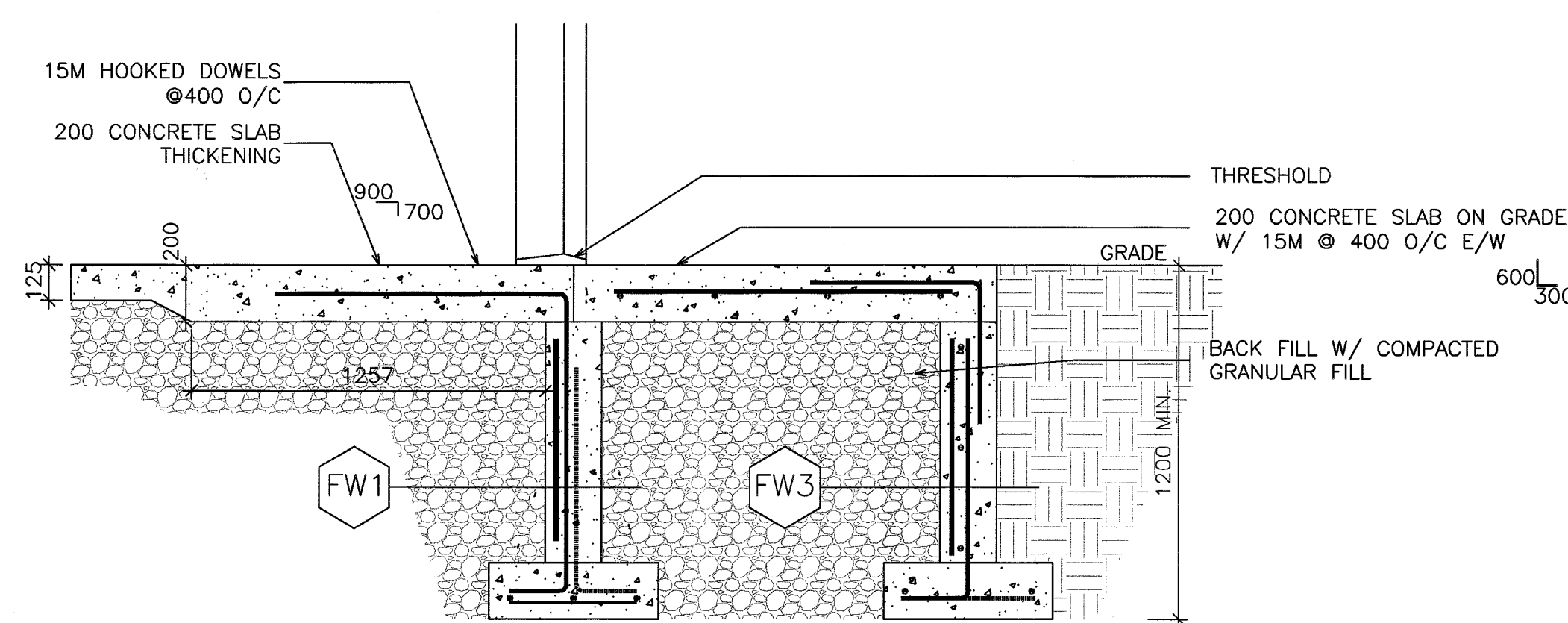
5 TYPICAL FOOTING FOR RAIN WATER DRAINS
S4 SCALE: 1:20



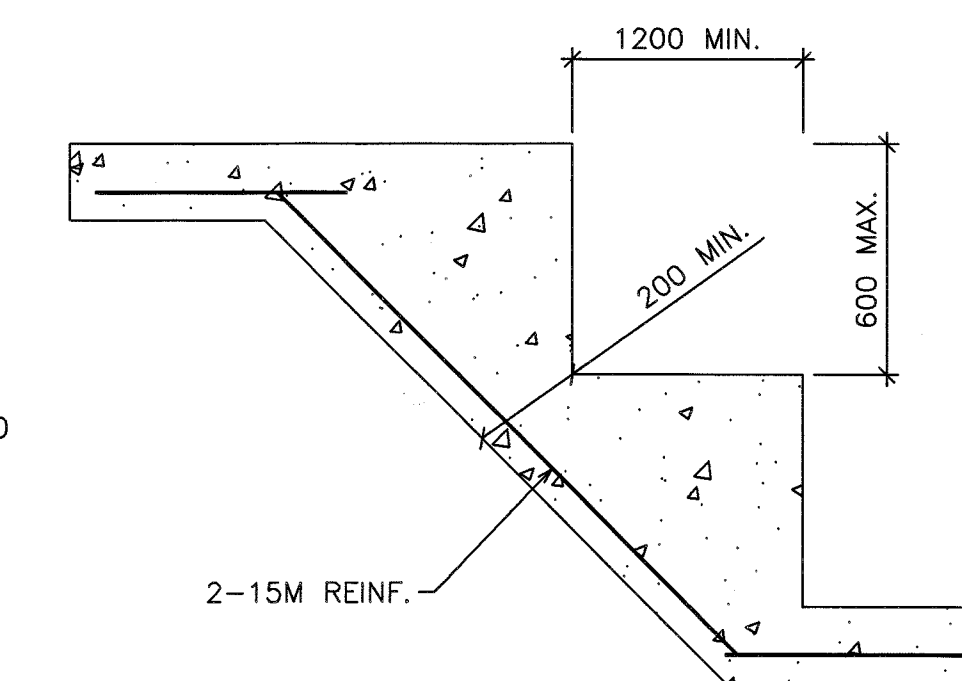
7 ELEVATOR SHAFT FOOTING DETAIL
S4 SCALE: 1:30



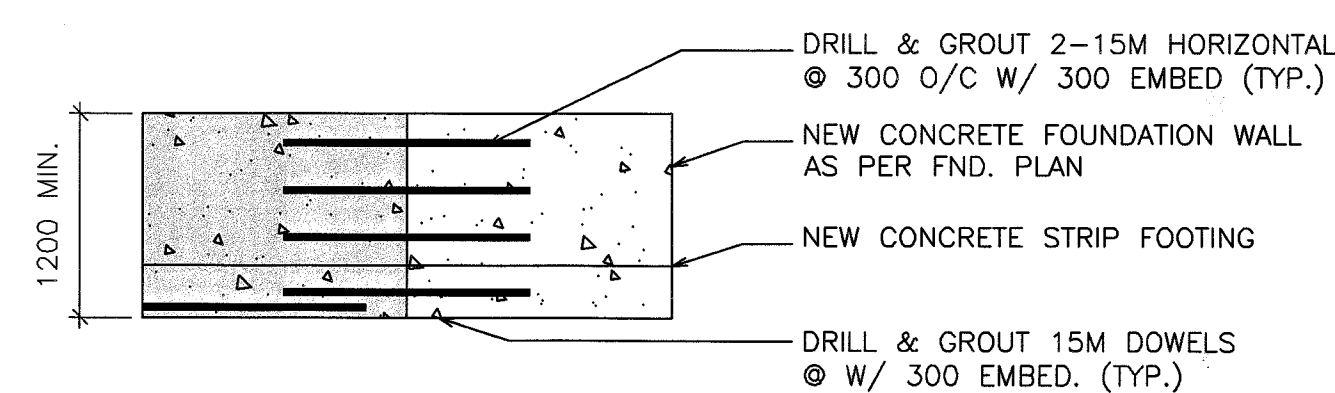
8 ELEVATOR SHAFT FOOTING DETAIL
S4 SCALE: 1:30



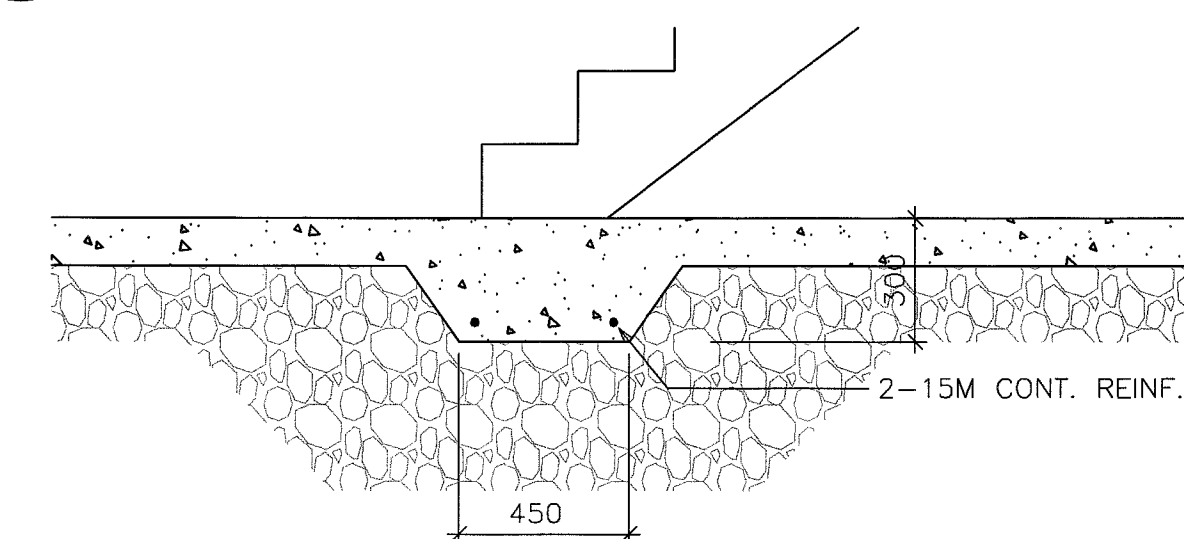
9 FROST SLAB DETAIL
S4 SCALE: 1:20



10 TYPICAL STRIP FOOTING DETAIL
S4 SCALE: 1:20



11 TYPICAL CONNECTION BETWEEN NEW AND EXISTING FOUNDATIONS
S4 SCALE: 1:10



12 THICKENED SLAB FOR STAIR SUPPORT
S4 SCALE: 1:10

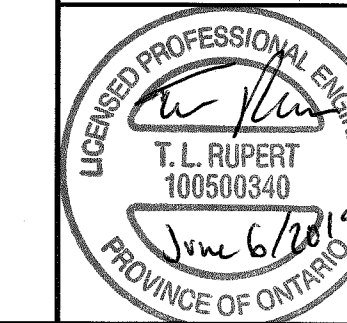
NO.	REVISION	DATE	BY	APPROVED
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1	ISSUED FOR PERMIT	19/03/11	A.A	T.L.R.

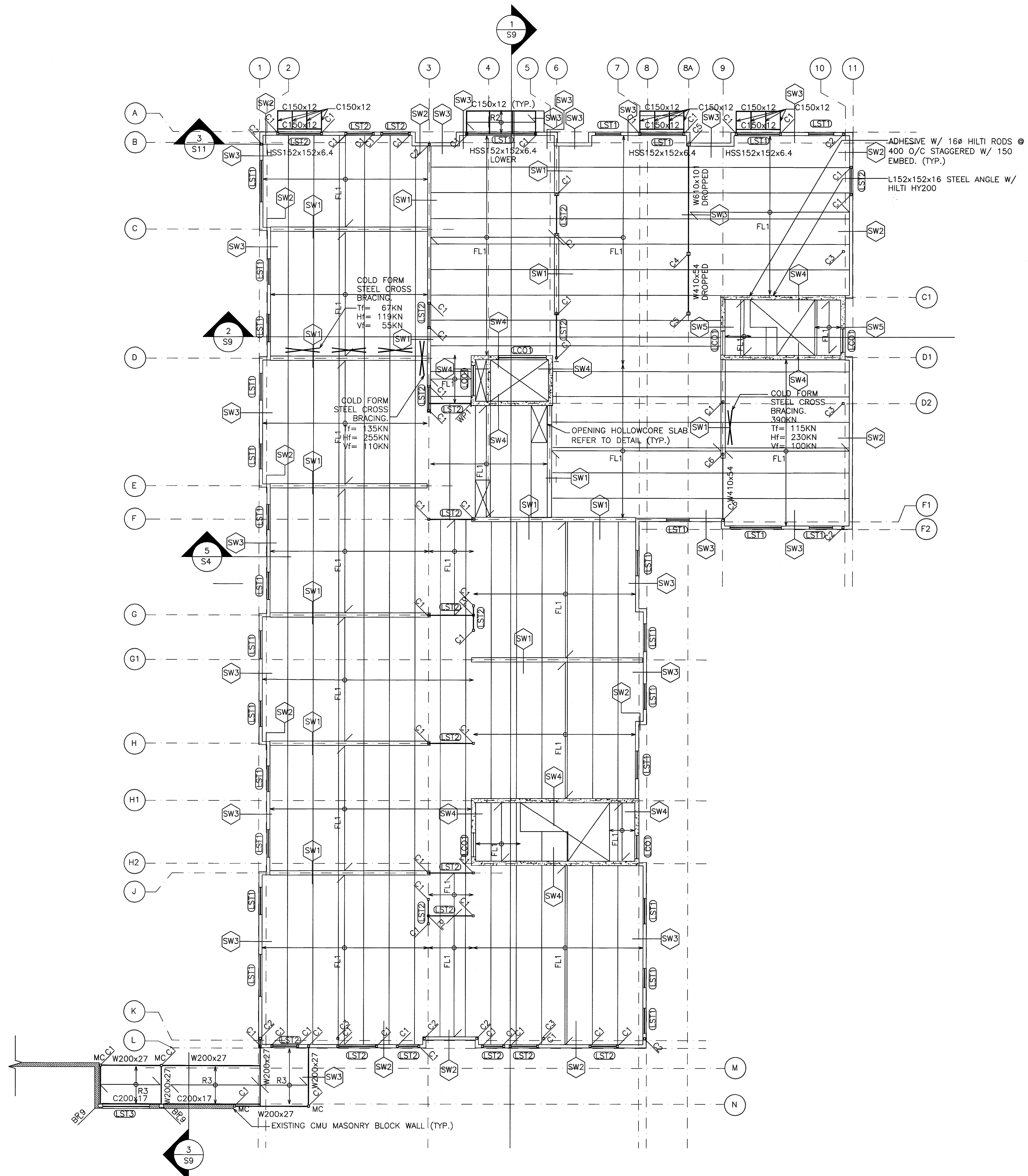
REVISIONS

165 KING AVE. E. NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION
**STRUCTURAL FOUNDATION
DETAILS**

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DRAWN BY: C.L.A.	DRAWING NO. S4
DESIGN BY: T.L.R.	CAD FILE: -
CHECKED BY: T.L.R.	PLOT DATE: 19/06/06
DATE: FEBRUARY 2016	SUBMISSION: TENDER





1 STRUCTURAL SECOND FLOOR
S5
SCALE: 1:100

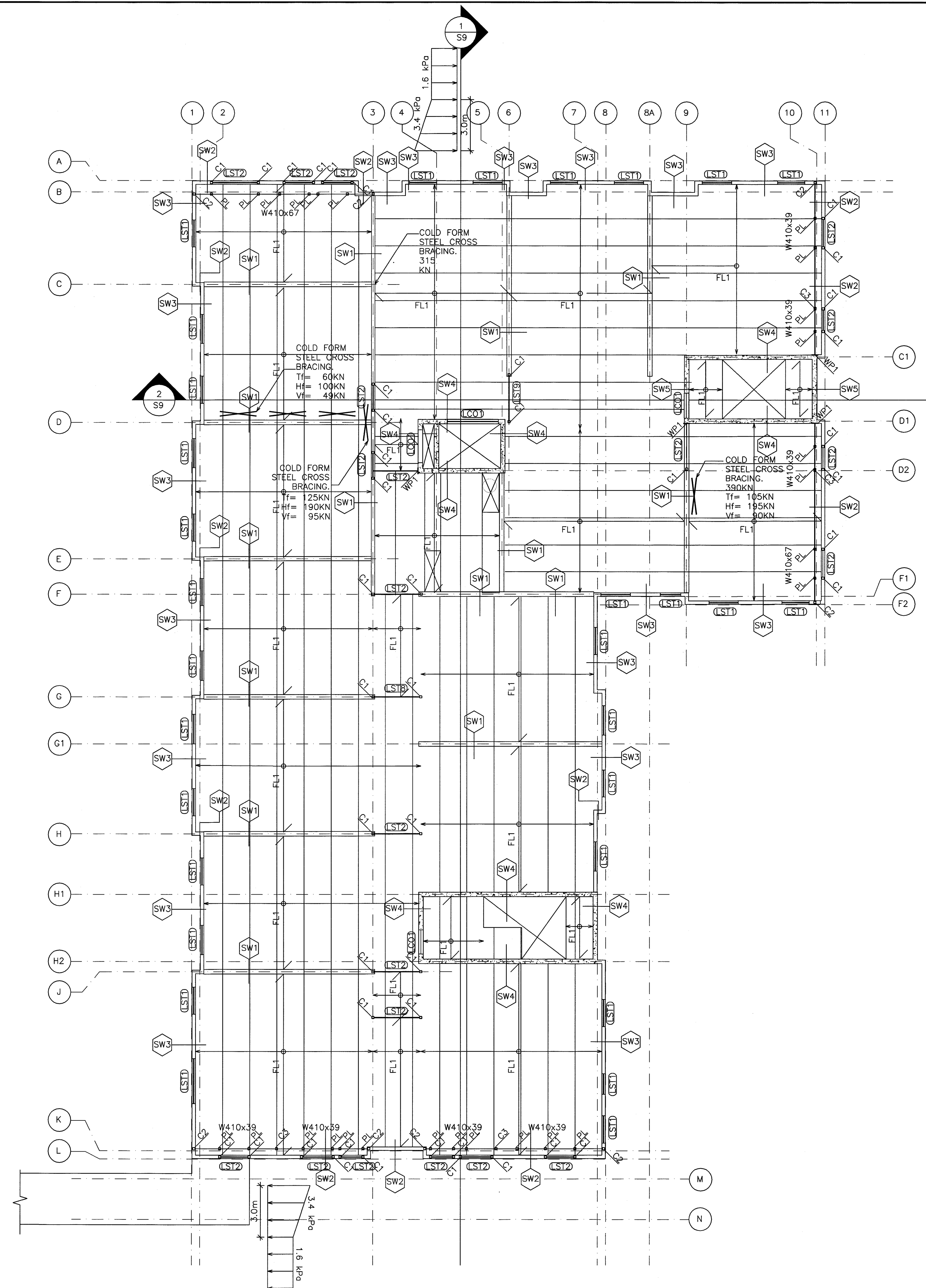
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2	REISSUED FOR PERMIT	19/05/21	M.S	T.L.R.
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REVISIONS
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PARKVIEW SENIORS EXPANSION

STRUCTURAL SECOND FLOOR


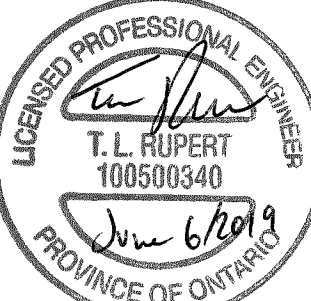
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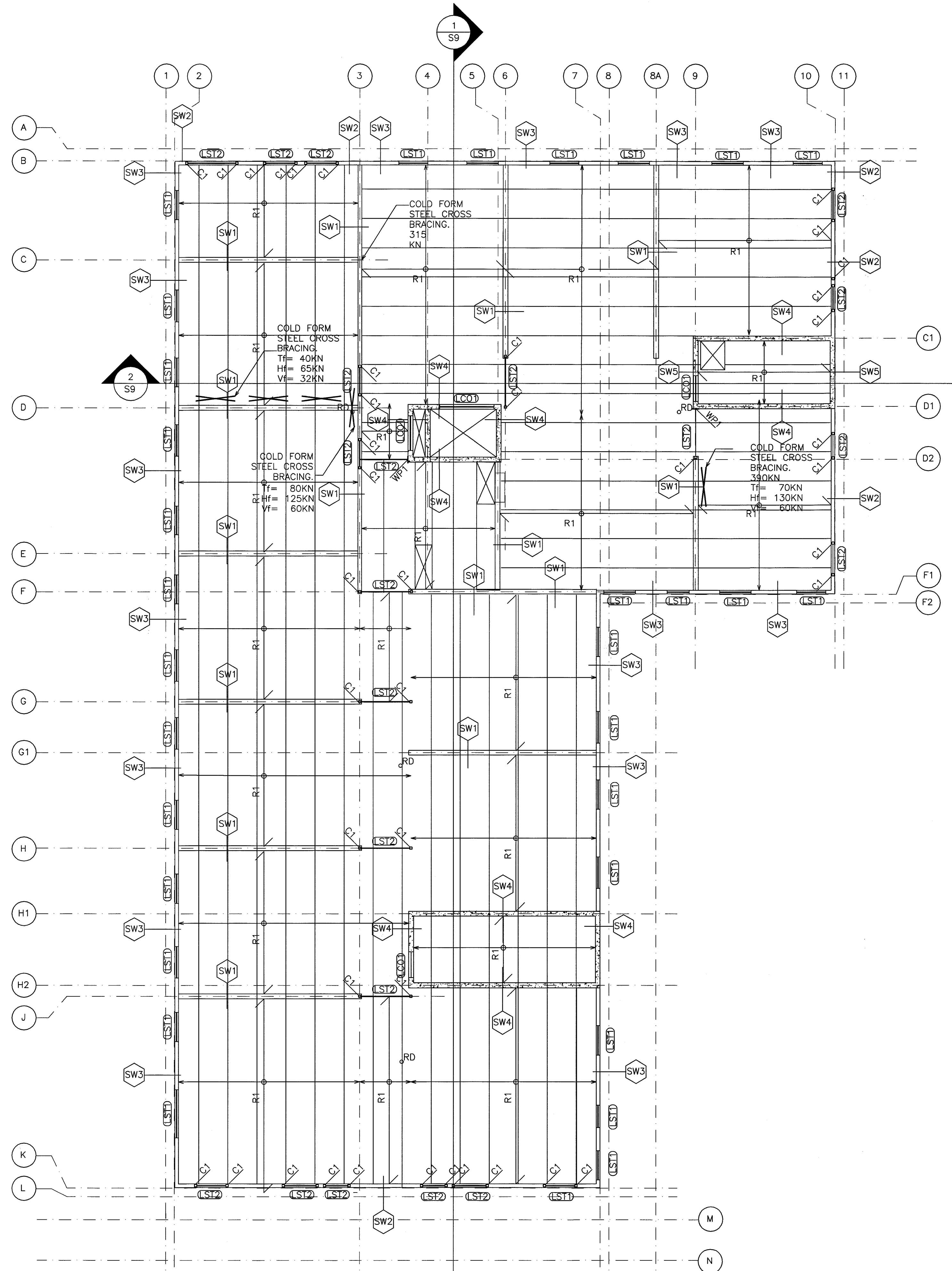
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	CHECKED BY: T.L.R.	PLOT DATE: 19/06/06
DATE: FEBRUARY 2016	SUBMISSION: TENDER	



1 STRUCTURAL THIRD FLOOR
S6 SCALE: 1:100

NO.	REVISION	DATE	BY	APPROVED
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REVISIONS				
165 KING AVE. E. NEWCASTLE, ON PARKVIEW SENIORS EXPANSION				
STRUCTURAL THIRD FLOOR				
 D.G. Biddle & Associates Limited <small>consulting engineers and planners</small> 96 KING STREET EAST · OSHAWA, ON L1H 1B6 PHONE (905)576-8500 · FAX (905)576-9730 info@dgbiddle.com				
 LICENSED PROFESSIONAL ENGINEER T.L. RUPERT 100500340 JUN 6/2019 PROVINCE OF ONTARIO	SCALE: AS SHOWN	PROJECT NO. 118129		
	DRAWN BY: C.L.A.	DRAWING NO. S6		
	DESIGN BY: T.L.R.	CAD FILE: -		
	CHECKED BY: T.L.R.	PLOT DATE: 19/06/06		
DATE: FEBRUARY 2016	SUBMISSION: TENDER			



1 STRUCTURAL ROOF PLAN
S7 SCALE: 1:100

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1	ISSUED FOR PERMIT	19/03/11	AA	T.L.R.
NO.	REVISION	DATE	BY	APPROVED

REVISIONS

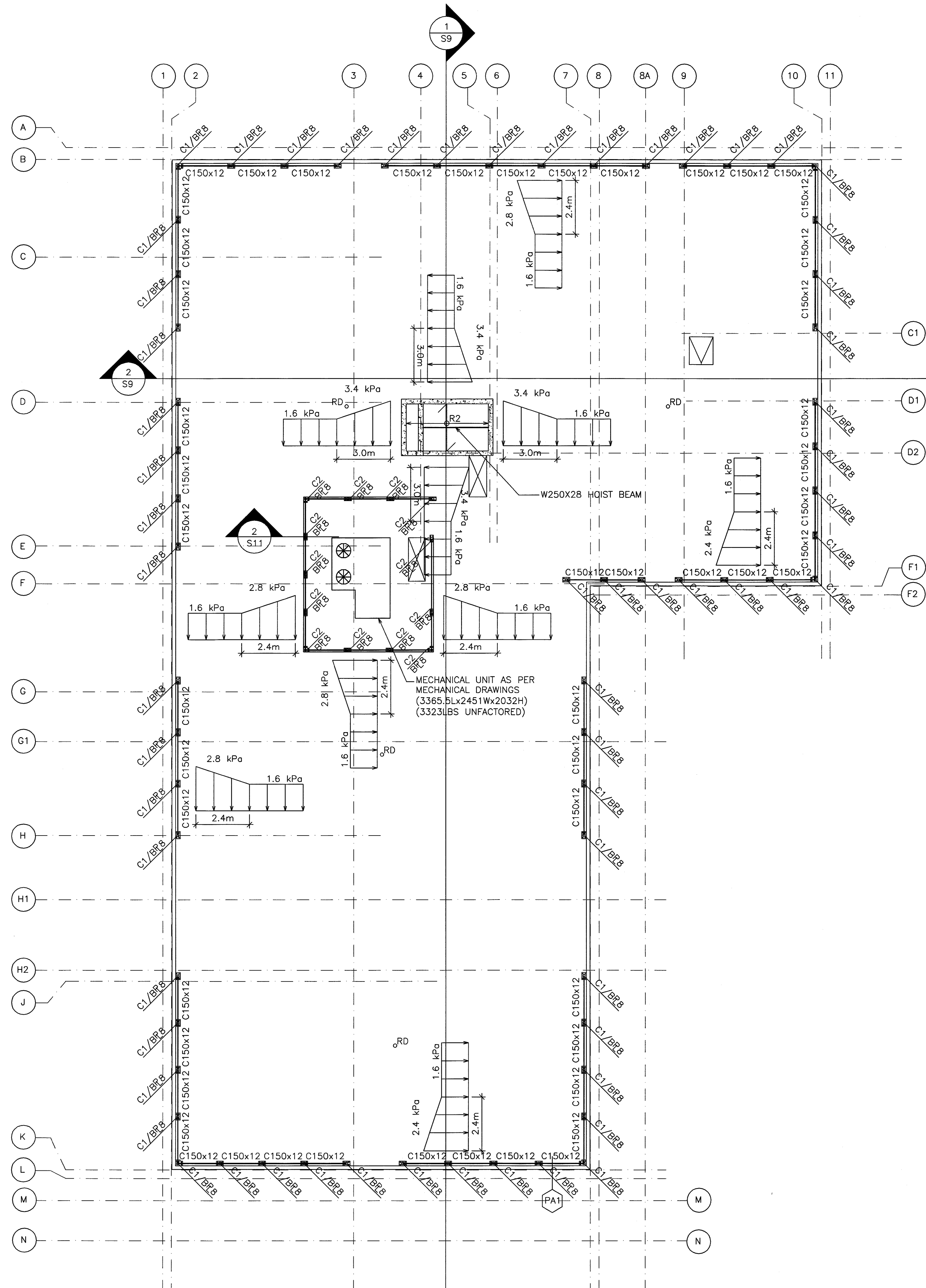
165 KING AVE. E. NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

STRUCTURAL ROOF PLAN

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DRAWN BY: C.L.A.	DRAWING NO. S7
DESIGN BY: T.L.R.	CAD FILE: -
CHECKED BY: T.L.R.	PLOT DATE: 19/06/06
DATE: FEBRUARY 2016	SUBMISSION: TENDER



1 ROOF LOADS PLAN
S8 SCALE: 1:100

REVISIONS			
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3	ISSUED FOR TENDER	19/06/06	M.S T.L.R.
2	REISSUED FOR PERMIT	19/05/21	M.S T.L.R.
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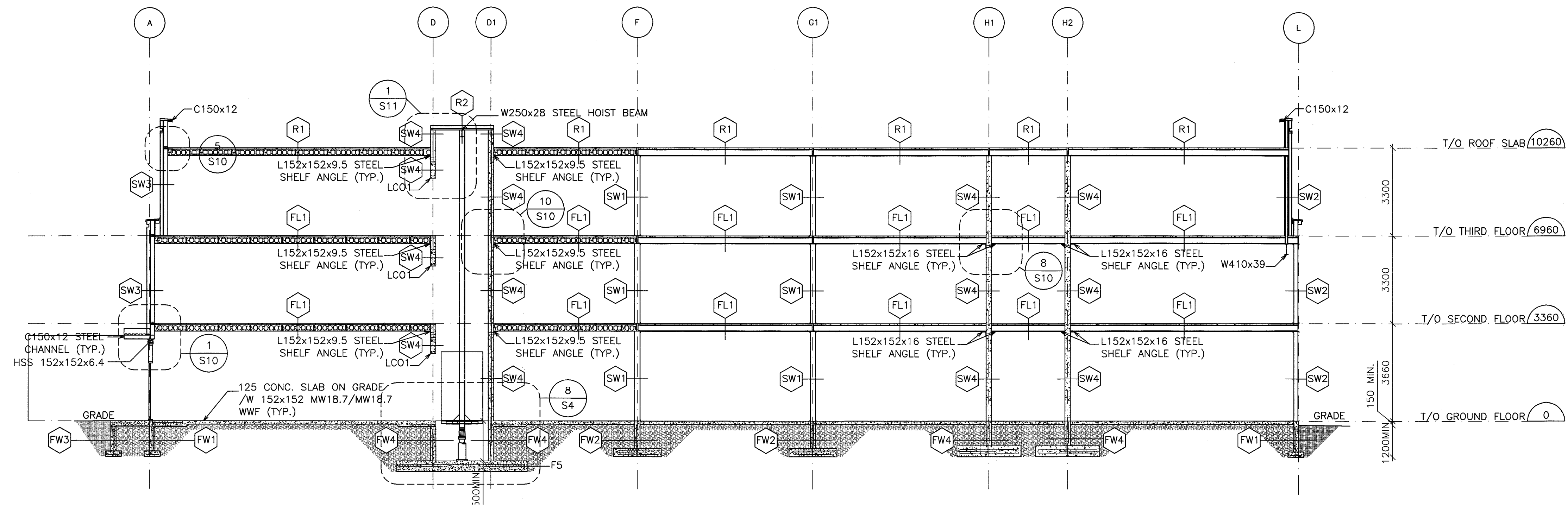
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PARKVIEW SENIORS EXPANSION

ROOF LOADS PLAN

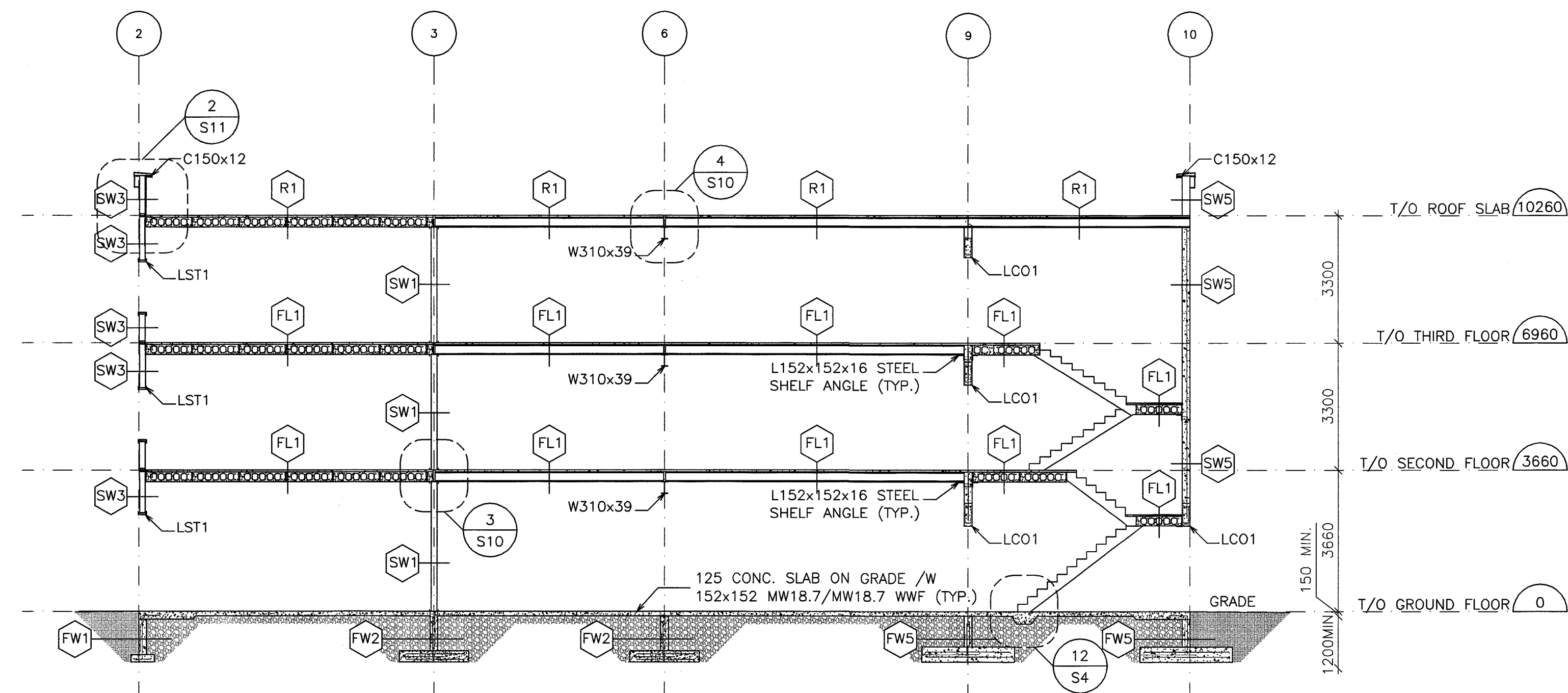
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DRAWN BY: C.L.A.	DRAWING NO. S8
DESIGN BY: T.L.R.	CAD FILE: -
CHECKED BY: T.L.R.	PLOT DATE: 19/06/06
DATE: FEBRUARY 2016	SUBMISSION: TENDER

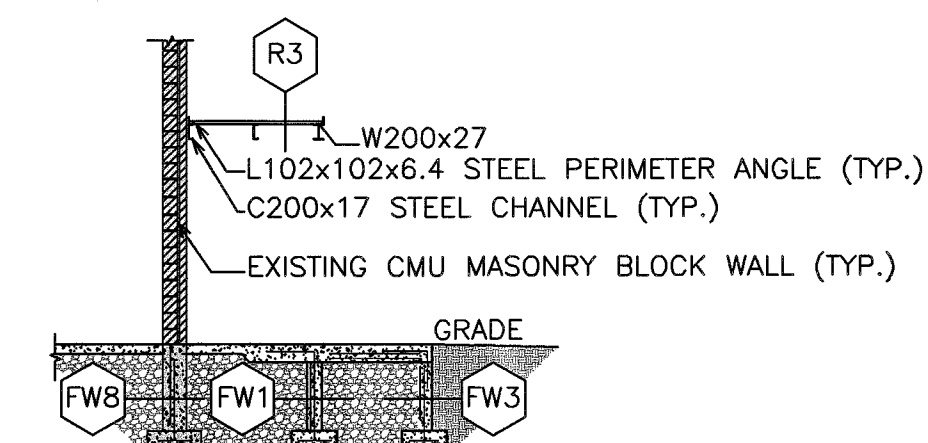
LICENSED PROFESSIONAL ENGINEER
T.L. RUPERT
100500340
JAN 6/2019
PROVINCE OF ONTARIO



1 NORTH SOUTH STRUCTURAL BUILDING SECTION
S9 SCALE: 1:100



2 EAST WEST STRUCTURAL BUILDING SECTION
S9 SCALE: 1:100



3 DECKING SUPPORT DETAIL
S9 SCALE: 1:50

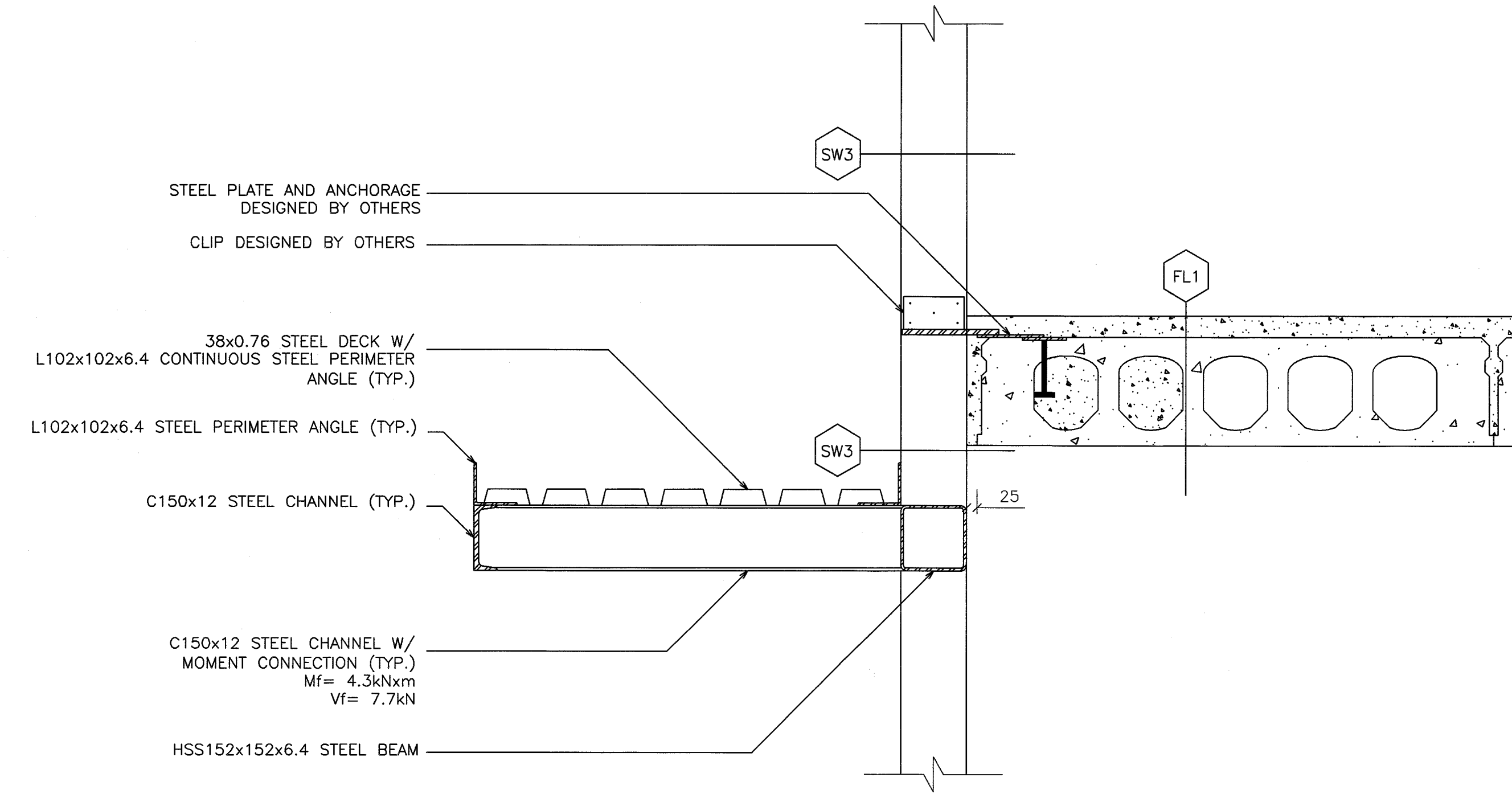
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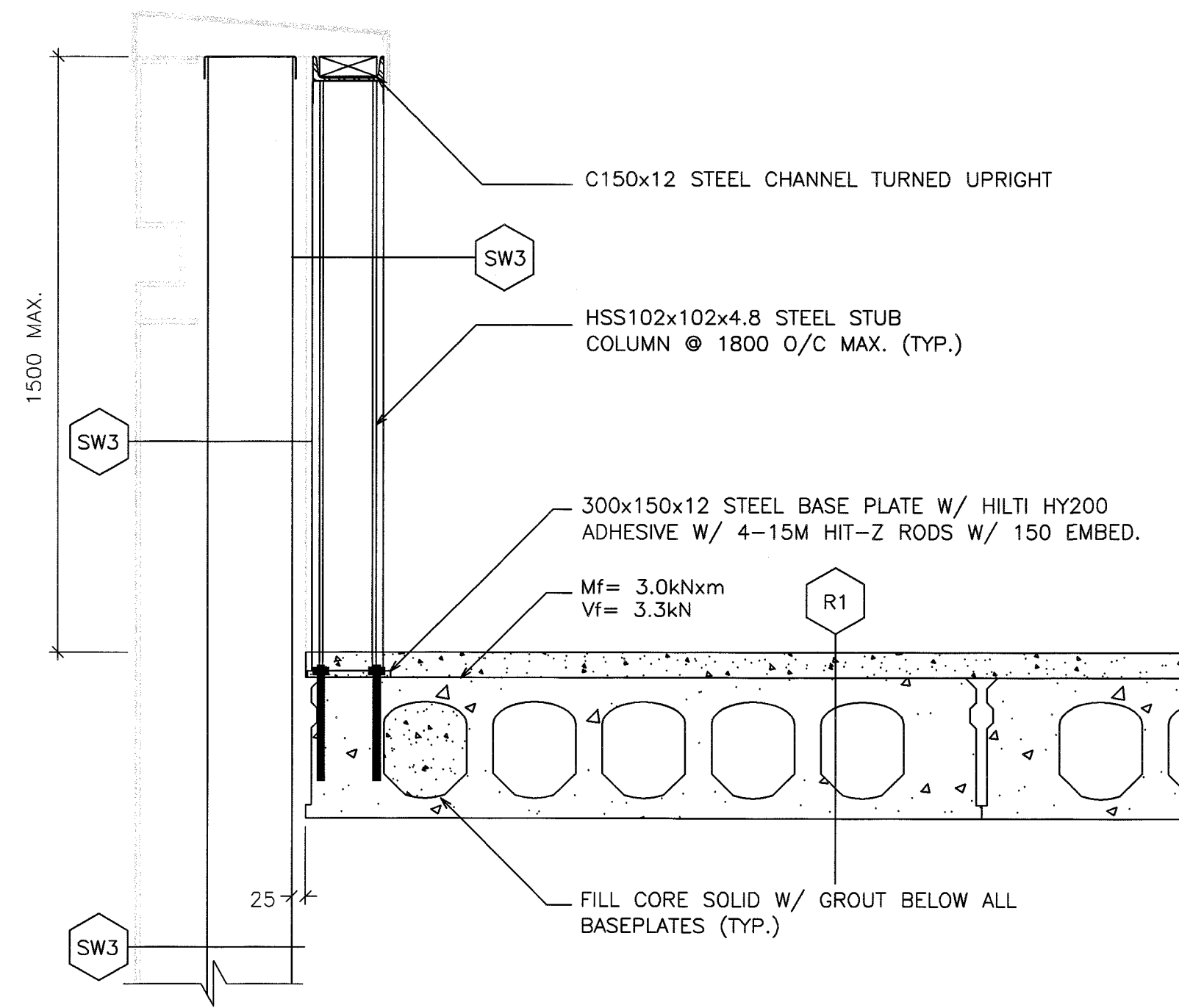
STRUCTURAL BUILDING SECTIONS

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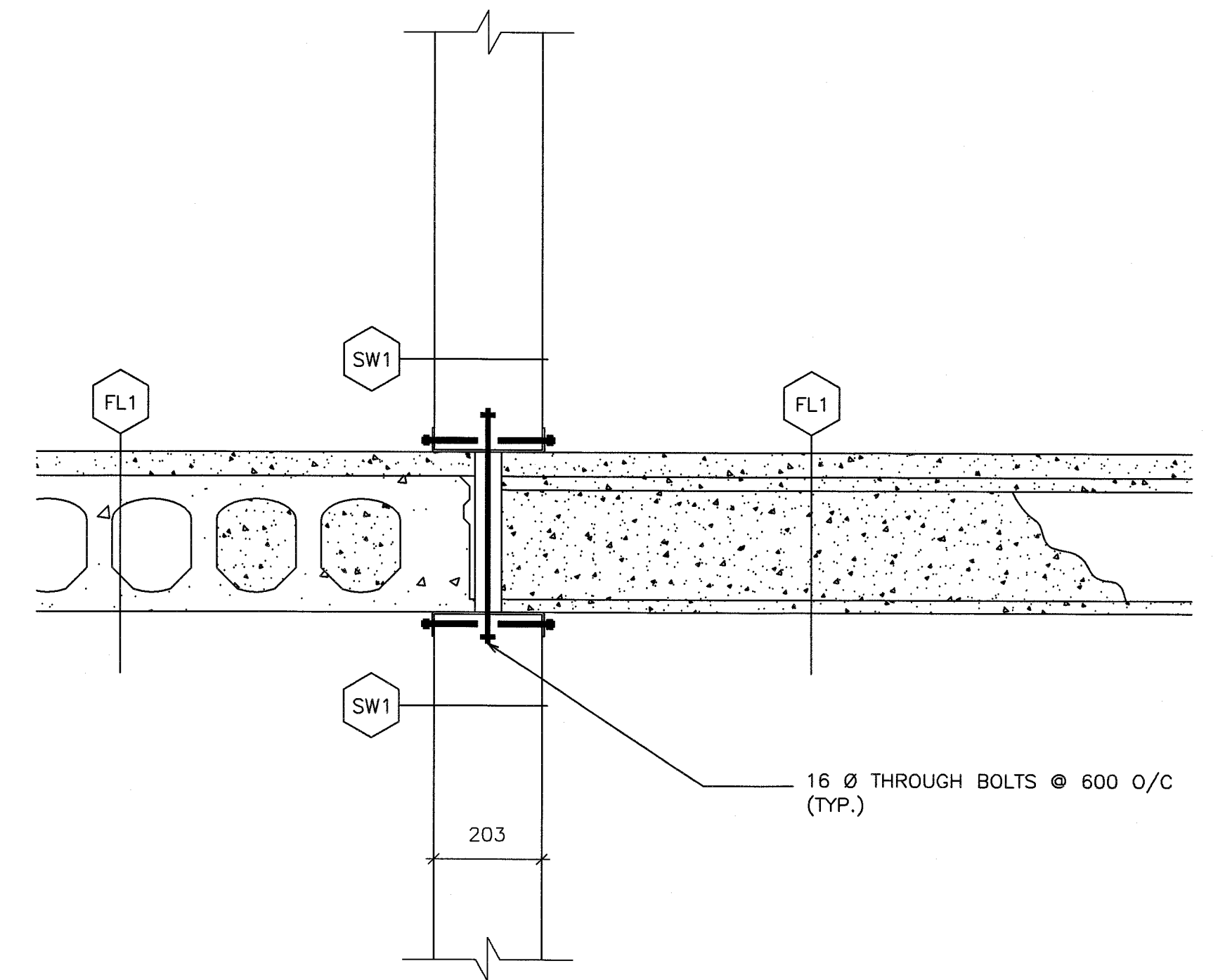
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	DATE: APRIL 2019	PLOT DATE: 19/06/06 SUBMISSION: TENDER



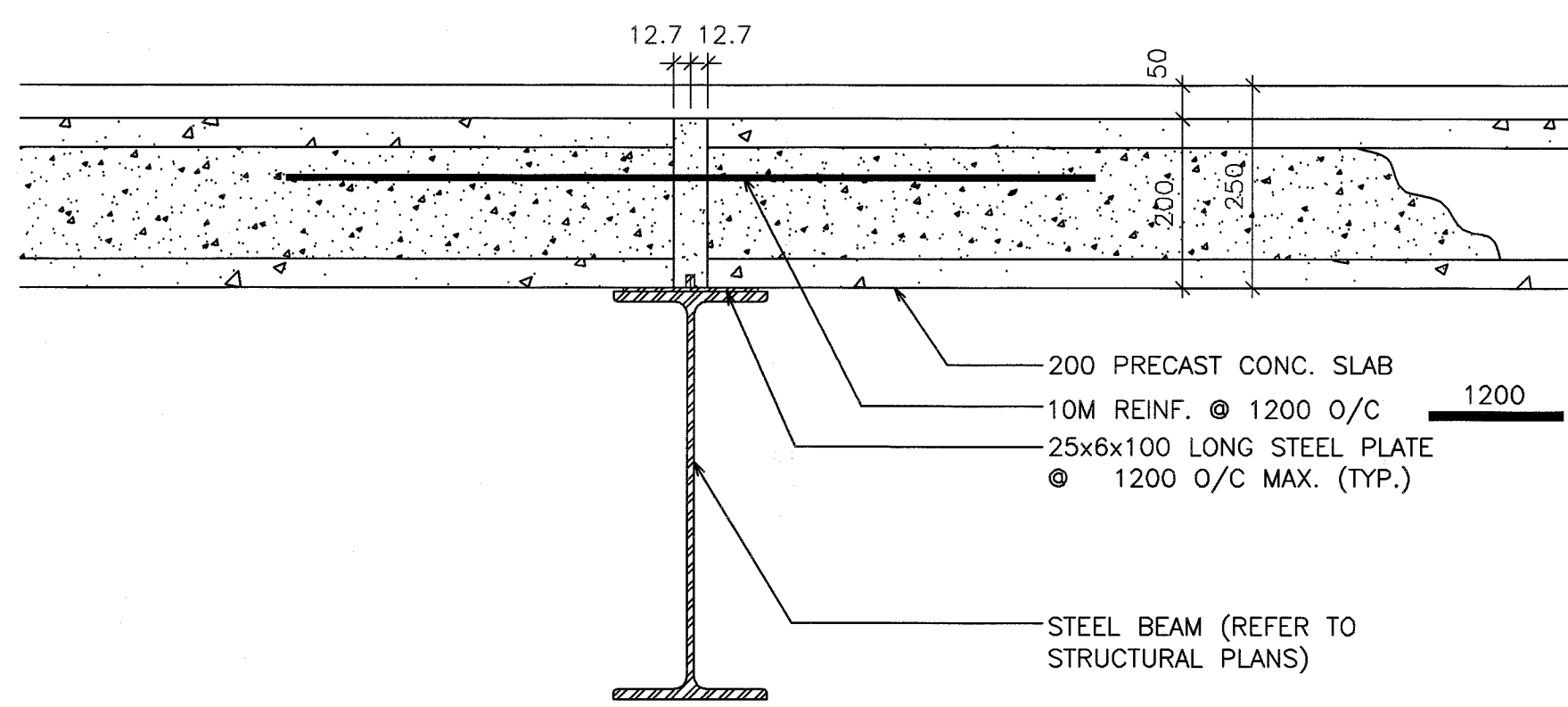
1 TYPICAL CANOPY SECTION DETAIL
S10 SCALE: 1:10



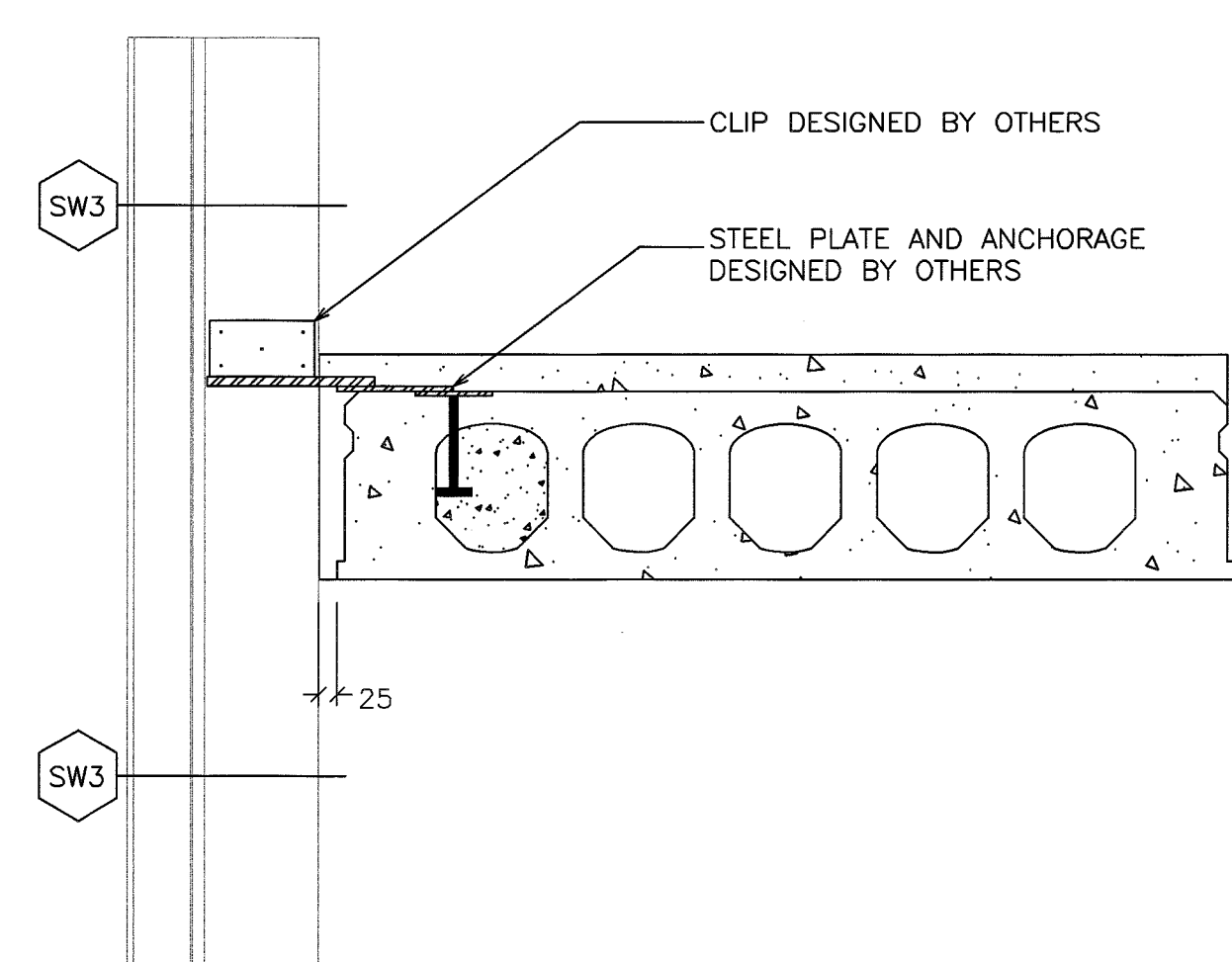
2 TYPICAL PARAPET SECTION
S10 SCALE: 1:10



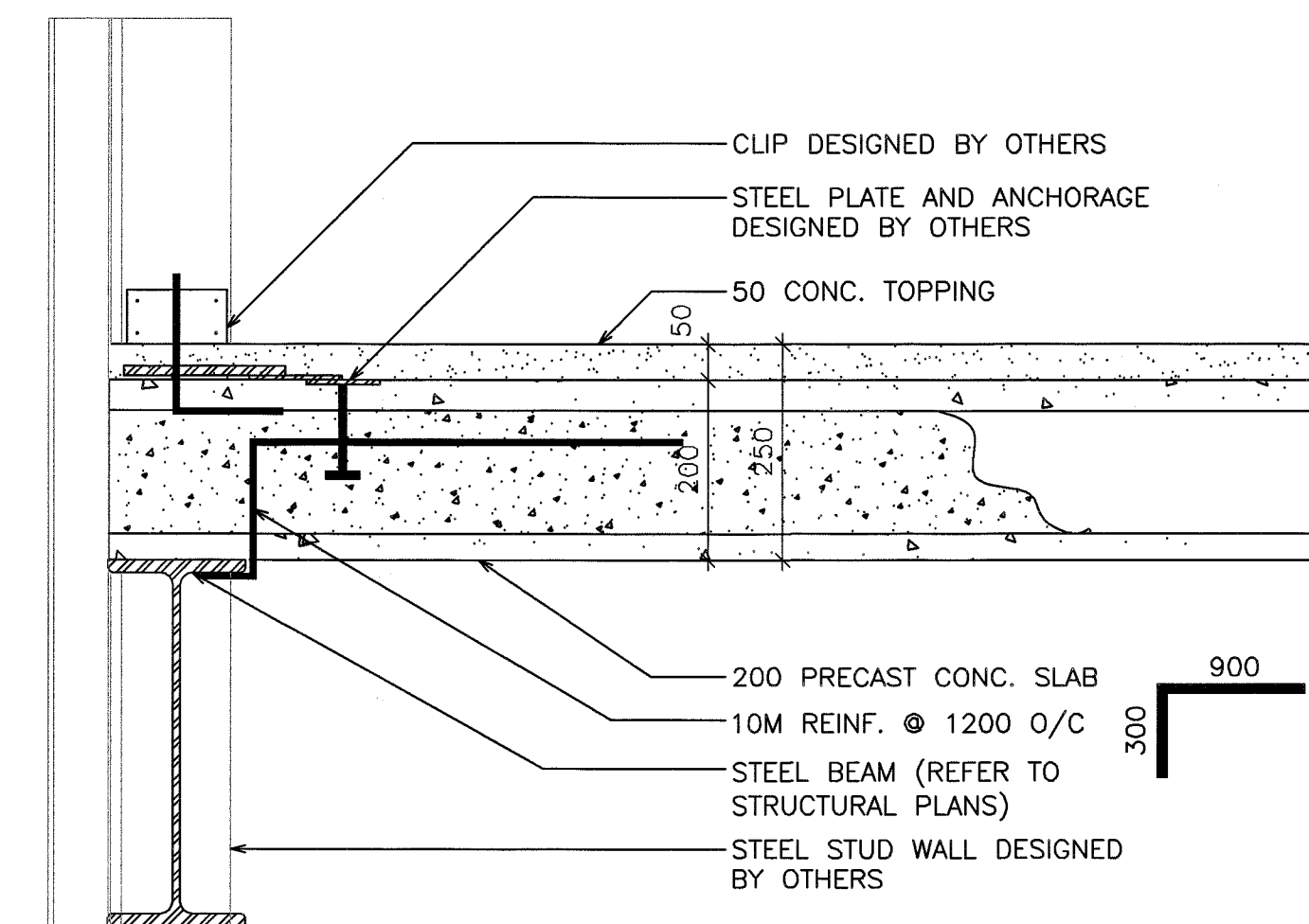
3 TYPICAL CORE SLAB RUNNING PARALLEL AND PERPENDICULAR TO LOAD BEARING WALL DETAIL
S10 SCALE: 1:10



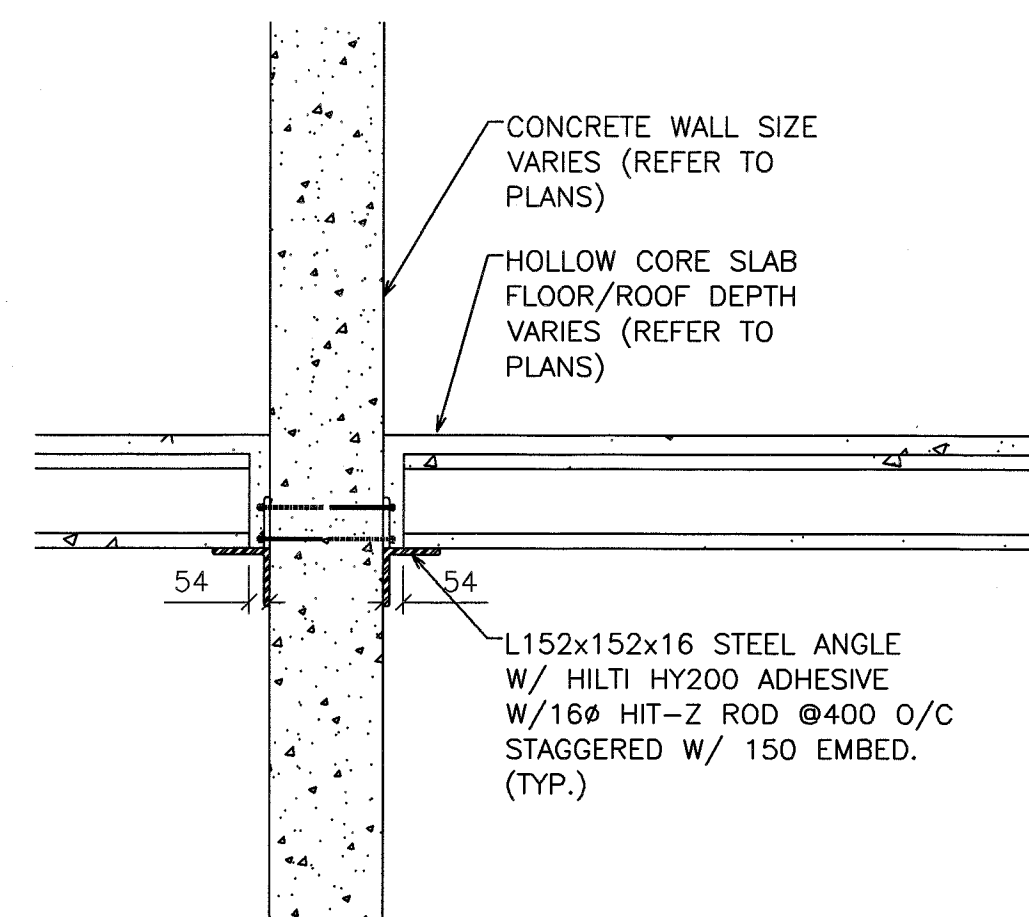
4 TYPICAL CONTINUOUS CORE SLAB TO BEAM DETAIL ABUTTING END TO END
S10 SCALE: 1:10



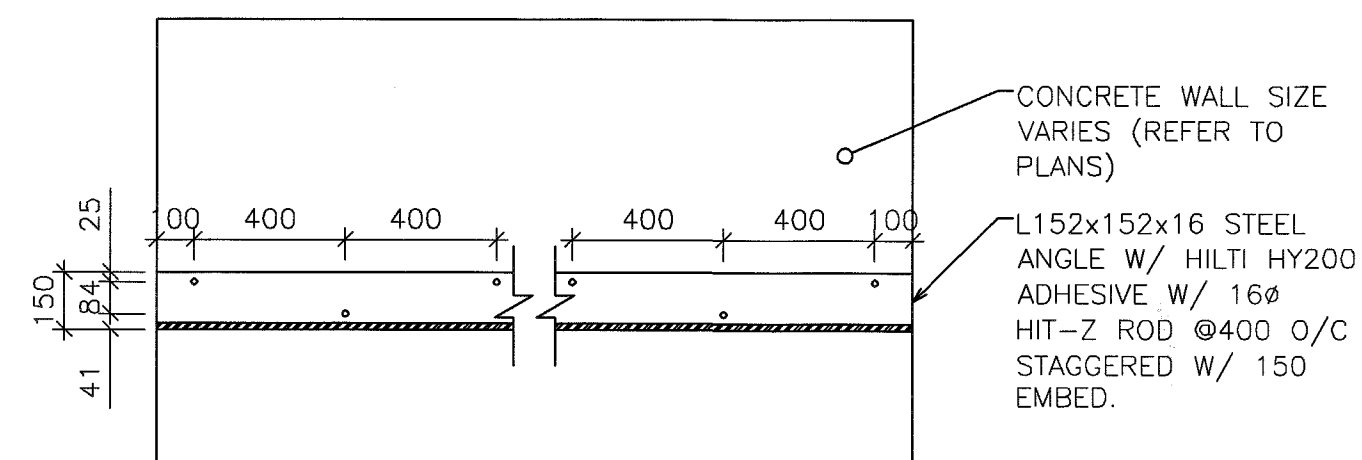
5 SLAB ON STEEL / END BEARING HALF BEARING TIE DOWN/ DTL CS3
S10 SCALE: 1:10



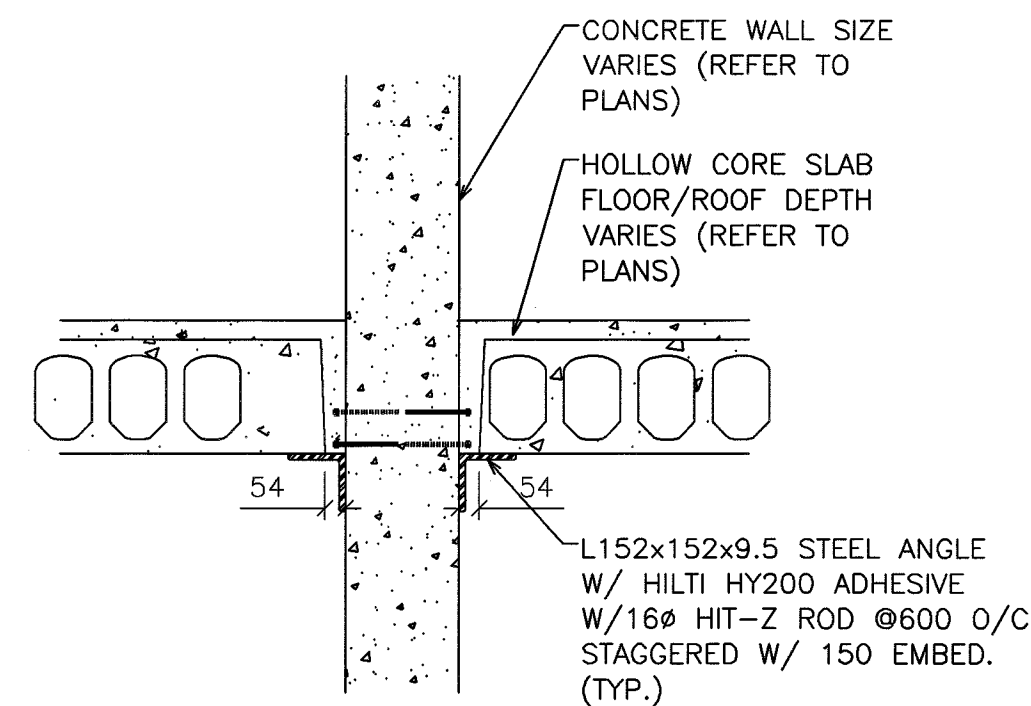
6 TYPICAL PERPENDICULAR CORE SLAB TO BEAM DETAIL
S10 SCALE: 1:10



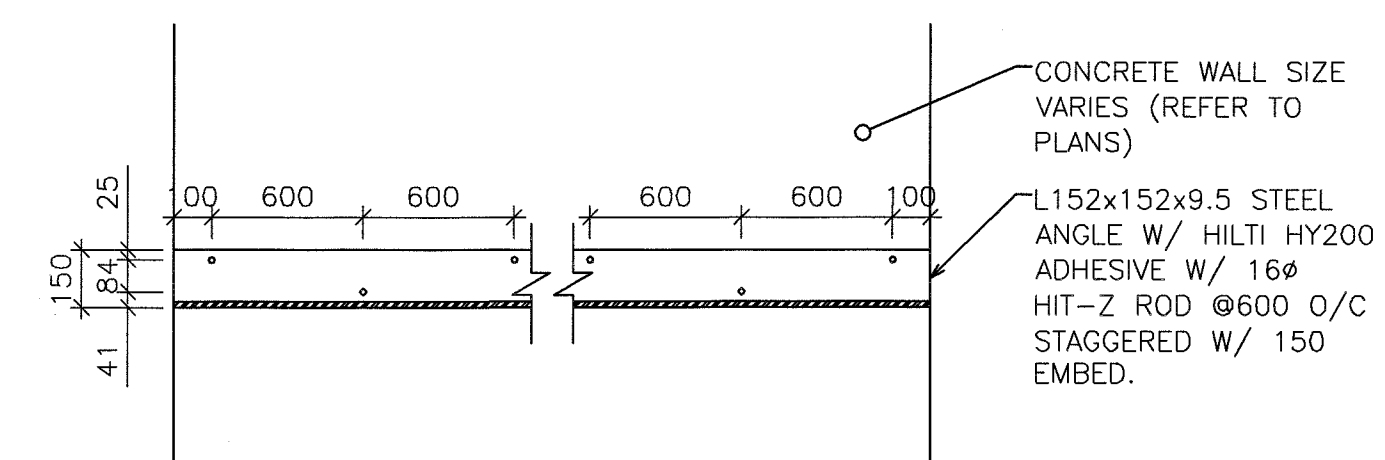
8 PRE-CAST SLAB RUNNING PERPENDICULAR TO WALL
S10 SCALE: 1:20



9 SHELF ANGLE SUPPORTING SLABS RUNNING PERPENDICULAR TO WALL
S10 SCALE: 1:20



10 PRE-CAST SLAB RUNNING PARALLEL TO WALL
S10 SCALE: 1:20



11 SHELF ANGLE SUPPORTING SLABS RUNNING PARALLEL TO WALL
S10 SCALE: 1:20

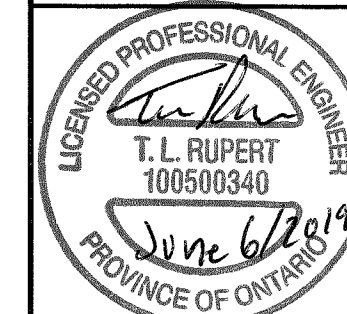
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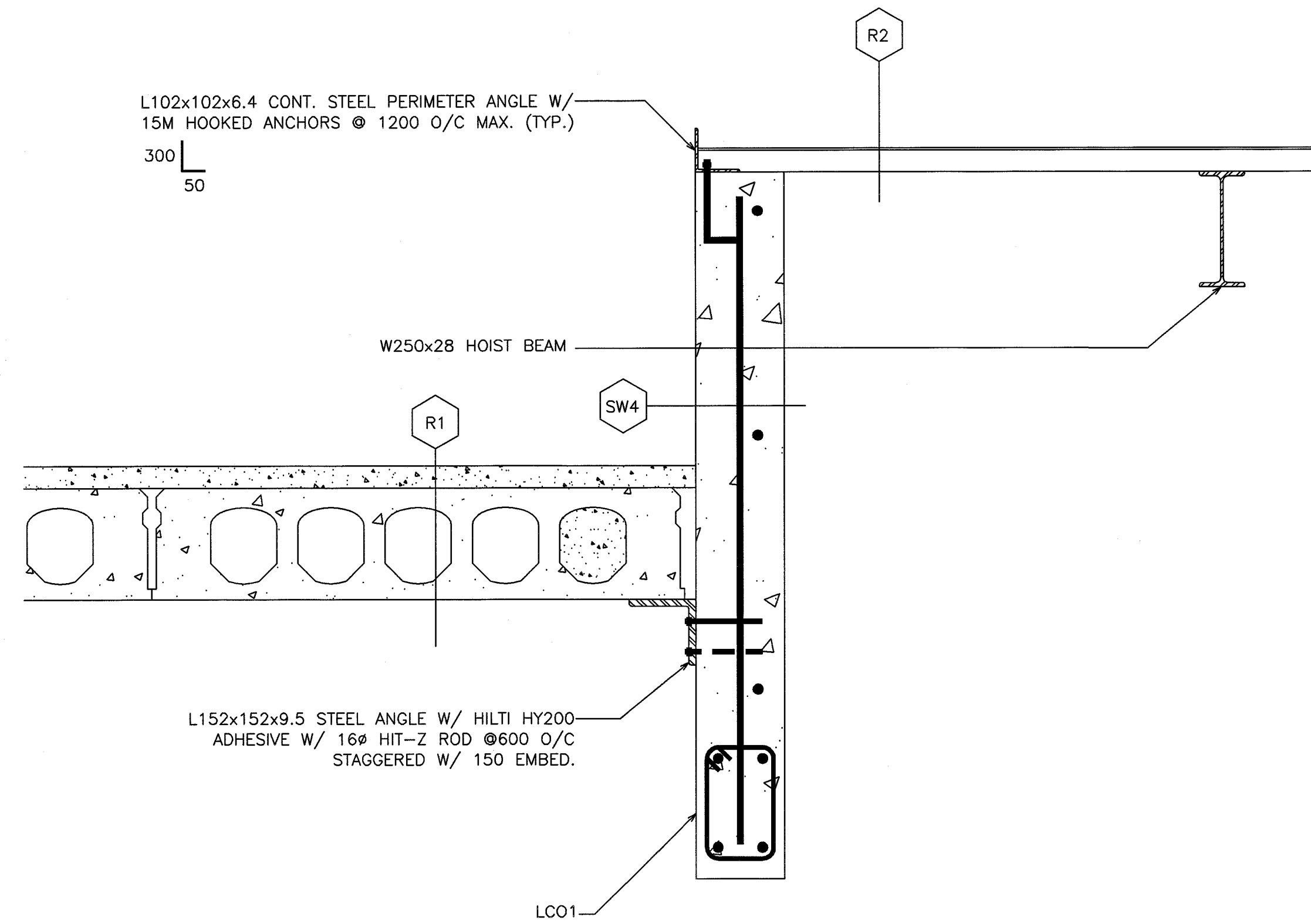
165 KING AVE. E. NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

STRUCTURAL SECTION DETAILS

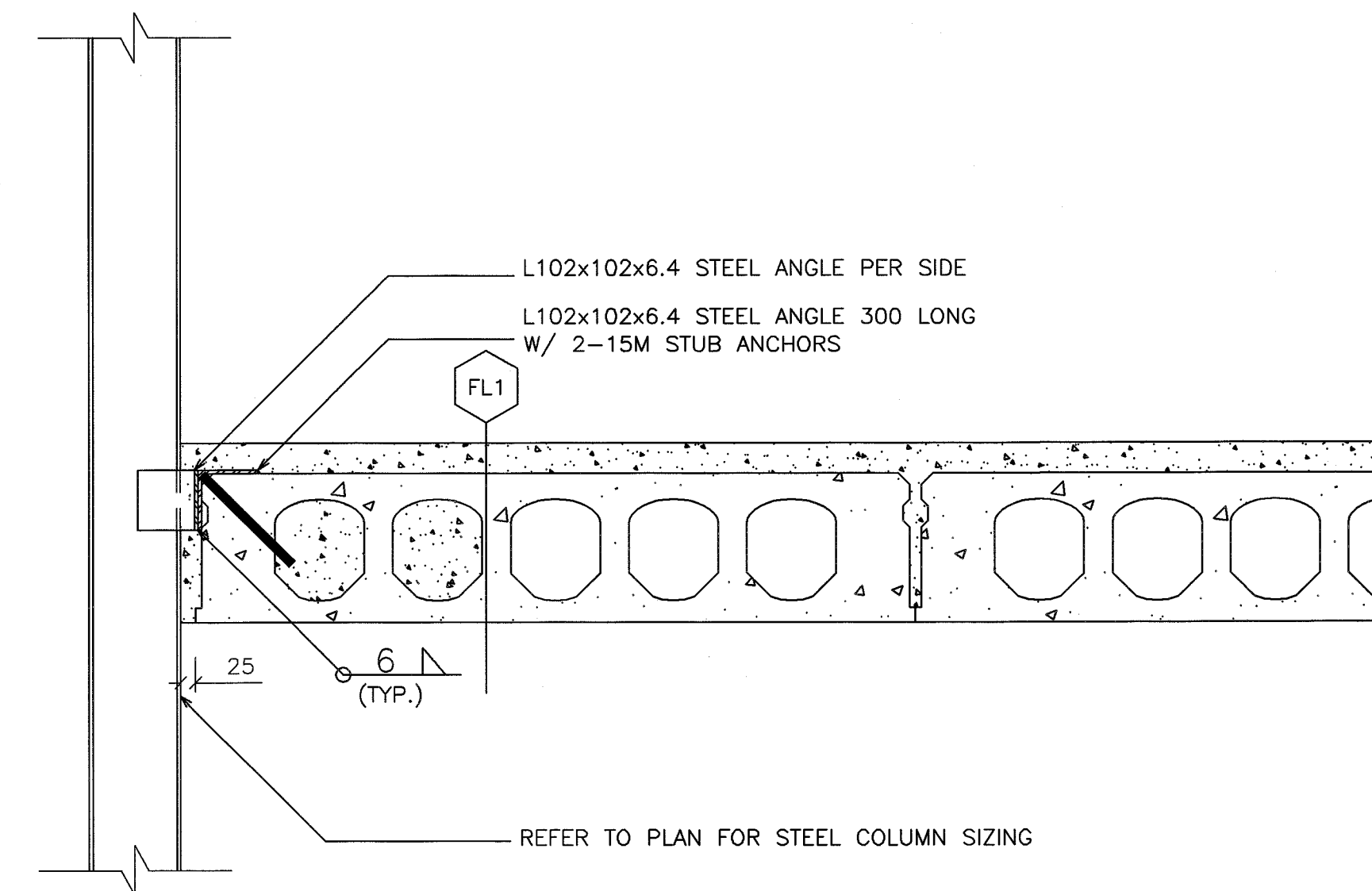
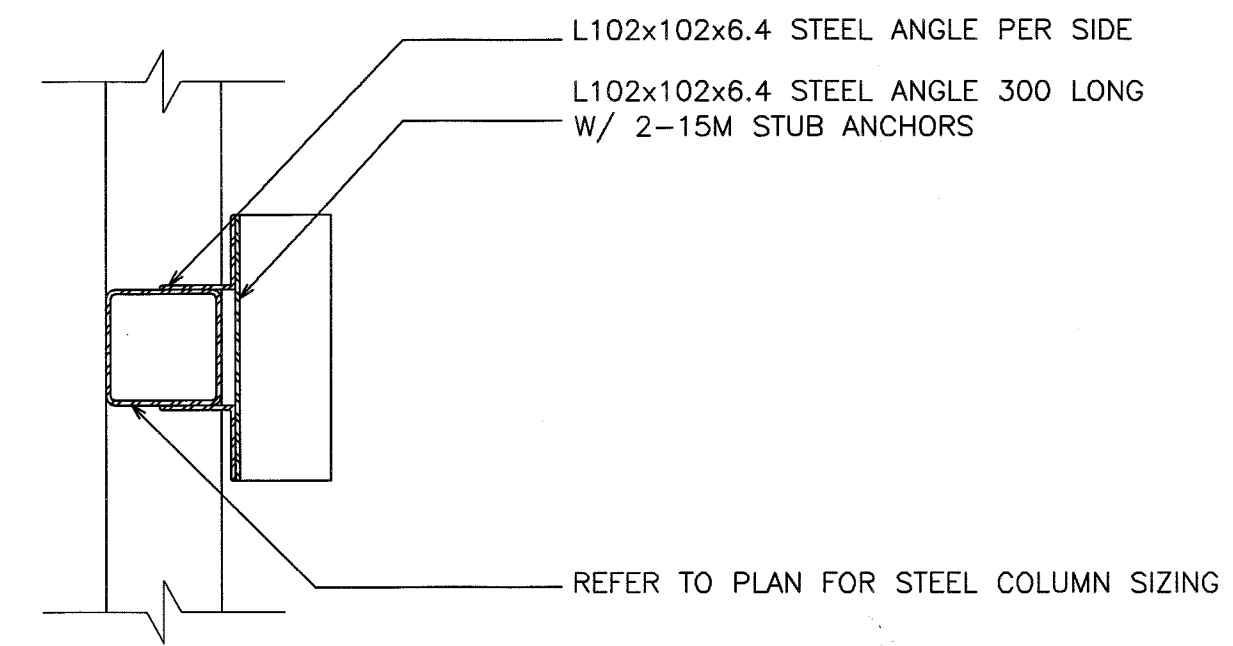
D.G. Biddle & Associates Limited
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SCALE: AS SHOWN	PROJECT NO. 118129
DRAWN BY: C.L.A.	DRAWING NO. S10
DESIGN BY: T.L.R.	CAD FILE: -
CHECKED BY: T.L.R.	PLOT DATE: 19/06/06
DATE: APRIL 2019	SUBMISSION: TENDER

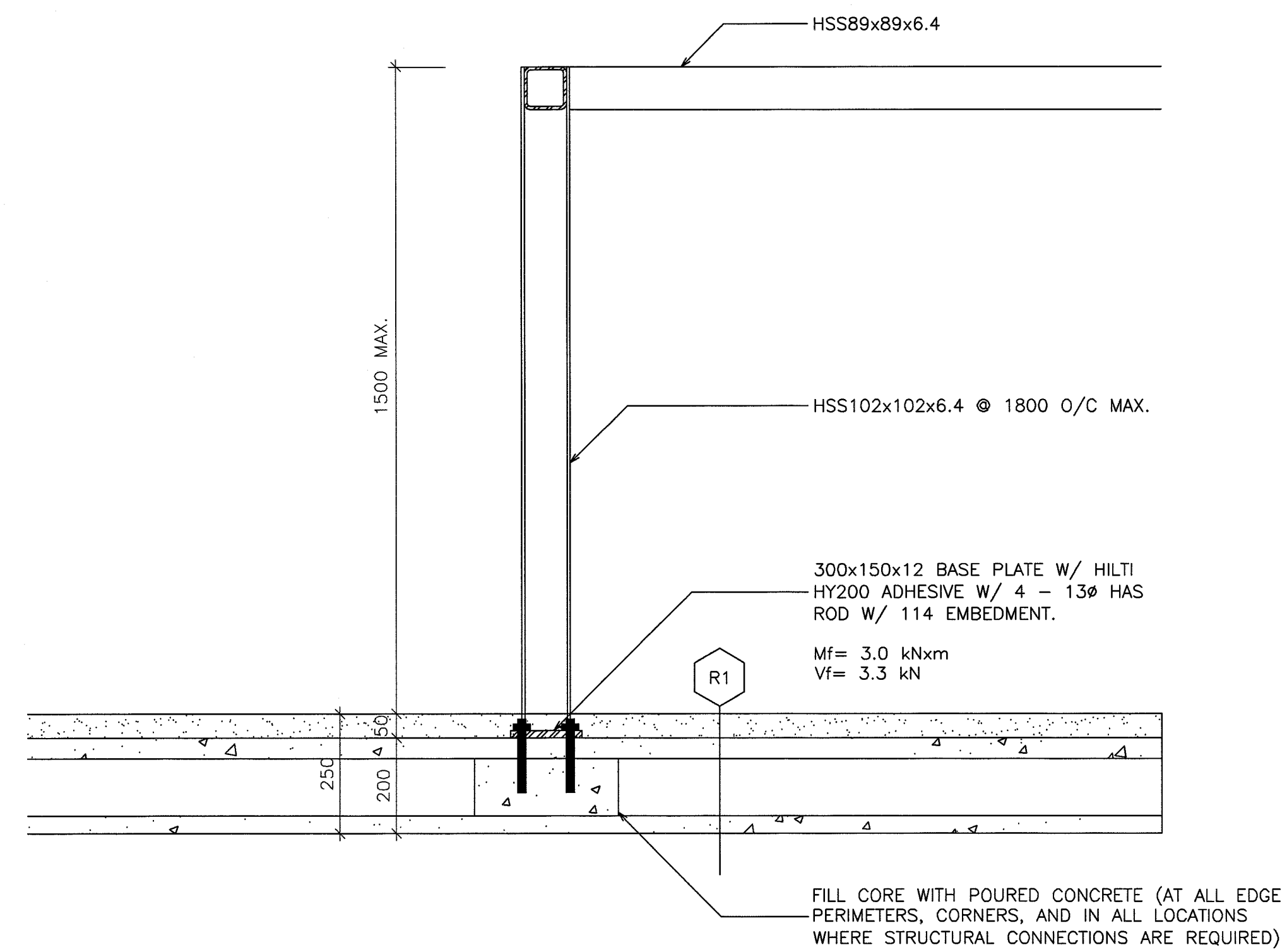




1 ELEVATOR ROOF CONNECTION DETAIL
S11 SCALE: 1:10



3 LATERAL SUPPORT DETAIL FOR STEEL COLUMNS IN NON LOAD BEARING WALL
S11 SCALE: 1:10



2 ROOF SCREEN FRAMING DETAIL
S11 SCALE: 1:10

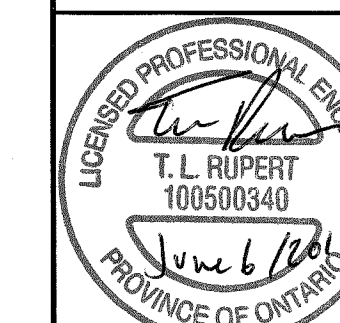
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REVISIONS

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PARKVIEW SENIORS EXPANSION

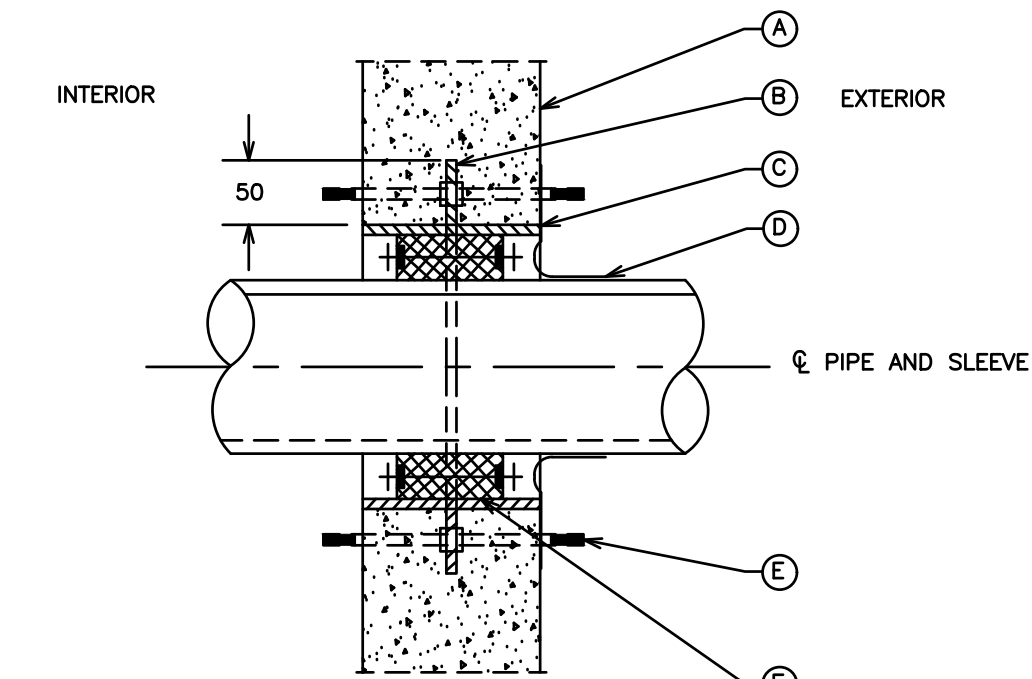
STRUCTURAL
DETAILS

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DRAWN BY:	C.L.A.	DRAWING NO.	S11
DESIGN BY:	T.L.R.	CAD FILE:	-
CHECKED BY:	T.L.R.	PLOT DATE:	19/06/06
DATE:	FEBRUARY 2016	SUBMISSION:	TENDER

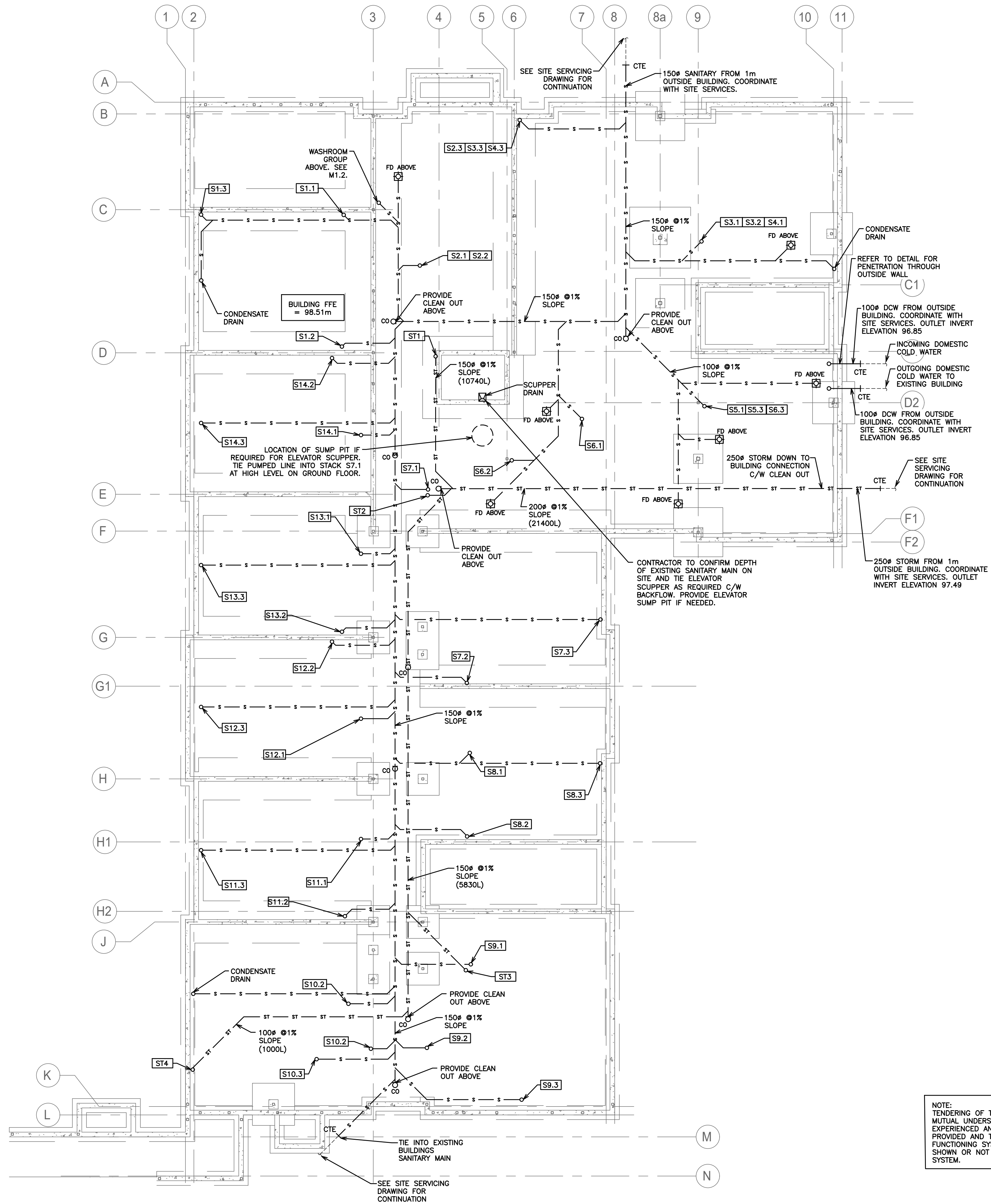
ITEM	DESCRIPTION
A.	EXTERIOR WALL
B.	WATER STOP AND ANCHOR COLLAR
C.	LINK-SEAL TYPE WALL SLEEVE MODEL WS OR CORE BIT DRILL WALL OPENING. DIA. AS REQ'D TO ACCEPT LINK SEAL ASSEMBLY
D.	EXTERIOR SURFACE OF SLEEVE, SEAL AND PIPE SHOULD BE COATED WITH COAL TAR OR OTHER WATERPROOFING MATERIAL
E.	25 DIA. GALVANIZED THREADED RODS FOR STRAPPING WATER MAINS. COORDINATE SPACING WITH FLANGERS AND SOCKET CLAMPS USED FOR TIE RODS
F.	LINK-SEAL TYPE WALL PENETRATION SEAL MODEL -LS- MODULAR MECHANICAL SYNTHETIC RUBBER SEAL



NOTES:

1. THE PIPE TO WALL PENETRATION CLOSURE SHALL BE "LINK-SEAL". SEALS SHALL BE MODULAR MECHANICAL TYPE, CONSISTING OF INTERLOCKING SYNTHETIC RUBBER LINK SHAPED TO CONTINUOUSLY FILL THE ANNULAR SPACE BETWEEN PIPE AND WALL OPENING. EACH LINK SHALL BE PROVIDED WITH PRESSURE PLATE UNDER EACH BOLT HEAD AND NUT. TIGHTENING OF BOLTS SHALL CAUSE THE RUBBER SEALING ELEMENTS TO EXPAND AND PROVIDE AN ABSOLUTELY WATERTIGHT SEAL BETWEEN PIPE AND WALL OPENING.

PIPE PENETRATION THROUGH EXTERIOR WALL
NTS



NOTES:

- COORDINATE BURIED SANITARY LINES WITH STRUCTURAL FOOTINGS.
- PIPING SHOWN FOR SCHEMATIC AND SCOPE OF WORK PURPOSES IN GENERAL LOCATION OF USE, COORDINATE EXACT ROUTING ON SITE AND WITH BEST PRACTICES.
- COORDINATE ALL HOLES THROUGH SLAB AND MASONRY WALLS WITH GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
- ALL HORIZONTAL SANITARY LINES EQUAL TO OR LESS THAN 3" TO BE RUN AT MINIMUM 2% SLOPE.
- RUN ALL DOMESTIC AND SANITARY PIPING TIGHT TO UNDERSIDE OF SLAB.
- PROVIDE ACCESS PANELS FOR ALL GROUND FLOOR SANITARY CLEAN OUTS WHERE SHOWN AND WHERE REQUIRED.
- ALL DOMESTIC PIPING INCLUDING PEX PIPING BOTH EXPOSED AND CONCEALED IS TO BE INSULATED. NO EXCEPTIONS.
- COORDINATE SHARED SPACES WITH GAS PIPING, SPRINKLER PIPING AND HVAC DUCTWORK.
- DOMESTIC COLD MAIN TO BE COPPER UP TO SUITE SHUT OFF. PEX TO BE USED WITHIN SUITES.
- PROVIDE CLEAN OUT AT THE BOTTOM OF EACH SANITARY/STORM STACK PRIOR TO UNDERGROUND.
- COORDINATE ACCESS DOORS/PANELS FOR ISOLATION VALVES AND CLEANOUTS WITH GENERAL CONTRACTOR.
- CONTRACTOR TO SUPPLY VENTING DRAWING TO ENGINEER FOR APPROVAL BASED ON PROPOSED VENT LENGTHS AND BEST ROUTING BASED ON SITE CONDITIONS AND COORDINATION WITH OTHER TRADES. FINAL VENTING LAYOUT AND ROUTING TO BE RESPONSIBILITY OF CONTRACTOR.

PLUMBING LEGEND

---	DOMESTIC COLD WATER (DCW)
---	DOMESTIC HOT WATER (DHW)
---	UNBURIED SANITARY DRAINAGE (US)
---	BURIED SANITARY DRAINAGE (S)
---	UNBURIED STORM DRAINAGE (UST)
---	BURIED STORM DRAINAGE (ST)
○	PIPE UP, BRANCH DROPPING FROM TEE, PIPE DOWN
-	PIPE BREAK/CONTINUATION
⊠	FLOOR (F), ROOF (R), HUB (H), FUNNEL (FF), AREA (A) DRAIN
⊠	BALL VALVE
⊠	CHECK VALVE
⊠	GLOBE VALVE
⊠	PRESSURE REDUCING VALVE (PRV)
⊠	REDUCER
⊠	STRAINER
⊠	UNION
⊠	PRESSURE GAUGE WITH PETCOCK
---	CLEAN OUT - EXPOSED
---	CLEAN OUT - IN FLOOR
○	SANITARY TRAP
⊠	EQUIPMENT/FIXTURE TAG

NOTE:
DUE TO POTENTIAL DEPTH OF SANITARY MAINS, THERE MAY BE CONFLICTS WITH FOOTINGS AND FOUNDATIONS. CONTRACTOR TO COORDINATE DISTRIBUTION WITH GENERAL CONTRACTOR IN ADVANCE OF SERVICING TO COORDINATE.

NOTE:
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NOTE:
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3	ISSUED FOR TENDER	06/03	G.O.	G.V.W.O.
2	RE-ISSUED FOR PERMIT	05/17	G.O.	G.V.W.O.
1	ISSUED FOR PERMIT	03/11	G.O.	G.V.W.O.
NO.	REVISION	DATE	BY	APPROVED

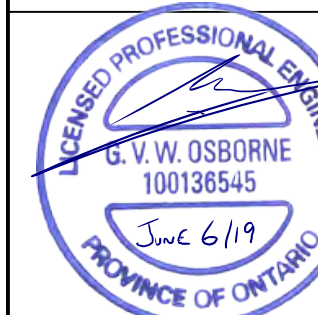
165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

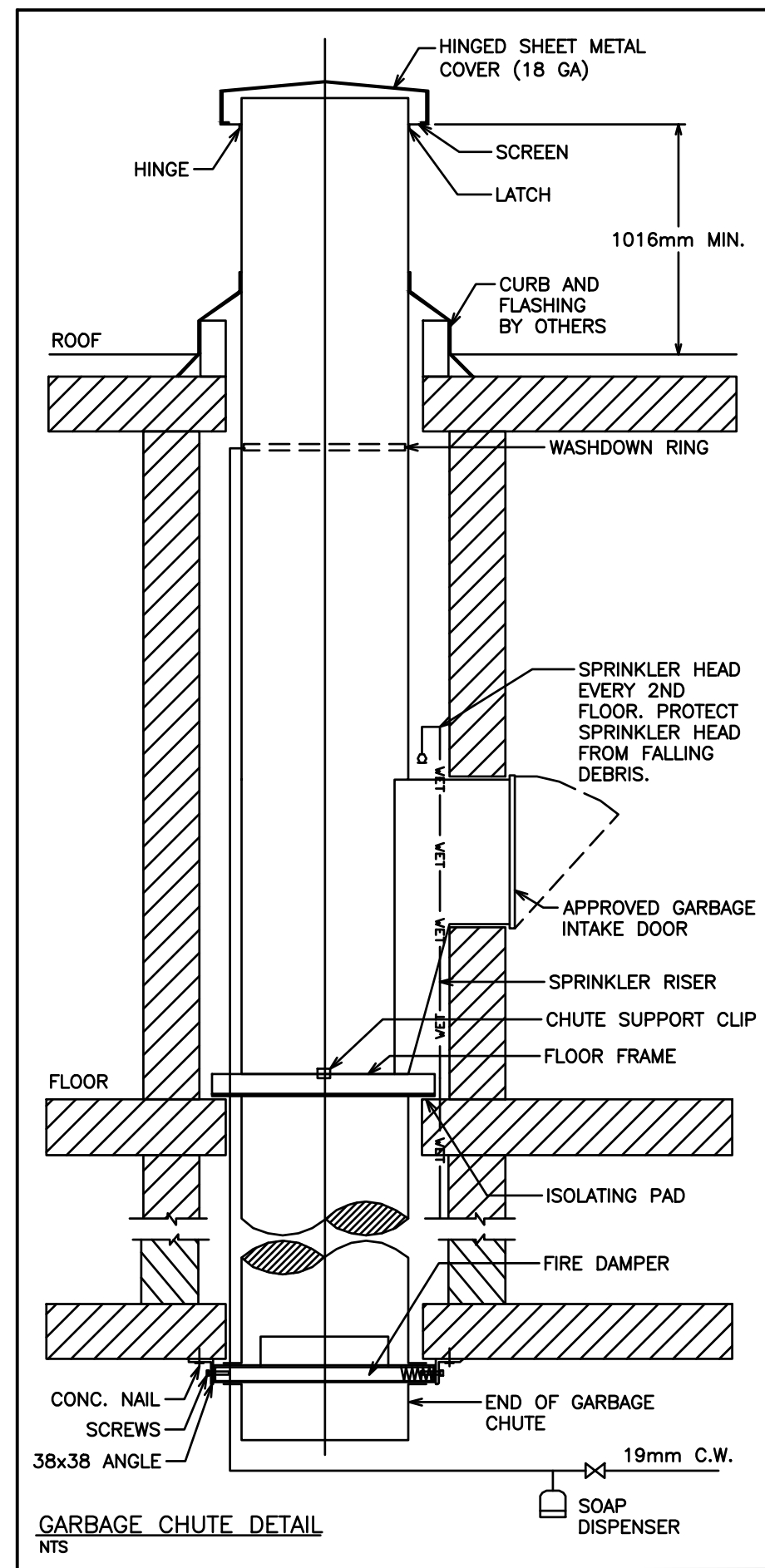
**MECHANICAL PLUMBING
FOUNDATION LAYOUT**

D.G. Biddle & Associates Limited
consulting engineers and planners

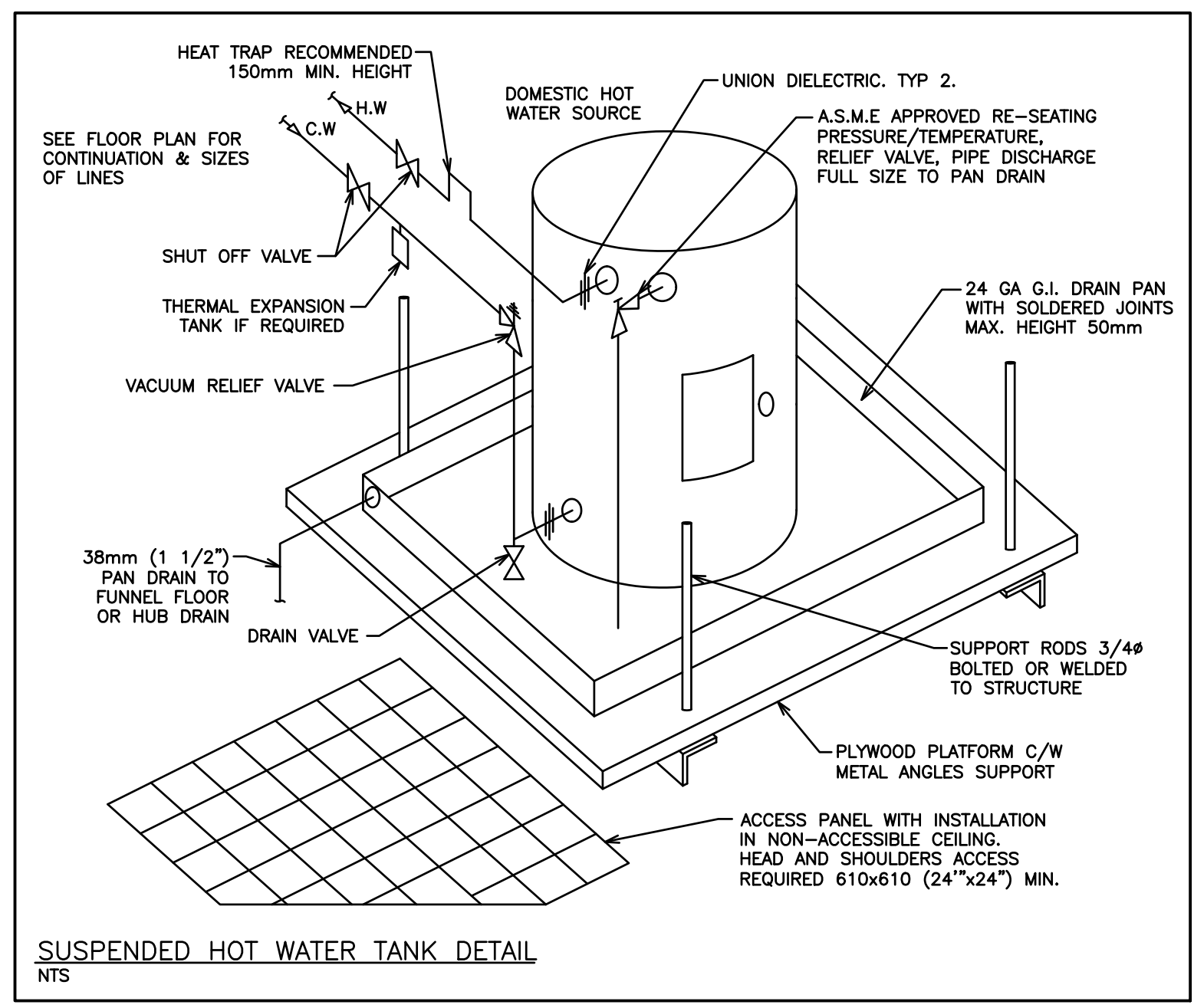
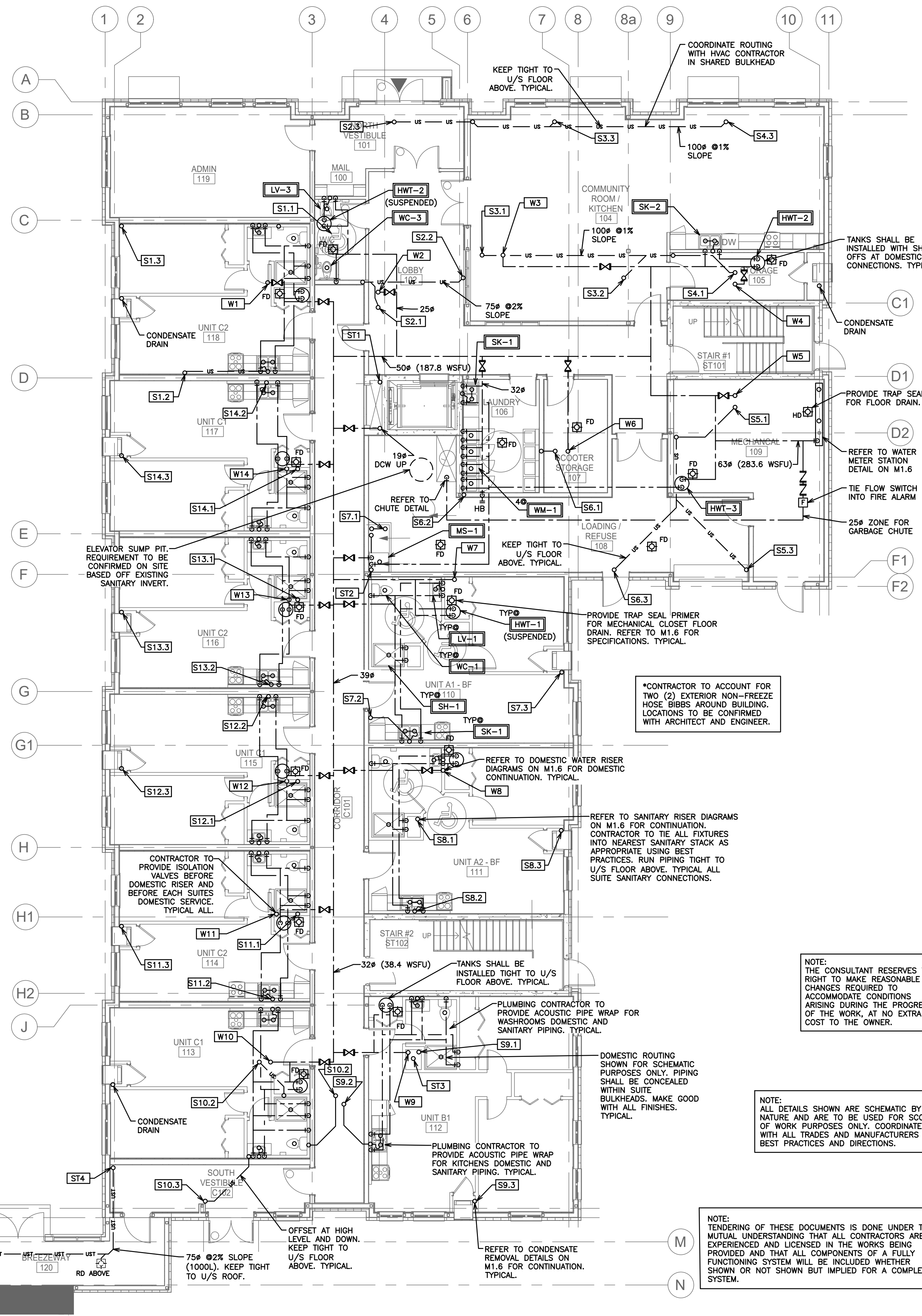
96 KING STREET EAST • OSHTAWA, ON L1H 1B6
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SCALE: 1:100	PROJECT NO. 118129
DRAWN BY: K.J.K	DRAWING NO. M1.1
DESIGN BY: B.C.A	CAD FILE: 118129 M1
CHECKED BY: G.V.W.O	PLOT DATE: 06/03/19
DATE: JUNE 2019	SUBMISSION: TENDER

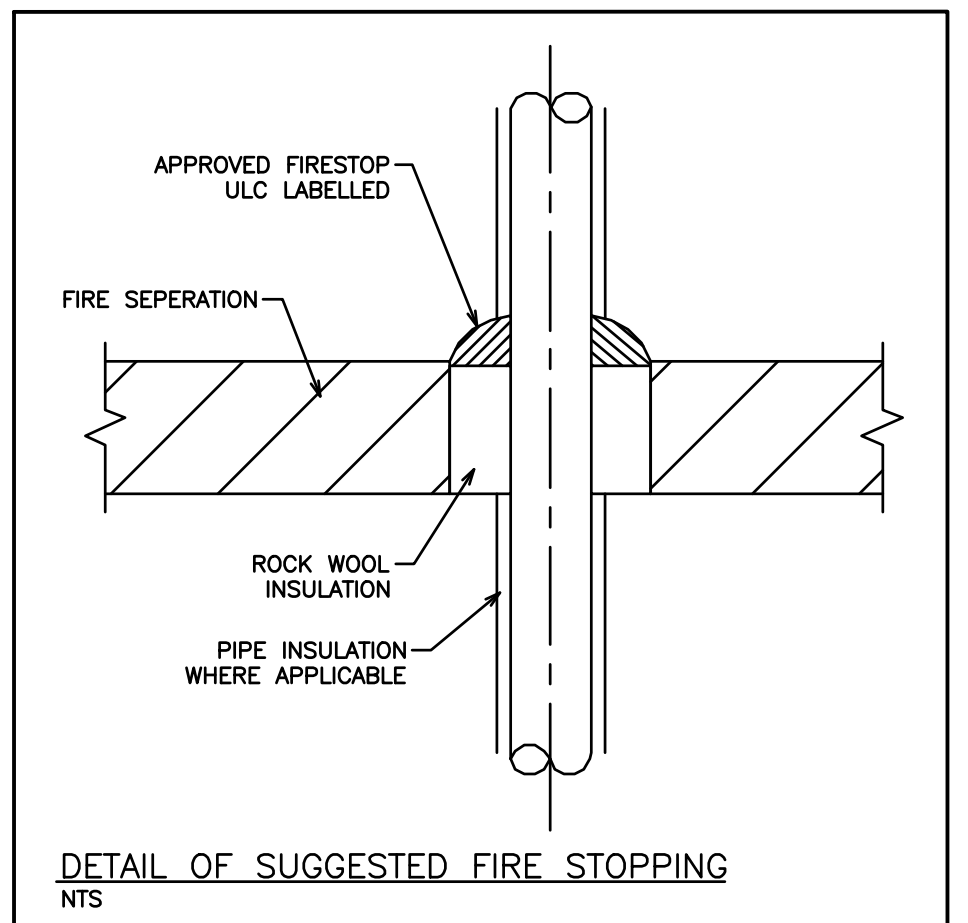




- PLUMBING NOTES**
- GENERAL
 - FOR CONTINUATION OF SITE SERVICES REFER TO SITE SERVICE DRAWING BY OTHERS. CO-ORDINATE EXACT LOCATION AND INVERTS OF SERVICES.
 - PROVIDE CLEANOUTS AND TRAP PRIMING FOR SANITARY AS REQUIRED BY O.B.C. AND LOCAL AUTHORITIES. CLEANOUT SIZE TO BE SAME AS SANITARY LINES.
 - PROVIDE COMPLETE PLUMBING VENT SYSTEM AS REQUIRED BY O.B.C. AND LOCAL AUTHORITIES, INCLUDING MIN. 3" VENT AT UPSTREAM END(S) OF SANITARY BUILDING DRAIN.
 - ISOLATION VALVES TO BE PROVIDED AT ALL FIXTURES AND HOT WATER TANK.
 - PIPE INSULATION TO BE MIN. 1" FOR ALL NEW AND/OR EFFECTED DOMESTIC PIPING. IN EXPOSED AREAS PROVIDE CANVAS WRAP OVER INSULATION.
 - MATERIALS
 - ALL PVC OR ABS TYPE PIPING TO BE USED ABOVE GROUND SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS AND SHALL BE CONFIRMED TO BE ACCEPTABLE BY THE AUTHORITY HAVING JURISDICTION. IF ACCEPTABLE AND USED, IT SHALL BE PROVIDED WITH U.L.C. LISTED AND APPROVED FIRE STOP DEVICE AT ALL PENETRATIONS OF ANY FIRE SEPARATION. ALL ABOVE GROUND DOMESTIC PIPING SHALL BE TYPE "L" COPPER OR PEX.
 - ALL BURIED DOMESTIC PIPING SHALL BE TYPE "K" COPPER.
 - ALL ABOVE GROUND DRAINAGE PIPING SHALL BE CAST IRON "M" PIPE.
 - ALL BURIED DRAINAGE PIPING SHALL BE DR26 PVC WITH CLASS P BEDDING.



- NOTES:**
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--- ST ---	BURIED STORM DRAINAGE (ST)
○ --- ○ --- ○	PIPE UP, BRANCH DROPPING FROM TEE, PIPE DOWN
~	PIPE BREAK/CONTINUATION
⊗	FLOOR (F), ROOF (R), HUB (H), FUNNEL (FF), AREA (A) DRAIN
⊘	BALL VALVE
∩	CHECK VALVE
⊘	GLOBE VALVE
⊘	PRESSURE REDUCING VALVE (PRV)
∩	REDUCER
∩	STRAINER
∩	UNION
⊘	PRESSURE GAUGE WITH PETCOCK
--- ---	CLEAN OUT - EXPOSED
--- ---	CLEAN OUT - IN FLOOR
⊘	SANITARY TRAP
WC-1	EQUIPMENT/FIXTURE TAG

NO.	REVISION	DATE	BY	APPROVED
3	ISSUED FOR TENDER	06/03	G.O.	G.V.W.O.
2	RE-ISSUED FOR PERMIT	05/17	G.O.	G.V.W.O.
1	ISSUED FOR PERMIT	03/11	G.O.	G.V.W.O.

165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

MECHANICAL PLUMBING GROUND FLOOR

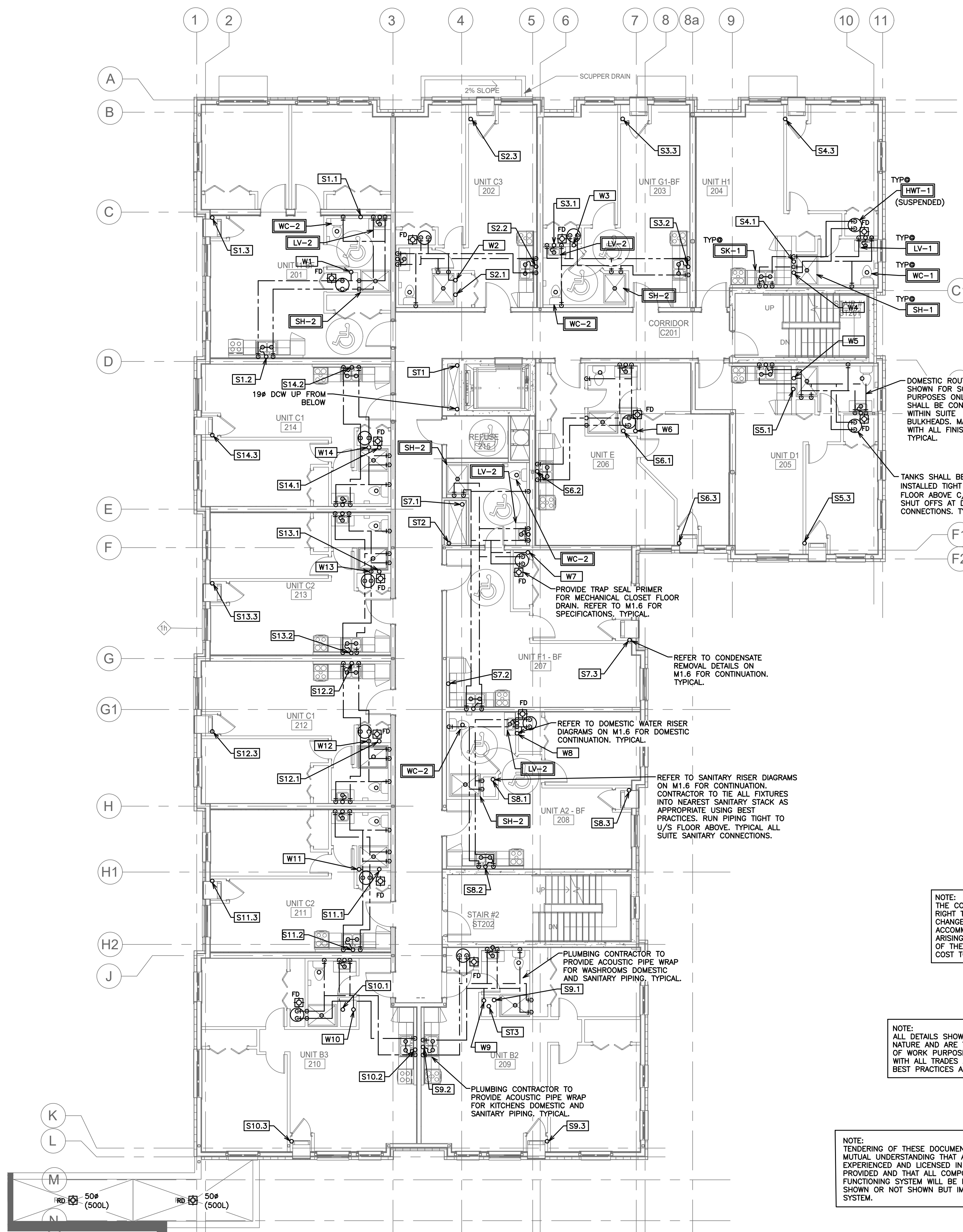
D.G. Biddle & Associates Limited
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INFO@DGBIDDLE.COM

SCALE: 1:100 PROJECT NO: 118129
DRAWN BY: K.J.K. DRAWING NO: M1.2
DESIGN BY: B.C.A.
CHECKED BY: G.V.W.O. CAD FILE: 118129 M1
DATE: JUNE 2019 PLOT DATE: 06/03/19
SUBMISSION: TENDER

NOTE: THE CONSULTANT RESERVES THE RIGHT TO MAKE REASONABLE CHANGES REQUIRED TO ACCOMMODATE CONDITIONS ARISING DURING THE PROGRESS OF THE WORK, AT NO EXTRA COST TO THE OWNER.

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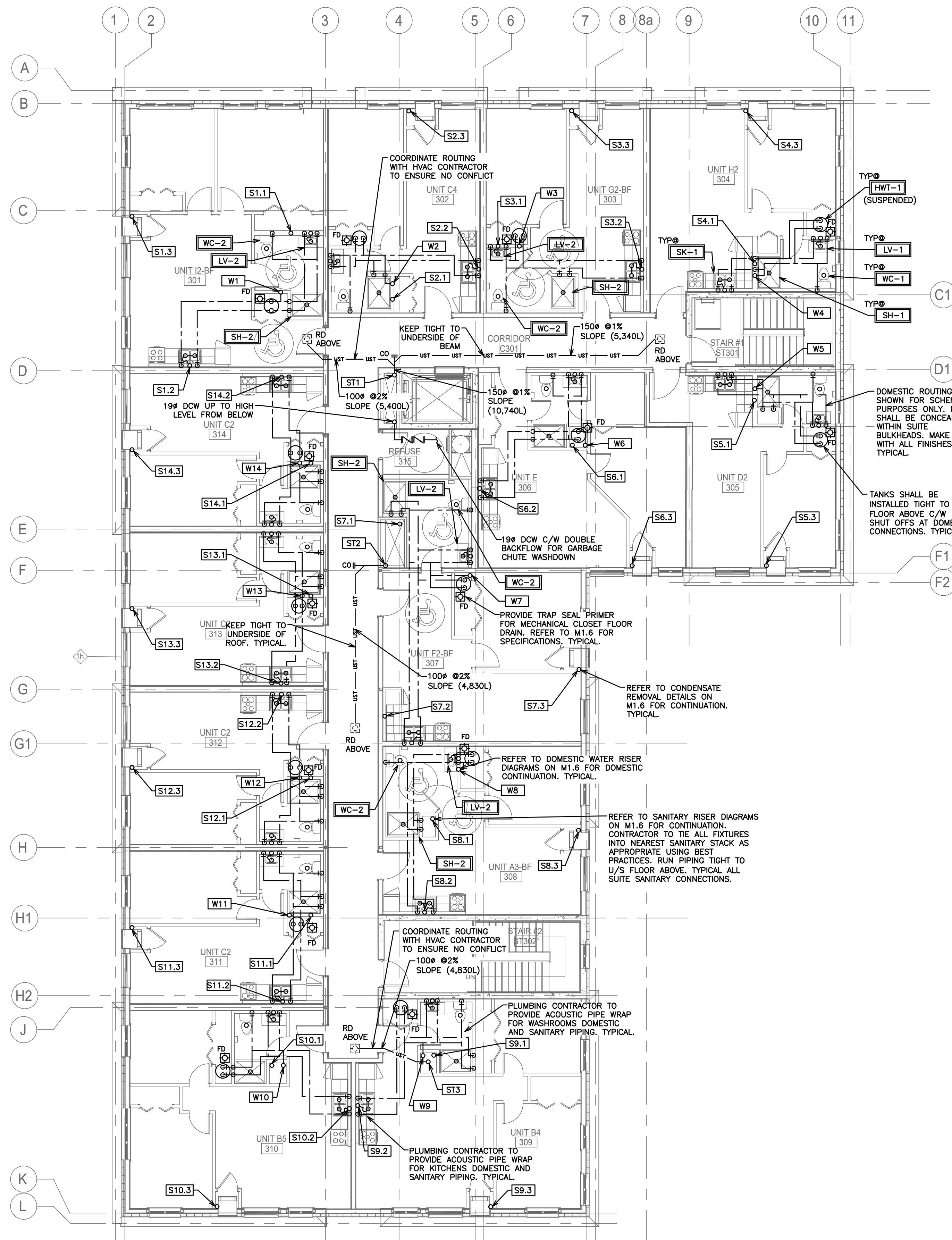
NO.	REVISION	DATE	BY	APPROVED
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1	ISSUED FOR PERMIT	03/11	G.O.	G.V.W.O.

165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

MECHANICAL PLUMBING SECOND FLOOR

D.G. Biddle & Associates Limited
consulting engineers and planners
96 KING STREET EAST • OSHTAWA, ON L1H 1B6
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	SCALE:	1:100	PROJECT NO.	118129
	DRAWN BY:	K.J.K	DRAWING NO.	M1.3
	DESIGN BY:	B.C.A	CAD FILE:	118129 M1
	CHECKED BY:	G.V.W.O	PLOT DATE:	06/03/19
DATE:	JUNE 2019	SUBMISSION:	TENDER	



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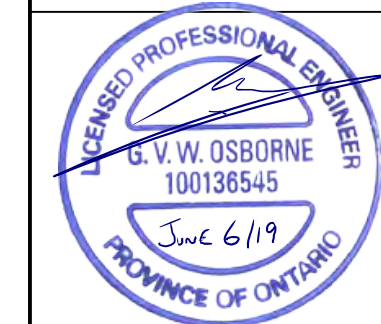
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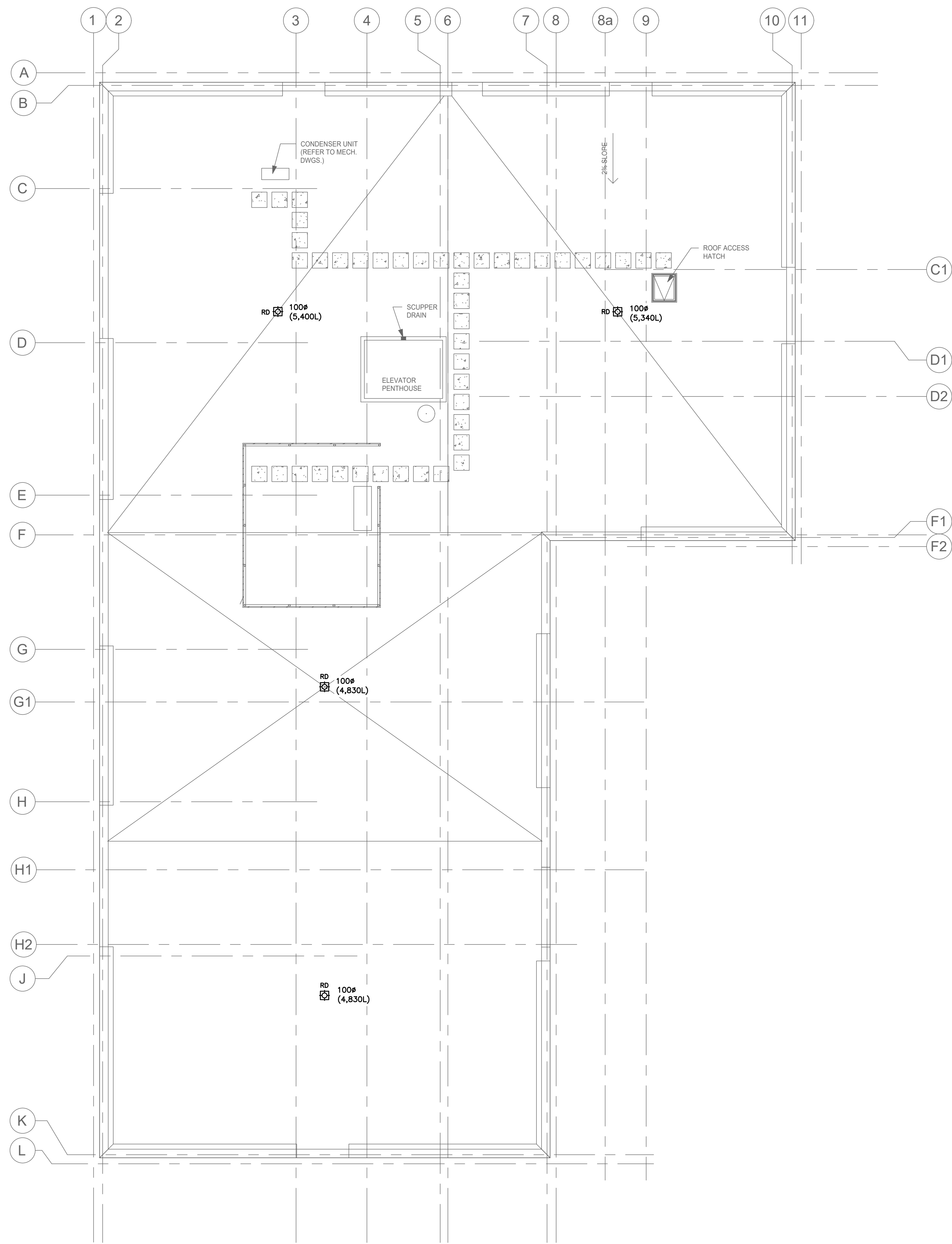
NO.	REVISION	DATE	BY	APPROVED
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1	ISSUED FOR PERMIT	03/11	G.O.	G.V.W.O.

165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION
MECHANICAL PLUMBING
THIRD FLOOR

D.G. Biddle & Associates Limited
consulting engineers and planners
96 KING STREET EAST • OSHAWA, ON L1H 1B6
PHONE (905) 578-8500 • FAX (905) 578-9730
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SCALE: 1:100	PROJECT NO. 118129
DRAWN BY: K.J.K	DRAWING NO. M1.4
DESIGN BY: B.C.A	CAD FILE: 118129 M1
CHECKED BY: G.V.W.O	PLOT DATE: 06/03/19
DATE: JUNE 2019	SUBMISSION: TENDER





PLUMBING LEGEND	
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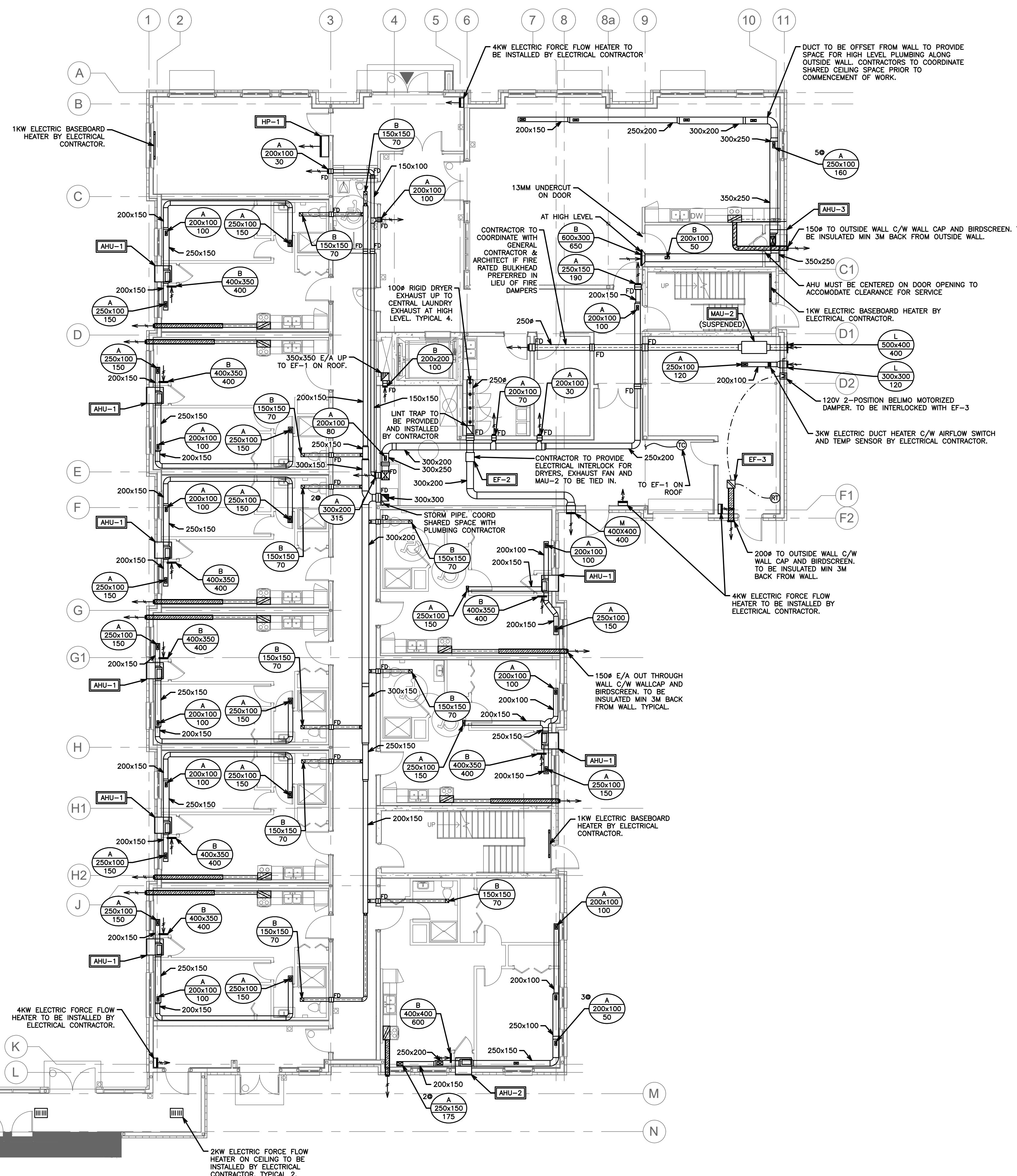
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165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION
MECHANICAL PLUMBING
ROOF

D.G. Biddle & Associates Limited
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	SCALE:	1:100	PROJECT NO.	118129
	DRAWN BY:	K.J.K	DRAWING NO.	M1.5
	DESIGN BY:	B.C.A	CAD FILE:	118129 M1
	CHECKED BY:	G.V.W.O	PLOT DATE:	06/03/19
	DATE:	JUNE 2019	SUBMISSION:	TENDER



NOTE:
THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND EXISTING BUILDING AND SERVICES AFFECTING THE PROPER EXECUTION OF THE WORK, AND OBTAIN A CLEAR AND COMPREHENSIVE KNOWLEDGE OF THE EXISTING CONDITIONS. NO CLAIM FOR EXTRA PAYMENT WILL BE ALLOWED FOR WORK OR DIFFICULTIES ENCOUNTERED DUE TO CONDITIONS OF THE SITE WHICH WERE VISIBLE OR REASONABLY INFERRABLE, PRIOR TO THE DATE OF SUBMISSION OF BID. BIDDERS SHALL ACCEPT SOLE RESPONSIBILITY FOR ANY ERROR OR NEGLECT ON THEIR PART IN THIS RESPECT.

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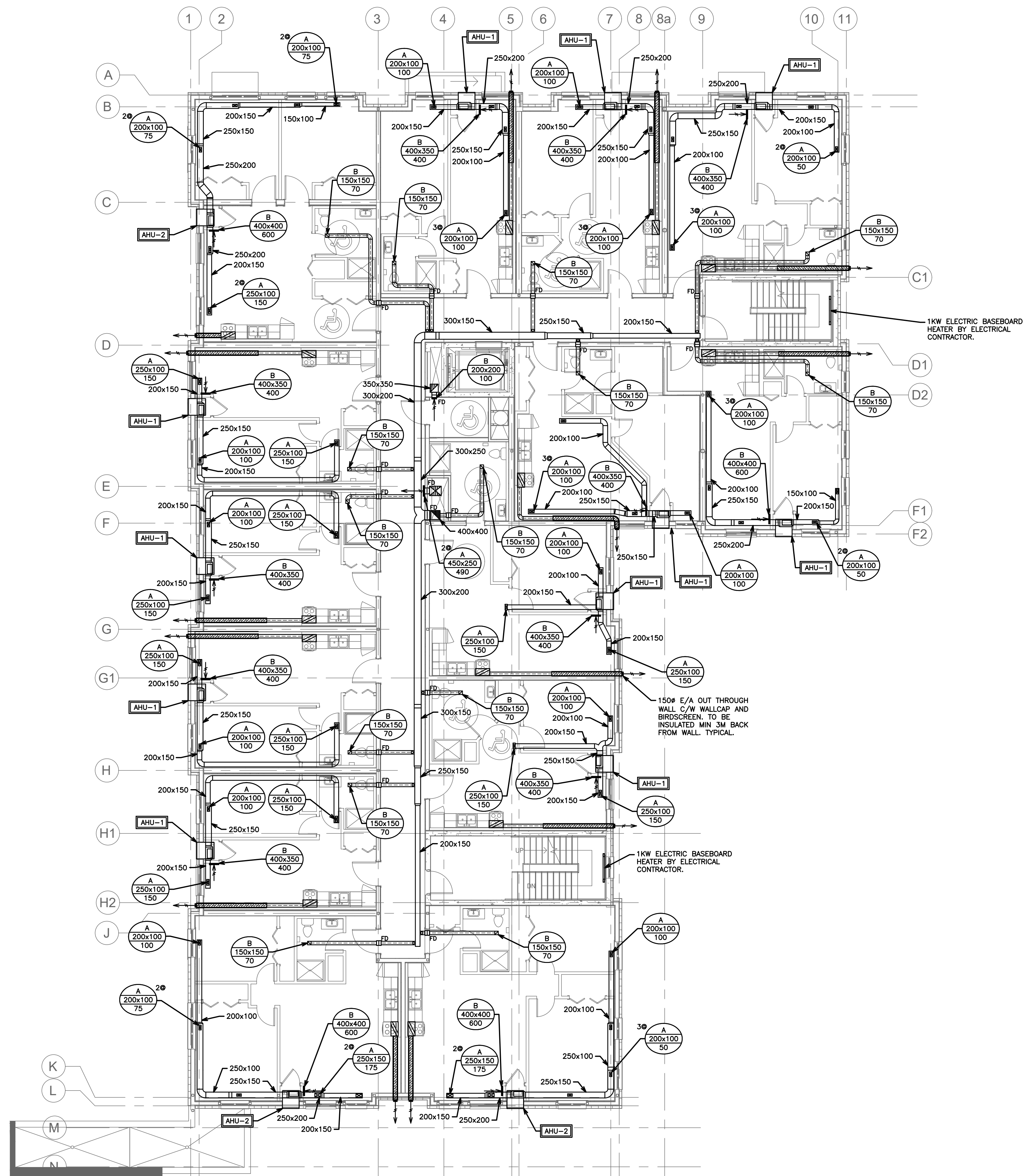
HVAC LEGEND	
	SUPPLY, RETURN AIR DUCT UP (RECT)
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	SUPPLY, RETURN AIR DUCT UP (ROUND)
	SUPPLY, RETURN AIR DUCT DOWN (ROUND)
	SUPPLY, RETURN, EXHAUST AIR GRILLE
	SIDE WALL GRILLE
	A- GRILLE/DIFFUSER TYPE B- DIFFUSER NECK SIZE/GRILLE SIZE C- AIR QUANTITY (CFM)
	SENSOR AND ASSOCIATED CONTROL WIRING
	EQUIPMENT/FIXTURE TAG
	BALANCE DAMPER
	DIRECTION OF AIR FLOW
	THERMOSTAT EQUAL TO HONEYWELL TBB220U: 7-DAY PROGRAMMABLE C/W AUTO CHANGEOVER
	TIME CLOCK
	REVERSE ACTING THERMOSTAT
	FIRE DAMPER

NO.	REVISION	DATE	BY	APPROVED
3	ISSUED FOR TENDER	06/04	G.O	G.V.W.O
2	RE-ISSUED FOR PERMIT	05/17	G.O	G.V.W.O
1	ISSUED FOR PERMIT	03/11	G.O	G.V.W.O

165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION
MECHANICAL HVAC
GROUND FLOOR

D.G. Biddle & Associates Limited
consulting engineers and planners
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	SCALE: 1:100	PROJECT NO. 118129
	DRAWN BY: J.T.C	DRAWING NO. M2.1
	DESIGN BY: J.T.C/G.V.W.O	CAD FILE: 118129 M2
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	DATE: JUNE 2019	SUBMISSION: TENDER



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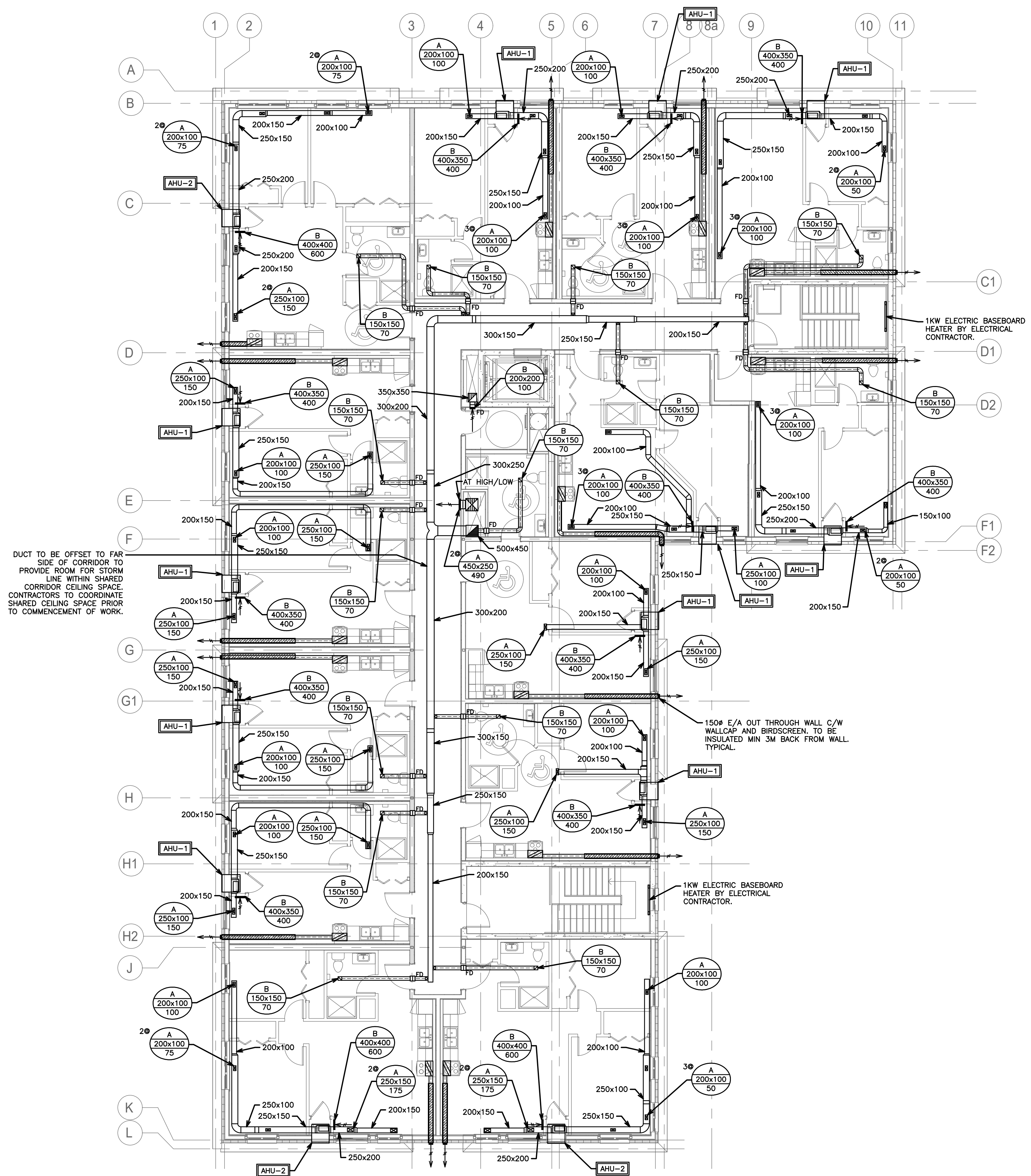
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PARKVIEW SENIORS EXPANSION

**MECHANICAL HVAC
SECOND FLOOR**

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	SCALE:	1:100	PROJECT NO.	118129
	DRAWN BY:	J.T.C	DRAWING NO.	M2.2
	DESIGN BY:	J.T.C/G.V.W.O	CAD FILE:	118129 M2
	CHECKED BY:	G.V.W.O	PLOT DATE:	06/04/19
	DATE:	JUNE 2019	SUBMISSION:	TENDER



DUCT TO BE OFFSET TO FAR SIDE OF CORRIDOR TO PROVIDE ROOM FOR STORM LINE WITHIN SHARED CORRIDOR CEILING SPACE. CONTRACTORS TO COORDINATE SHARED CEILING SPACE PRIOR TO COMMENCEMENT OF WORK.

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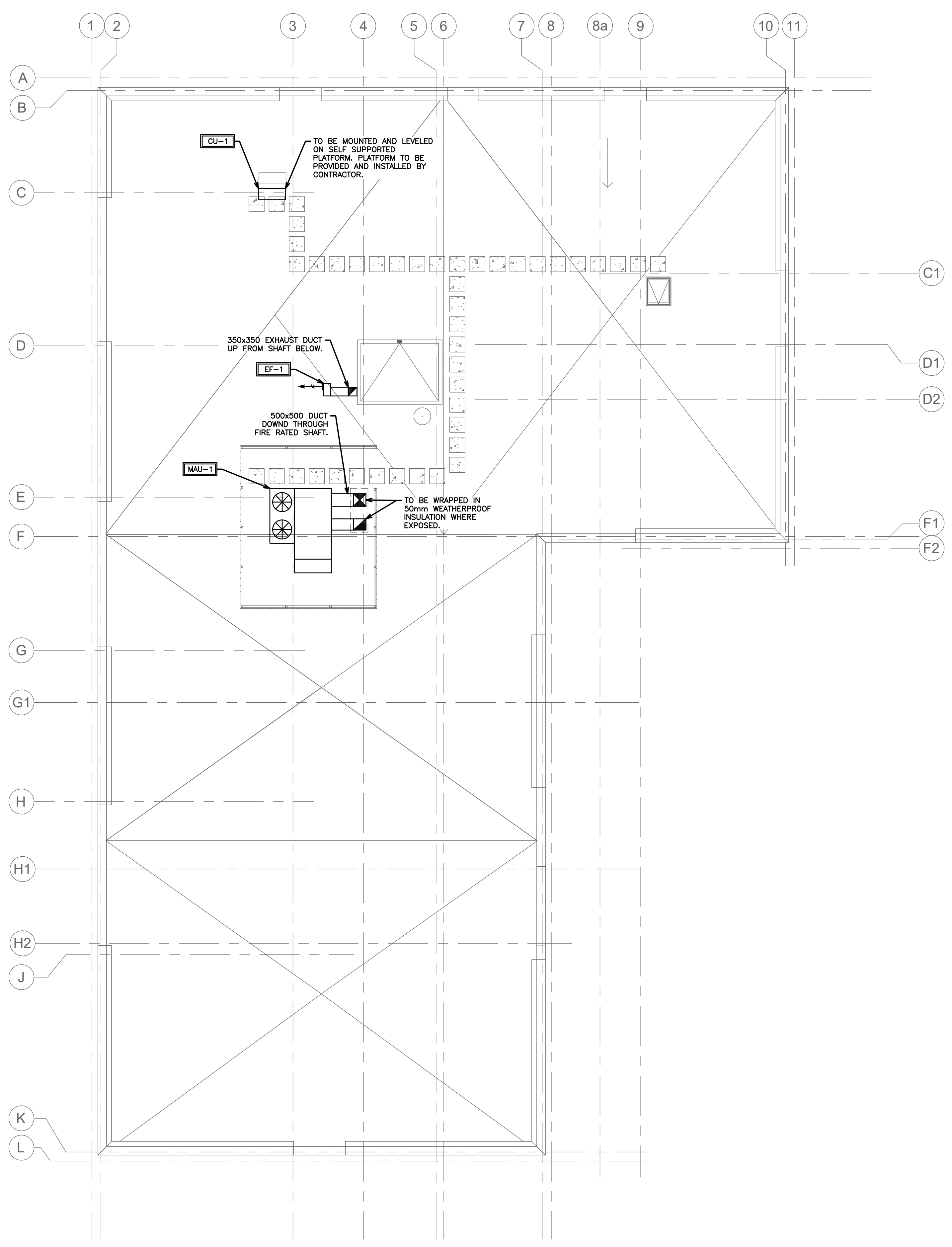
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MECHANICAL HVAC
THIRD FLOOR

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	SCALE: 1:100	PROJECT NO. 118129
	DRAWN BY: J.T.C	DRAWING NO. M2.3
	DESIGN BY: J.T.C/G.V.W.O	CAD FILE: 118129 M2
	CHECKED BY: G.V.W.O	PLOT DATE: 06/04/19
	DATE: JUNE 2019	SUBMISSION: TENDER



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MECHANICAL HVAC ROOF PLAN

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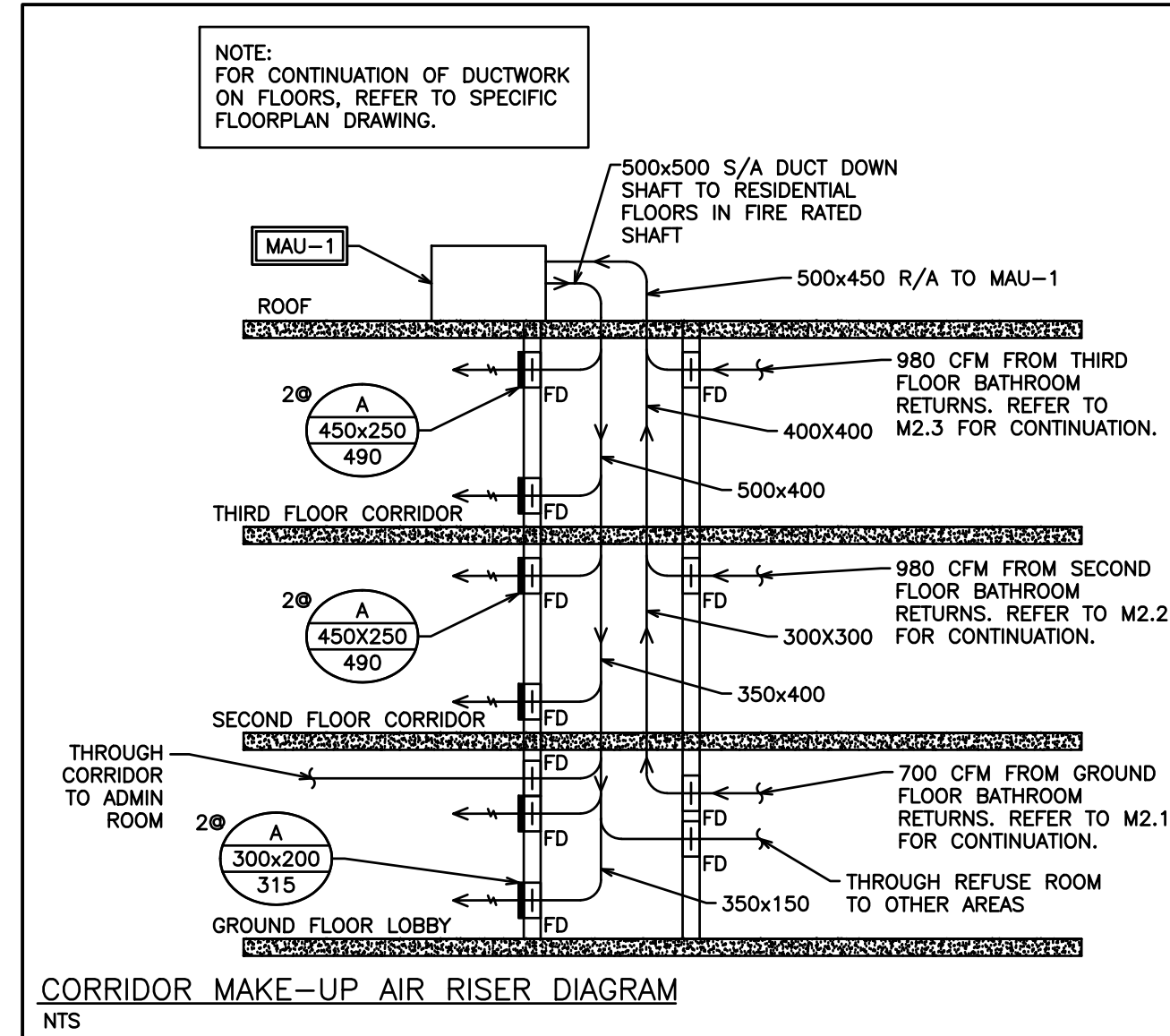
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PROFESSIONAL ENGINEER
G. V. W. OSBORNE
100138545
June 6/19
PROVINCE OF ONTARIO

SCALE: 1:100 PROJECT NO. 118129
DRAWN BY: J.T.C. DRAWING NO. M2.4
DESIGN BY: J.T.C./G.V.W.O.
CHECKED BY: G.V.W.O. CAD FILE: 118129 M2
DATE: JUNE 2019 PLOT DATE: 06/04/19
SUBMISSION: TENDER

HVAC NOTES

- GENERAL
 - COORDINATE EXACT LOCATION OF GRILLES AND DIFFUSERS WITH REFLECTED CEILING PLAN OR LIGHTING PLAN IF AVAILABLE. LIGHTING LOCATIONS TAKE PRIORITY.
 - CONFIRM EXACT LOCATION OF THERMOSTATS/SENSORS WITH OWNER. MOUNT THERMOSTATS/SENSORS AT 4' ABOVE FINISHED FLOOR. ENSURE THERMOSTAT/SENSOR LOCATIONS WILL NOT BE AFFECTED BY DIRECT SUNLIGHT, COLD WALLS OR MILLWORK.
 - PROVIDE 4" FLEXIBLE CONNECTIONS AT ALL DUCT CONNECTIONS TO AIR HANDLING UNITS.
 - PROVIDE ACOUSTIC INSULATION IN FIRST 5' OF SUPPLY AND RETURN AIR DUCTS OFF AIR HANDLING UNITS AND AS INDICATED ON DRAWINGS.
 - PROVIDE EXTERNAL INSULATION ON ALL SUPPLY AIR DUCTS AND ON ALL EXHAUST DUCTS WITHIN 10' OF OUTSIDE WALLS AND ROOF.
 - BRANCH DUCTWORK TO DIFFUSERS TO BE SAME SIZE AS DIFFUSER NECK.
 - PROVIDE TURNING VANES IN ALL SQUARE ELBOWS FOR SUPPLY AIR DUCTS.
 - FLEXIBLE DUCT SHALL BE MAXIMUM 10' IN LENGTH AND SHALL BE SECURELY FASTENED TO DUCTS AND DIFFUSERS. PROVIDE HANGERS AND FLEXIBLE DUCTWORK WITHOUT SHARP 90'S, SAGGING, OR CRUSHING OF DUCT.
 - PROVIDE TRAP AT OUTLET OF DRAIN FOR ROOFTOP HVAC EQUIPMENT
 - PROVIDE FIRE STOPPING AROUND OPENINGS THROUGH FIRE SEPARATIONS.
- FIRE DAMPERS
 - PROVIDE FIRE DAMPERS AT ALL FIRE SEPARATIONS. FIRE DAMPERS SHALL BE C/W LINKAGE OUT OF THE AIR STREAM. FIRE DAMPER RATING TO MATCH THE RATING OF THE SEPARATION CROSSED. INSTALLATION MUST CONFORM TO LATEST NFPA/CSA 90A SPECIFICATIONS. ONLY USE UL APPROVED EQUIPMENT. PROVIDE DUCT ACCESS DOORS AND BREAK AWAY FLANGES FOR ALL FIRE DAMPERS IN CONFORMANCE WITH CODE AND INSTALLATION INSTRUCTIONS.
- TESTS AND BALANCING
 - BALANCING DAMPERS SHALL BE INSTALLED AT ALL TAKE-OFFS FROM BRANCH DUCTS, AND ALL BRANCH DUCT CONNECTIONS TO MAIN DUCTS. BALANCING DAMPERS SHALL BE MANUALLY OPERATED OPPOSED BLADE TYPE, SPLITTER TYPE OR BUTTERFLY TYPE. COMPLETE WITH LOCKING QUADRANT OPERATOR.
 - AIR TEST AND BALANCE SHALL BE PERFORMED BY AN INDEPENDENT AIR BALANCING COMPANY. THE AIR BALANCING COMPANY SHALL BE APPROVED BY THE ENGINEER.
 - SCOPE OF BALANCING WORK:
 - ALL LISTED AIR HANDLING SYSTEMS SHALL BE BALANCED TO WITHIN 5% OF THE NOTED DESIGN AIR VOLUMES AS PER PLANS AND SPECIFICATIONS.
 - THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE HVAC SYSTEM FULLY OPERATIONAL TWO WEEKS BEFORE TURNOVER TO THE OWNER. THIS WILL INCLUDE THE REQUIREMENT TO INSTALL CLEAN FILTERS IN ALL RELATED HVAC EQUIPMENT BEFORE TIME OF AIR TESTING AND TO MAKE ALL AIR SYSTEMS FULLY OPERATIONAL.
- MATERIALS
 - DUCTWORK
 - IN CONFORMANCE WITH SMACNA, ASHRAE, CBC, NFPA 90A
 - SHEET METAL SHALL BE BEST QUALITY LOCK FORMING GALVANIZED SHEET METAL. GALVANIZING SHALL BE TO ASTM A525 (990), HAVING A THICKNESS OF 0.054mm AND WEIGHING NOT LESS THAN 0.31kg/m² ON EACH SURFACE.
 - PROVIDE INSTRUMENTATION TEST PORTS IN DUCTS FOR PILOT TUBE INSERTION WITH CAM-ACTION HANDLE, MOULDED NEOPRENE GASKET AND EXPANSION PLUG, ZINC COATED STEEL CONSTRUCTION.
 - FLEXIBLE CONNECTIONS
 - PROVIDE FLEXIBLE CONNECTIONS AT AIR HANDLING UNITS WITH UL APPROVED FABRIC OF 6" MINIMUM WIDTH AND WEIGHING NOT LESS THAN 0.8136kg/m².
 - INSULATION
 - PROVIDE 1" INTERNAL ACOUSTIC INSULATION ON:
 - THE FIRST 5' OFF SUPPLY AND RETURN DUCTS OFF ALL AIR HANDLING UNITS.
 - PROVIDE 1" EXTERNAL INSULATION ON:
 - ALL INDOOR & OUTDOOR REFRIGERATION PIPING
 - ALL SUPPLY AIR DUCTS WHICH ARE NOT LOCATED IN A RETURN AIR PLENUM.
 - EXHAUST DUCTS THROUGH ATTICS AND 10' BACK FROM WALL
 - PROVIDE 2" EXTERNAL INSULATION ON:
 - ALL SUPPLY AND RETURN AIR DUCTS THROUGH ATTICS OR UN-INSULATED AREAS
- CONTROL WIRING
 - ALL CONTROL WIRING SHALL BE RUN PARALLEL TO BUILDING LINES AND TIGHT TO ROOF DECK OR WALLS.
 - ALL CONCEALED INDOOR CONTROL WIRING SHALL BE RUN IN LVT.
 - ALL EXPOSED INDOOR CONTROL WIRING IN UNFINISHED AREAS, T-BAR CEILING SPACES, ATTICS AND CRAWL SPACES SHALL BE RUN IN EMT CONDUIT WITH FINAL CONNECTION IN BX TO EQUIPMENT/COMPONENTS.
 - ALL OUTDOOR CONTROL WIRING SHALL BE RUN IN LIQUIDTIGHT.
 - FLEXIBLE CABLE MUST BE STRAPPED TO SUPPORT WITHIN 12" OF TERMINATION BOX OR EQUIPMENT.



CORRIDOR MAKE-UP AIR RISER DIAGRAM

NTS

MAKE-UP AIR UNIT SCHEDULE

TAG	MANUFACTURER	MODEL	AIR FLOW	COOLING	HEATING	MOTOR	DIMENSIONS (L x W x H)	WEIGHT	ELECTRICAL	CONTROLS	FEATURES
MAU-1	DAIKIN	DPS015A	3160 CFM	120,000 Btu/hr	(INPUT/OUTPUT) 400/320 MBH	ECM MOTOR	132.5" x 96.5" x 80"	3323 lb	208V/3PH/60	DDC SPACE SENSOR WITH SETPOINT ADJ AND TENANT OVER-COMBO DIGITAL TEMP/HUMIDITY SENSOR W/ ADJ	1,2,3,4,5,6,7,8,9,10,11,12,13
MAU-2	THERMOLEC	FER-12-10	400 CFM	N/A	10 KW	DIRECT DRIVE MOTOR	43.5" x 21" x 16"	110 lb	208V/3PH/60	ELECTRICAL INTERLOCK WITH LAUNDRY DRYER, TEMPERATURE SENSOR	14,15,16,17

FEATURES:

1. MODULATING GAS HEAT	4. PHASE FAILURE MONITOR	8. INTELLIGENT SYSTEMS CARD	12. BUILDING STATIC PRESSURE SENSOR	16. SPEED CONTROL
2. NON-FUSED DISCONNECT SWITCH	5. 24" ROOF CURB	9. ENERGY RECOVERY WHEEL	13. DISCHARGE AIR TEMPERATURE SENSOR	17. INDOOR SUSPENDED DESIGN
3. FIELD POWERED 115V GFI OUTLET	6. HUMIDITY SENSOR, DUCT MOUNTED, 0-5VDC	10. RETURN AIR TEMPERATURE SENSOR	14. WASHABLE FILTER	
	7. SS HEAT EXCHANGER	11. RETURN AIR HUMIDITY SENSOR	15. MODULATING TEMP SENSOR	

REGISTER, DIFFUSER AND GRILLE SCHEDULE

TAG	MANUFACTURER	MODEL	DESCRIPTION	FINISH/COLOUR	NOTES
A	PRICE	520D-F-S-A	LOUVERED FACE SUPPLY C/W DAMPER	TO BE DETERMINED BY ARCHITECT	SHOWN ON DRAWINGS
B	PRICE	535D-F-L-A	LOUVERED FACE RETURN	TO BE DETERMINED BY ARCHITECT	SHOWN ON DRAWINGS
L	VENTEX	2420	STORMPROOF INTAKE LOUVER	TO BE DETERMINED BY ARCHITECT	SHOWN ON DRAWINGS
M	VENTEX	2410	STORMPROOF EXHAUST LOUVER	TO BE DETERMINED BY ARCHITECT	SHOWN ON DRAWINGS

AIR HANDLING UNIT SCHEDULE

TAG	MANUFACTURER	MODEL	AIR FLOW	HEATING (INPUT/OUTPUT)	COOLING	VOLTAGE	CONTROLS	OPTIONS
AHU-1	MAGIC-PAK	HWC9N221P12	400 cfm	22/20.5 MBH	11,800 BTU/h	208V	7 DAY PROGRAMMABLE THERMOSTAT	WALL SLEEVE, DECORATIVE CUSTOM PAINTED LOUVER
AHU-2	MAGIC-PAK	HWC9N331P18	600 cfm	33/31 MBH	17,000 BTU/h	208V	7 DAY PROGRAMMABLE THERMOSTAT	WALL SLEEVE, DECORATIVE CUSTOM PAINTED LOUVER
AHU-3	MAGIC-PAK	HWC9N331P24	800 cfm	33/31 MBH	22,000 BTU/h	208V	7 DAY PROGRAMMABLE THERMOSTAT	WALL SLEEVE, DECORATIVE CUSTOM PAINTED LOUVER

HEAT PUMP SCHEDULE

TAG	MANUFACTURER	MODEL	AIR FLOW	HEATING	COOLING	ELECTRICAL	CONDENSOR	NOTES AND FEATURES
HP-1	MITSUBISHI	MSZ-FH09NA	167-304 cfm	10900 BTU/h	9000 BTU/h	208V/1P 15A	SEE CU-1	VARIABLE SPEED COMPRESSOR, ULTRA LOW AMBIENT TEMP CONDENSOR

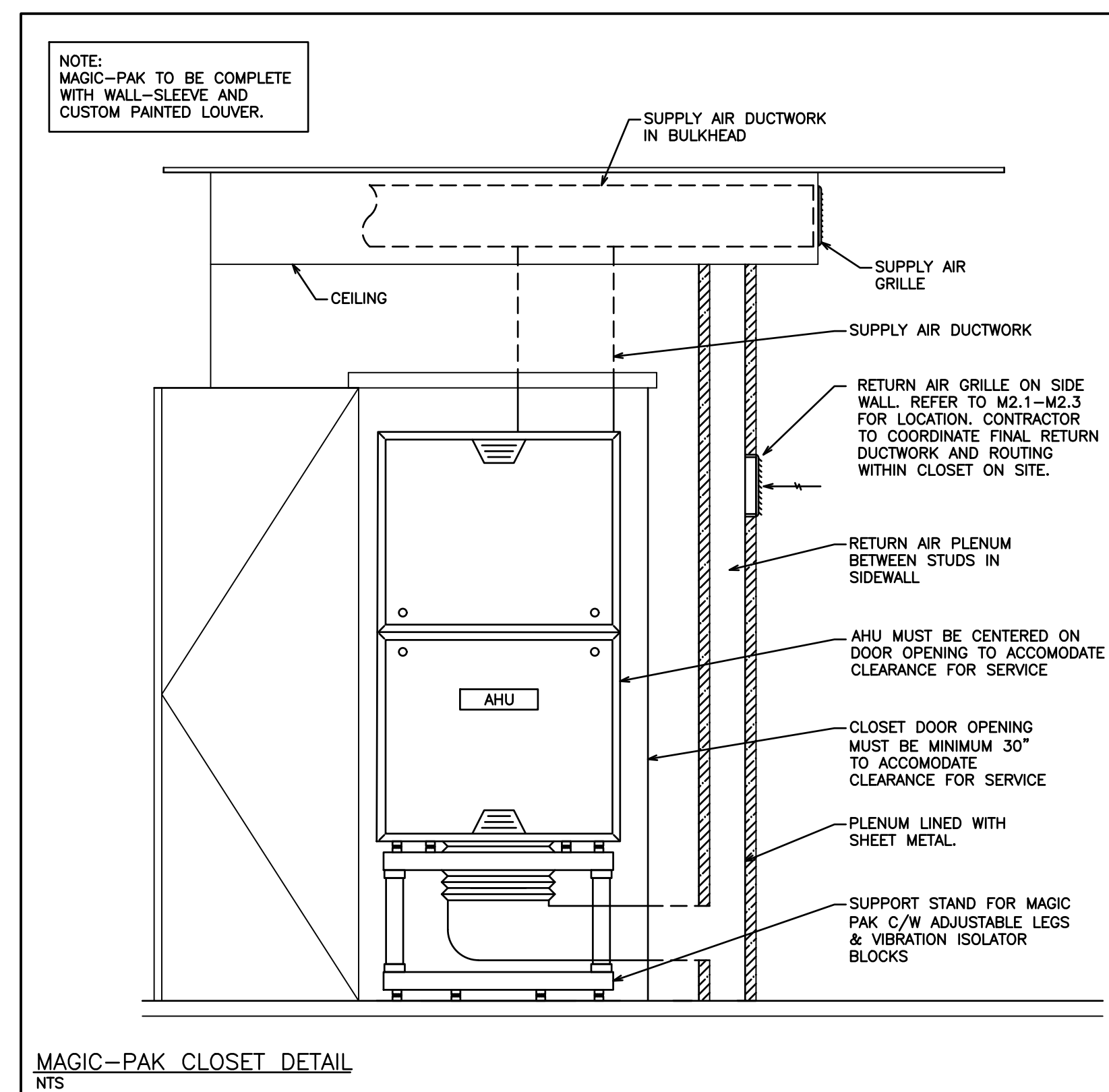
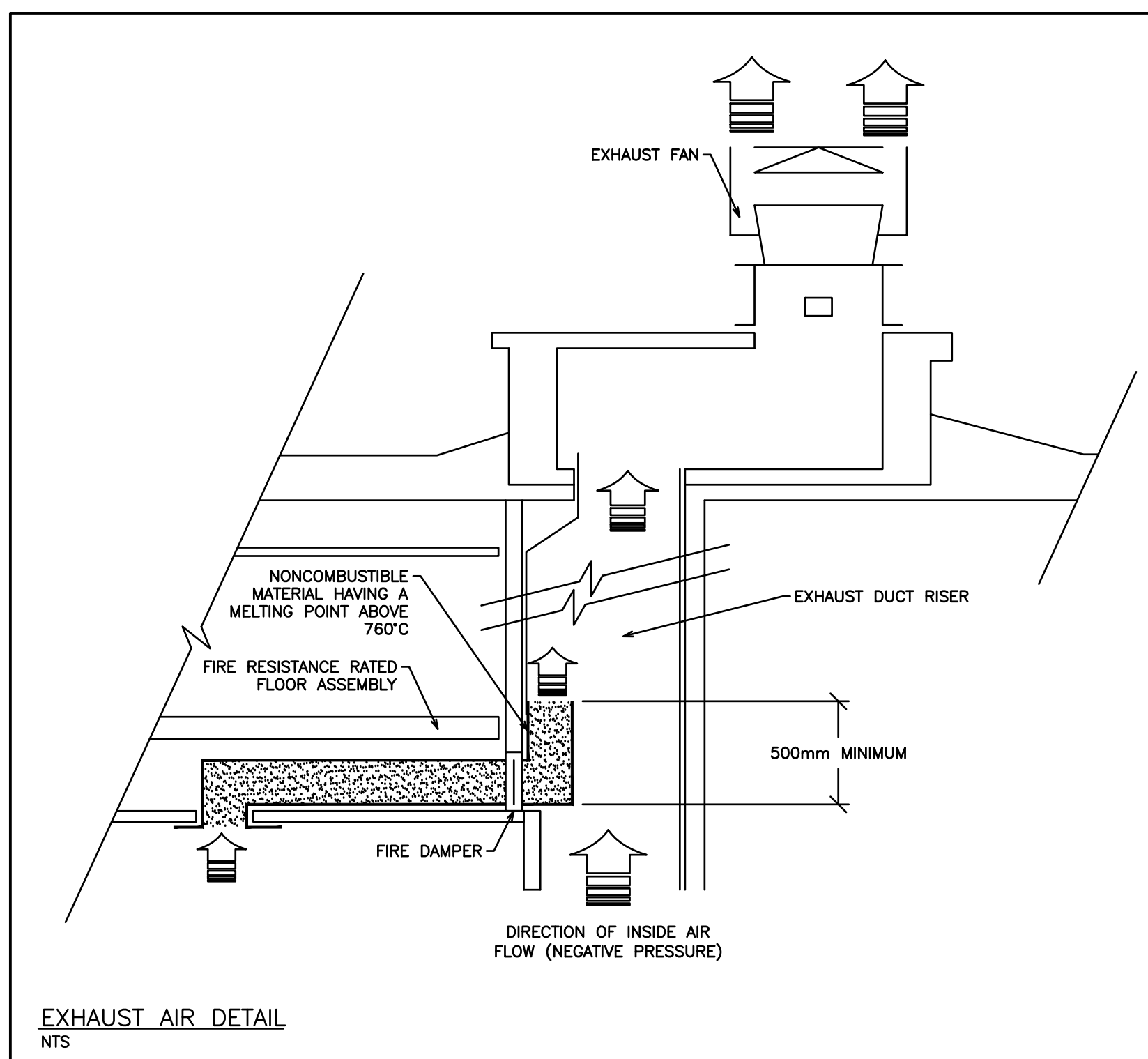
CONDENSING UNIT SCHEDULE

TAG	MANUFACTURER	MODEL	HEATING	HEATING (-13°F)	COOLING	ELECTRICAL	WEIGHT	NOTES
CU-1	MITSUBISHI	MUZ-FH09NA	1600-18000 BTU/h	7630 BTU/h	1700-12000 BTU/h	208V/1P 15A	81 LBS	VARIABLE SPEED COMPRESSOR, MAX PIPE LENGTH 100FT, LOW AMBIENT TEMP CONDENSOR

EXHAUST FAN SCHEDULE

TAG	MANUFACTURER	MODEL	AIR FLOW	MOUNTING	VOLTAGE	CONTROLS	ACCESSORIES
EF-1	GREENHECK	USFD-106	300 cfm	ROOF	120V	INTERLOCK TO TIMELOCK	BACKDRAFT DAMPER
EF-2	GREENHECK	SQ-80D	400 cfm	INLINE	120V	INTERCONNECTED TO DRYER SYSTEM	BACKDRAFT DAMPER
EF-3	GREENHECK	SP-A110	120 cfm	CEILING	120V	REVERSE ACTING THERMOSTAT	BACKDRAFT DAMPER

NOTES: ADDITIONAL COSTS INCURRED AS A RESULT OF ANY ALTERNATIVE MODELS ARE AT THE EXPENSE OF THE CONTRACTOR



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165 KING AVE. EAST, NEWCASTLE, ON
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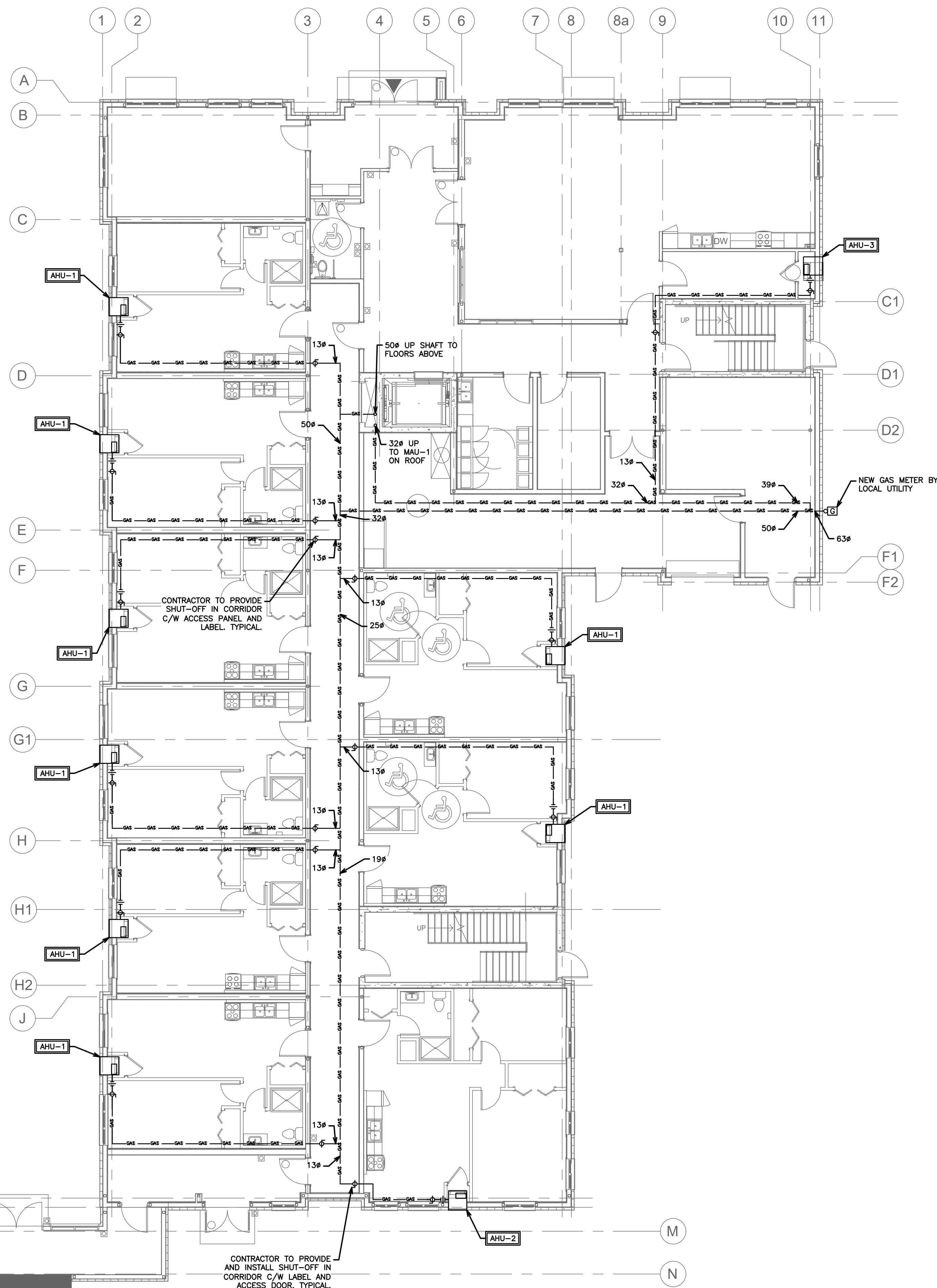
MECHANICAL HVAC NOTES

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June 6/19
PROVINCE OF ONTARIO



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HVAC LEGEND	
— GAS —	GAS LINE
⊠	GAS METER
—○—	PIPE UP, PIPE DOWN
—⊘—	SHUTOFF VALVE
— —	UNION
-	PIPE BREAK/CONTINUATION

REVISIONS				
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1	ISSUED FOR PERMIT	MAY 17	G.O	G.V.W.O

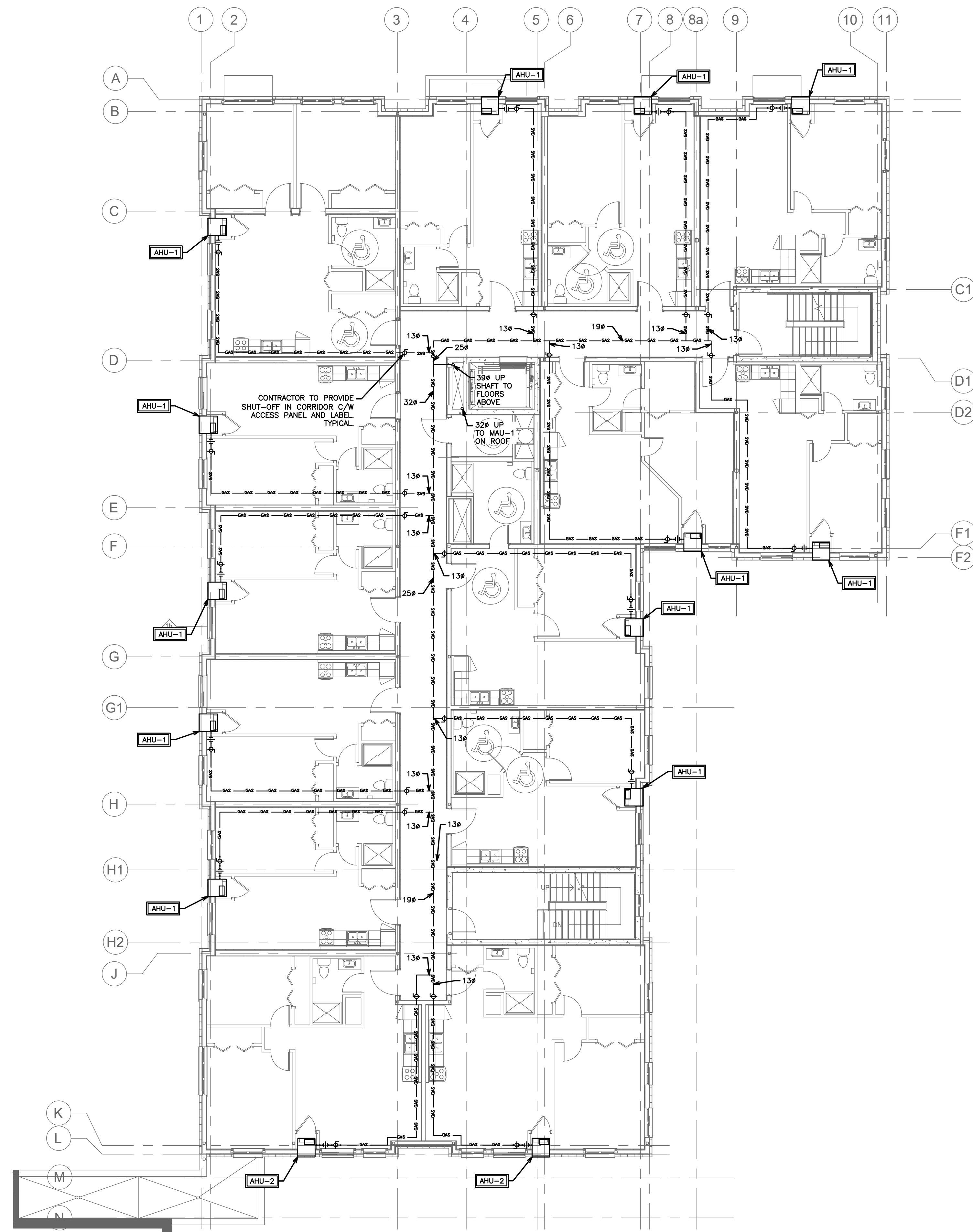
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MECHANICAL GAS GROUND FLOOR

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	SCALE: 1:100	PROJECT NO. 118129
	DRAWN BY: J.T.C	DRAWING NO. M3.1
	DESIGN BY: J.T.C/G.V.W.O	CAD FILE: 118129 M3
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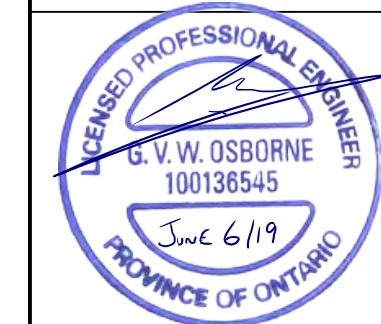
HVAC LEGEND	
— GAS — GAS —	GAS LINE
⊠	GAS METER
—○—	PIPE UP, PIPE DOWN
⊕	SHUTOFF VALVE
— —	UNION
-	PIPE BREAK/CONTINUATION

NO.	REVISION	DATE	BY	APPROVED
2	ISSUED FOR TENDER	JUN 4	G.O	G.V.W.O
1	ISSUED FOR PERMIT	MAY 17	G.O	G.V.W.O

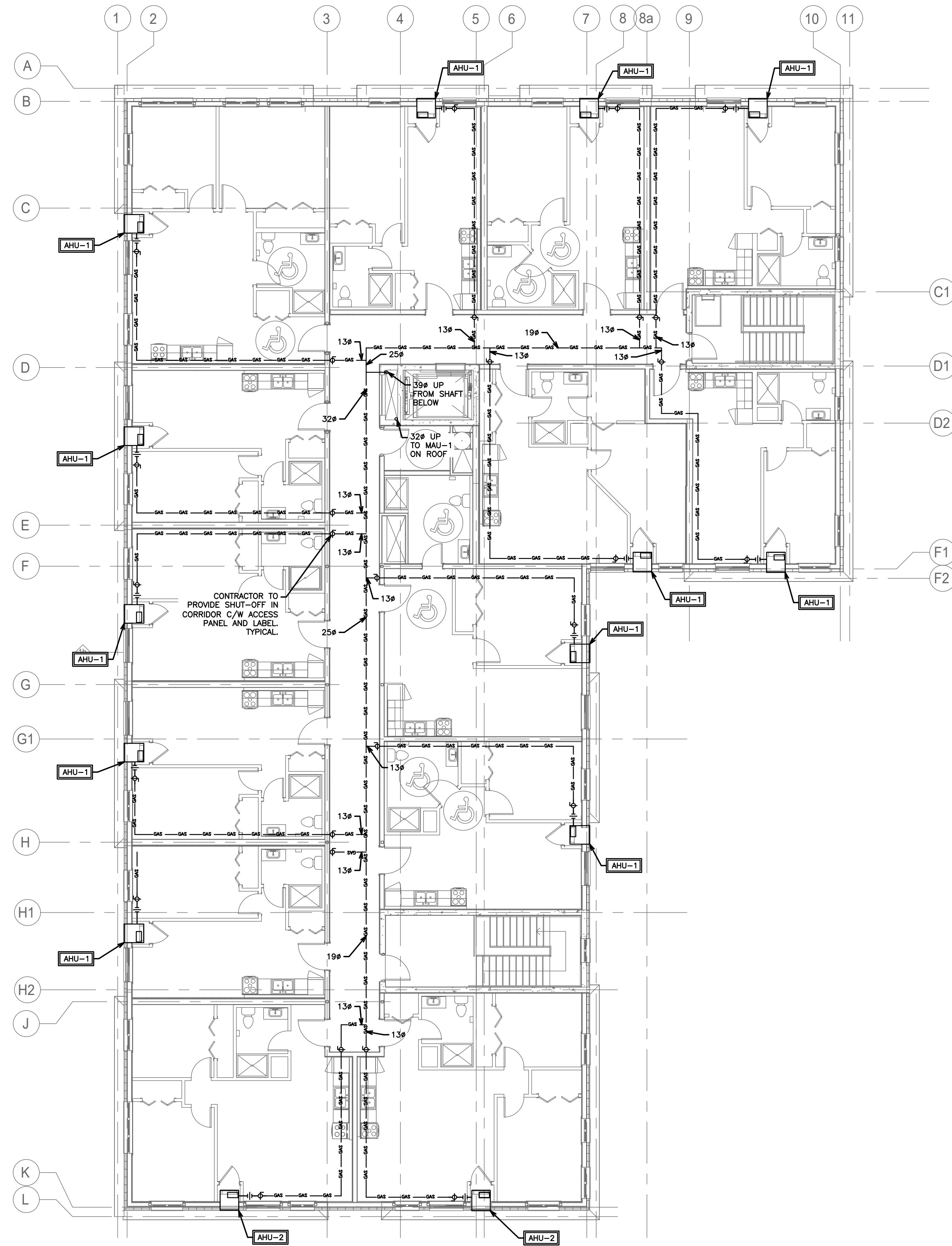
165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

MECHANICAL GAS SECOND FLOOR

D.G. Biddle & Associates Limited
consulting engineers and planners
96 KING STREET EAST • OSHTAWA, ON L1H 1B6
PHONE (905)578-8500 • FAX (905)578-9730
INFO@DGBIDDLE.COM



SCALE:	1:100	PROJECT NO.	118129
DRAWN BY:	J.T.C	DRAWING NO.	M3.2
DESIGN BY:	J.T.C/G.V.W.O	CAD FILE:	118129 M3
CHECKED BY:	G.V.W.O	PLOT DATE:	06/04/19
DATE:	JUNE 2019	SUBMISSION:	TENDER



NOTE:
THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND EXISTING BUILDING AND SERVICES AFFECTING THE PROPER EXECUTION OF THE WORK, AND OBTAIN A CLEAR AND COMPREHENSIVE KNOWLEDGE OF THE EXISTING CONDITIONS. NO CLAIM FOR EXTRA PAYMENT WILL BE ALLOWED FOR WORK OR DIFFICULTIES ENCOUNTERED DUE TO CONDITIONS OF THE SITE WHICH WERE VISIBLE OR REASONABLY INFERRABLE, PRIOR TO THE DATE OF SUBMISSION OF BID. BIDDERS SHALL ACCEPT SOLE RESPONSIBILITY FOR ANY ERROR OR NEGLECT ON THEIR PART IN THIS RESPECT.

NOTE:
TENDERING OF THESE DOCUMENTS IS DONE UNDER THE MUTUAL UNDERSTANDING THAT ALL CONTRACTORS ARE EXPERIENCED AND LICENSED IN THE WORKS BEING PROVIDED AND THAT ALL COMPONENTS OF A FULLY FUNCTIONING SYSTEM WILL BE INCLUDED WHETHER SHOWN OR NOT SHOWN BUT IMPLIED FOR A COMPLETE SYSTEM.

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HVAC LEGEND	
— GAS — GAS —	GAS LINE
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165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

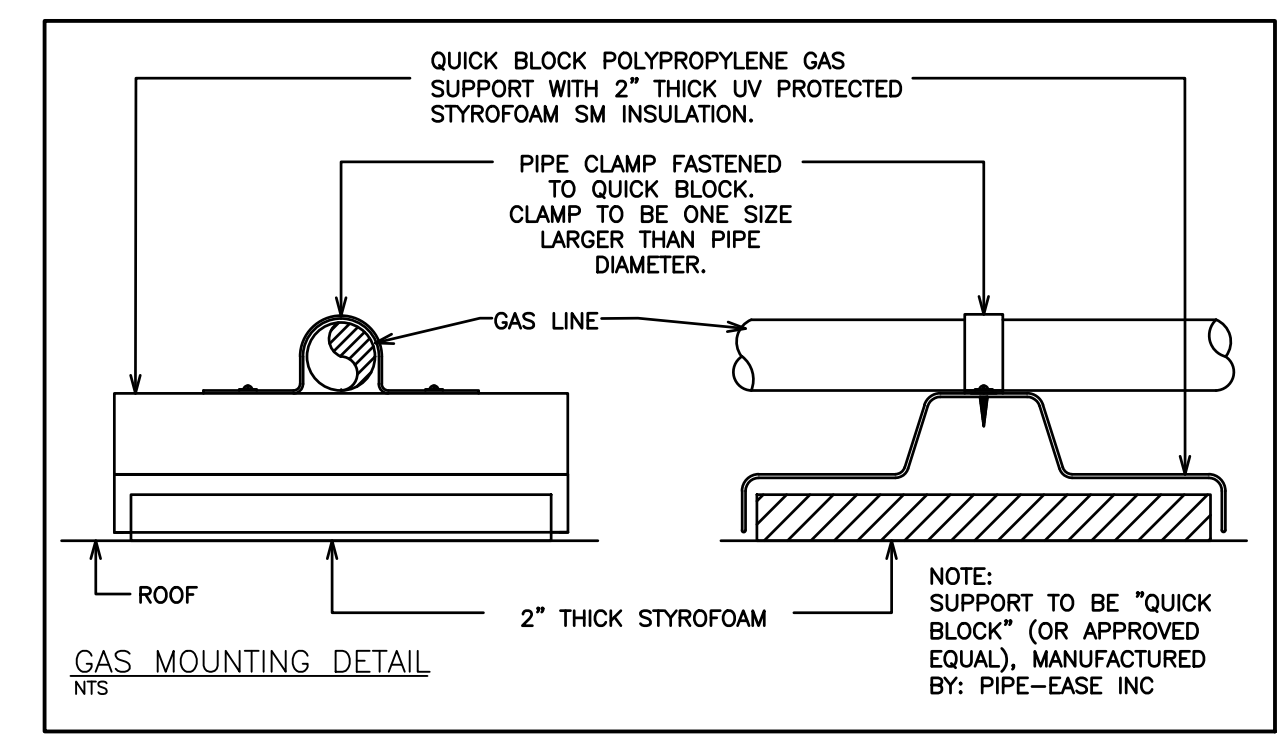
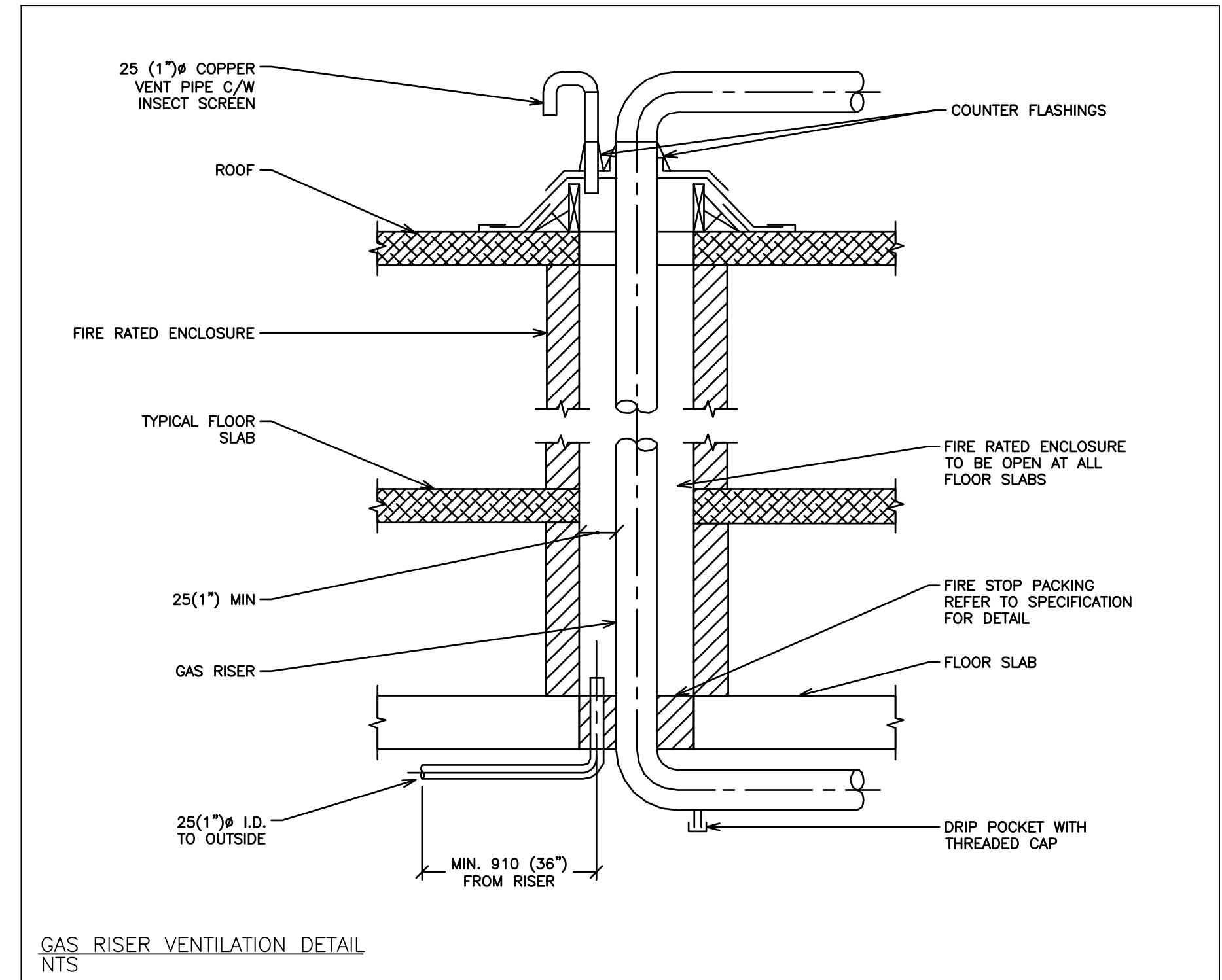
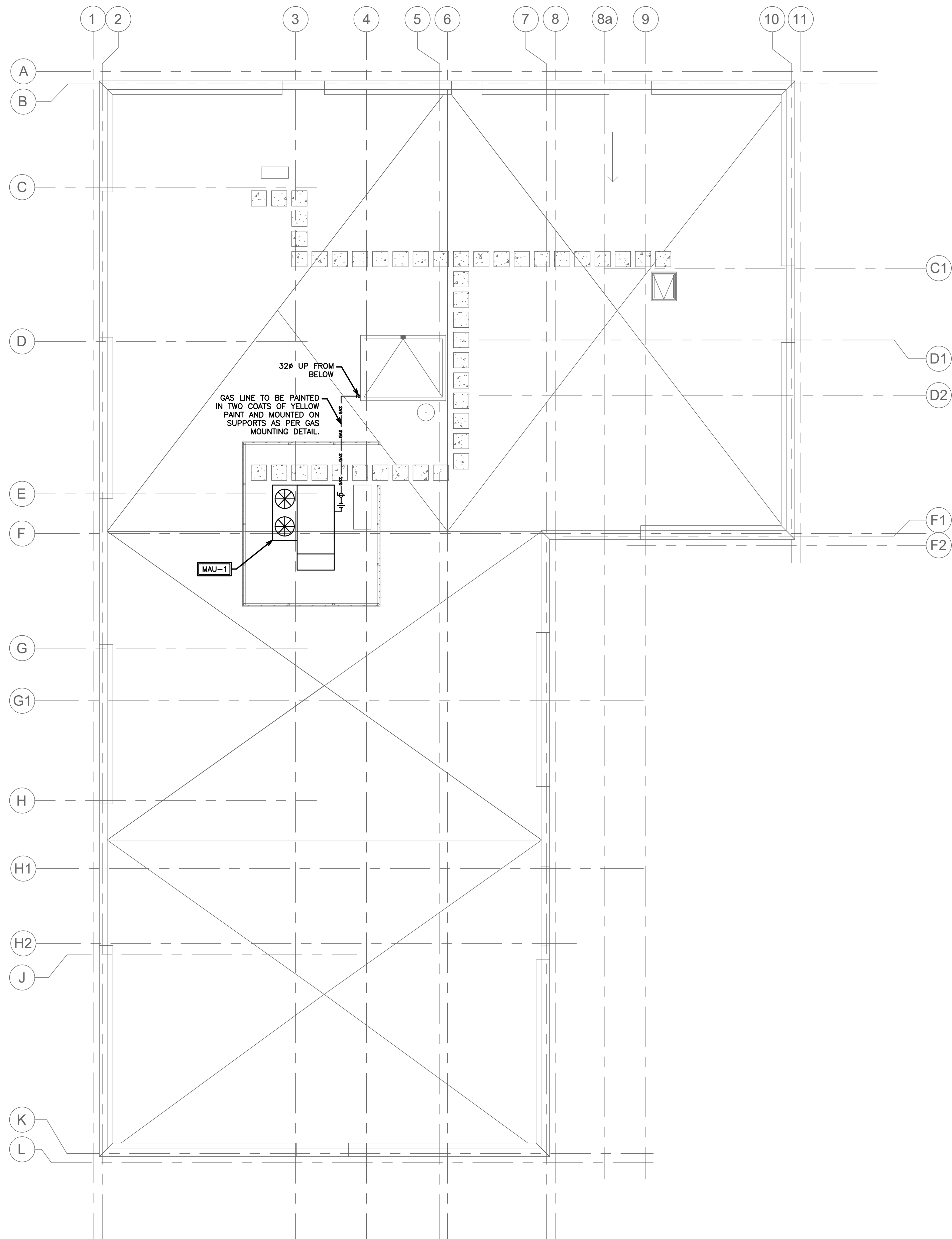
MECHANICAL GAS THIRD FLOOR

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SCALE:	PROJECT NO.
1:100	118129
DRAWN BY: J.T.C	DRAWING NO. M3.3
DESIGN BY: J.T.C/G.V.W.O	CAD FILE: 118129 M3
CHECKED BY: G.V.W.O	PLOT DATE: 06/04/19
DATE: JUNE 2019	SUBMISSION: TENDER



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GAS USAGE SUMMARY				
TAG	QTY	GAS INPUT	SUB-TOTAL	
MAU-1	1	400 MBH	400 MBH	
AHU-1	32	22 MBH	704 MBH	
AHU-2	5	33 MBH	165 MBH	
AHU-3	1	33 MBH	33 MBH	
TOTAL:			1302 MBH	

NOTE:
HVAC CONTRACTOR IS RESPONSIBLE FOR ACQUIRING AND SUBMITTING ENBRIDGE GAS SERVICE FORMS AND COORDINATING SERVICE INSTALLATION.

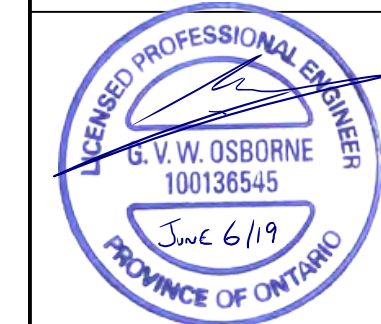
HVAC LEGEND	
— GAS —	GAS LINE
⊠	GAS METER
→	PIPE UP, PIPE DOWN
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— —	UNION
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165 KING AVE. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

MECHANICAL GAS ROOF PLAN

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SCALE:	1:100	PROJECT NO.	118129
DRAWN BY:	J.T.C	DRAWING NO.	M3.4
DESIGN BY:	J.T.C/G.V.W.O	CAD FILE:	118129 M3
CHECKED BY:	G.V.W.O	PLOT DATE:	06/04/19
DATE:	JUNE 2019	SUBMISSION:	TENDER

NOTE:
 1. SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT.
 2. NO DISCONNECT SWITCH BETWEEN SMOKE ALARM AND CIRCUIT BREAKER.
 3. SMOKE ALARMS TO HAVE BATTERY BACKUP.
 4. PROVIDE A CARBON MONOXIDE (CO) ALARM IN EACH SUITE NEAR A BEDROOM.

NOTE:
 ALL DATA, TELEPHONE AND TV OUTLETS SHOWN ARE FOR SCOPE OF WORK PURPOSES ONLY. CONTRACTOR TO COORDINATE EXACT LOCATIONS AND QUANTITIES OF ALL DATA, TELEPHONE AND TV OUTLETS ON-SITE WITH OWNER PRIOR TO COMMENCEMENT OF WORK.

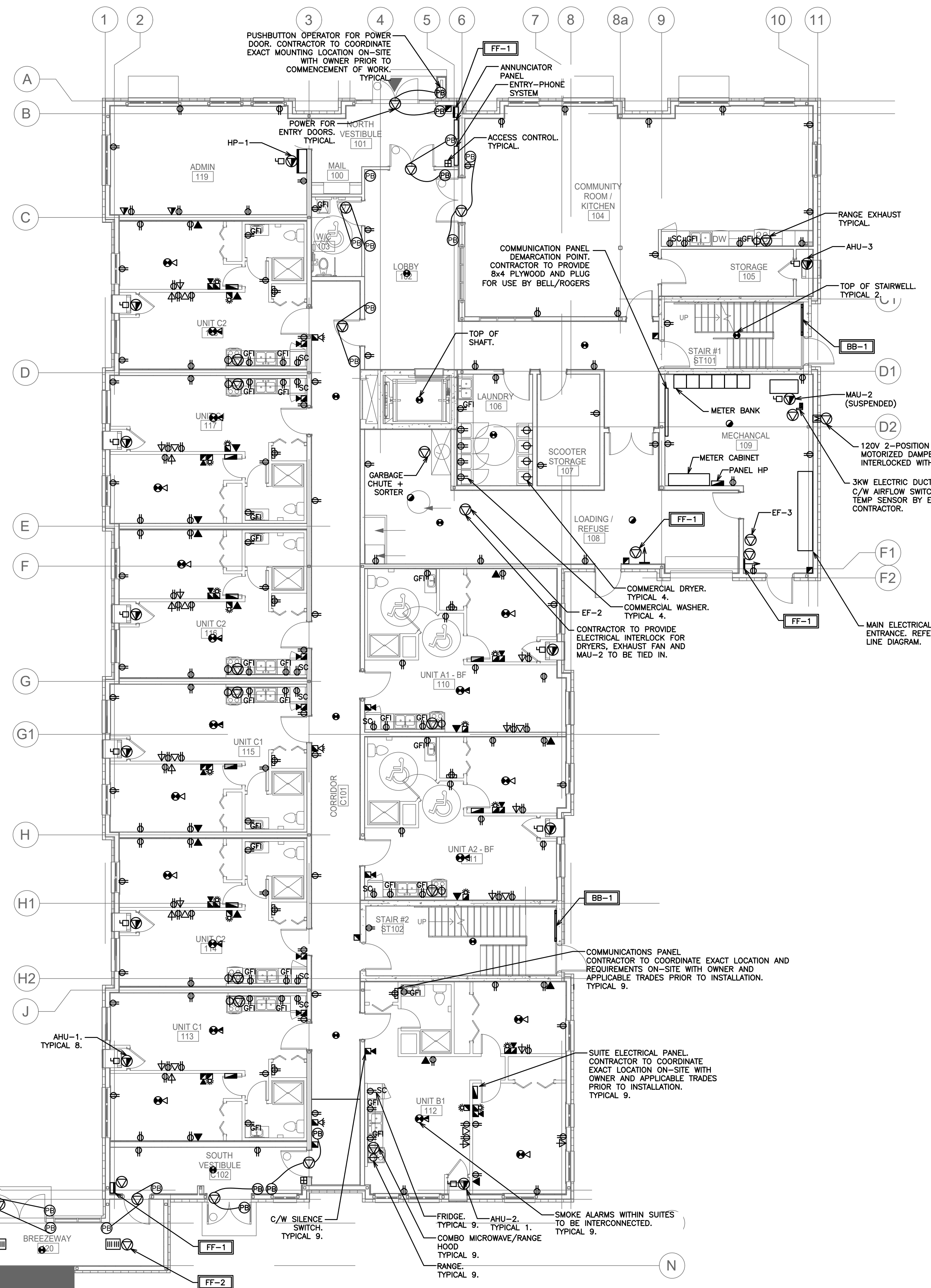
NOTE:
 CONTRACTOR TO COORDINATE EXACT LOCATION OF ELECTRICAL PANELS IN SUITES ON-SITE WITH OWNER PRIOR TO COMMENCEMENT OF WORK.

NOTE:
 CONTRACTOR TO COORDINATE EXACT LAYOUT OF ALL EQUIPMENT WITHIN MECHANICAL CLOSETS ON-SITE WITH OWNER AND TRADES PRIOR TO COMMENCEMENT OF WORK. TYPICAL.

NOTE:
 STANDARD STUD DEPTH IS 3.5". CONTRACTOR TO COORDINATE PANEL SIZES ON-SITE PRIOR TO ORDERING.

NOTE:
 CONTRACTOR TO PROVIDE LOW PROFILE DEVICES AND DEVICE BOXES WHERE APPLICABLE. REFER TO ARCHITECTURAL DRAWINGS.

NOTE:
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FIRE ALARM LEGEND	
☉	SMOKE DETECTOR
☉	FIRE ALARM STROBE (SUITE)
☉	FIRE ALARM COMBINATION HORN/STROBE (CORRIDOR)
☉	FIRE ALARM COMBINATION HORN/STROBE (CORRIDOR)
☉	FIRE ALARM HORN (SUITE)
☉	FIRE ALARM HORN (CORRIDOR)
☉	HEAT DETECTOR
☉	FIRE ALARM PULL STATION
☉	FIRE ALARM CONTROL PANEL
☉	COMBINATION SMOKE ALARM AND CARBON MONOXIDE DETECTOR INTERCONNECTED WHEN MORE THAN ONE PER UNIT C/W BATTERY BACKUP AND VISUAL SIGNALING COMPONENT - SUITES
☉	SMOKE ALARM INTERCONNECTED WHEN MORE THAN ONE PER UNIT C/W BATTERY BACKUP AND VISUAL SIGNALING COMPONENT - SUITES
☉	SUPERVISOR VALVE
☉	SPRINKLER FLOW SWITCH
☉	DUCT SMOKE DETECTOR

POWER LEGEND	
⊕	RECEPTACLE
⊕	240V 1PH GROUNDED RECEPTACLE
▽	VOICE AND DATA WALL BOX, OUTLET & 3/4" CONDUIT C/W PULL STRING UP WALL BACK TO SOURCE
▽	VOICE ONLY OUTLET BOX - WALL BOX, OUTLET & 3/4" CONDUIT C/W PULL STRING UP WALL BACK TO SOURCE
▽	DATA ONLY OUTLET BOX - WALL BOX, OUTLET & 3/4" CONDUIT C/W PULL STRING UP WALL BACK TO SOURCE
⊕	120V POWER SUPPLY
⊕	208V POWER SUPPLY
☐	ELECTRICAL PANEL
☐	ELECTRICAL DISCONNECT
☐	WALL MOUNTED TELEVISION (CABLE) OUTLET
☐	PUSHBUTTON FOR POWER DOOR OPERATOR
☐	KEY FOB ACCESS
☐	GFI RATED RECEPTACLE
☐	SEPARATE CIRCUIT
☐	WEATHERPROOF

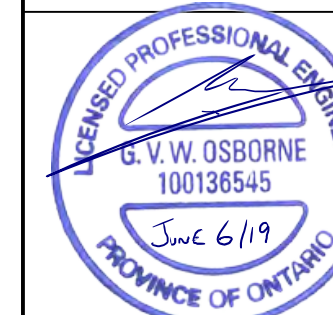
NO.	REVISION	DATE	BY	APPROVED
3	ISSUED FOR TENDER	MAY 31 A.D.		G.V.W.O.
2	RE-ISSUED FOR PERMIT	MAY 17 A.D.		G.V.W.O.
1	ISSUED FOR PERMIT	MAR 11 A.D.		G.V.W.O.

153 KING ST. EAST, NEWCASTLE, ON
 PARKVIEW SENIORS EXPANSION

ELECTRICAL POWER GROUND FLOOR

D.G. Biddle & Associates Limited
 consulting engineers and planners

96 KING STREET EAST • OSHTAWA, ON L1H 1B6
 PHONE (905) 578-8500 • FAX (905) 578-9730
 INFO@DGBIDDLE.COM



SCALE:	PROJECT NO.
1:100	118129
DRAWN BY: A.J.D.	DRAWING NO. E1.1
DESIGN BY: B.C.A.	
CHECKED BY: G.V.W.O.	CAD FILE: 118129 E
DATE: MAY 2019	PLOT DATE: 05/31/19
	SUBMISSION: TENDER

NOTE:
 1. SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT.
 2. NO DISCONNECT SWITCH BETWEEN SMOKE ALARM AND CIRCUIT BREAKER.
 3. SMOKE ALARMS TO HAVE BATTERY BACKUP.
 4. PROVIDE A CARBON MONOXIDE (CO) ALARM IN EACH SUITE NEAR A BEDROOM.

NOTE:
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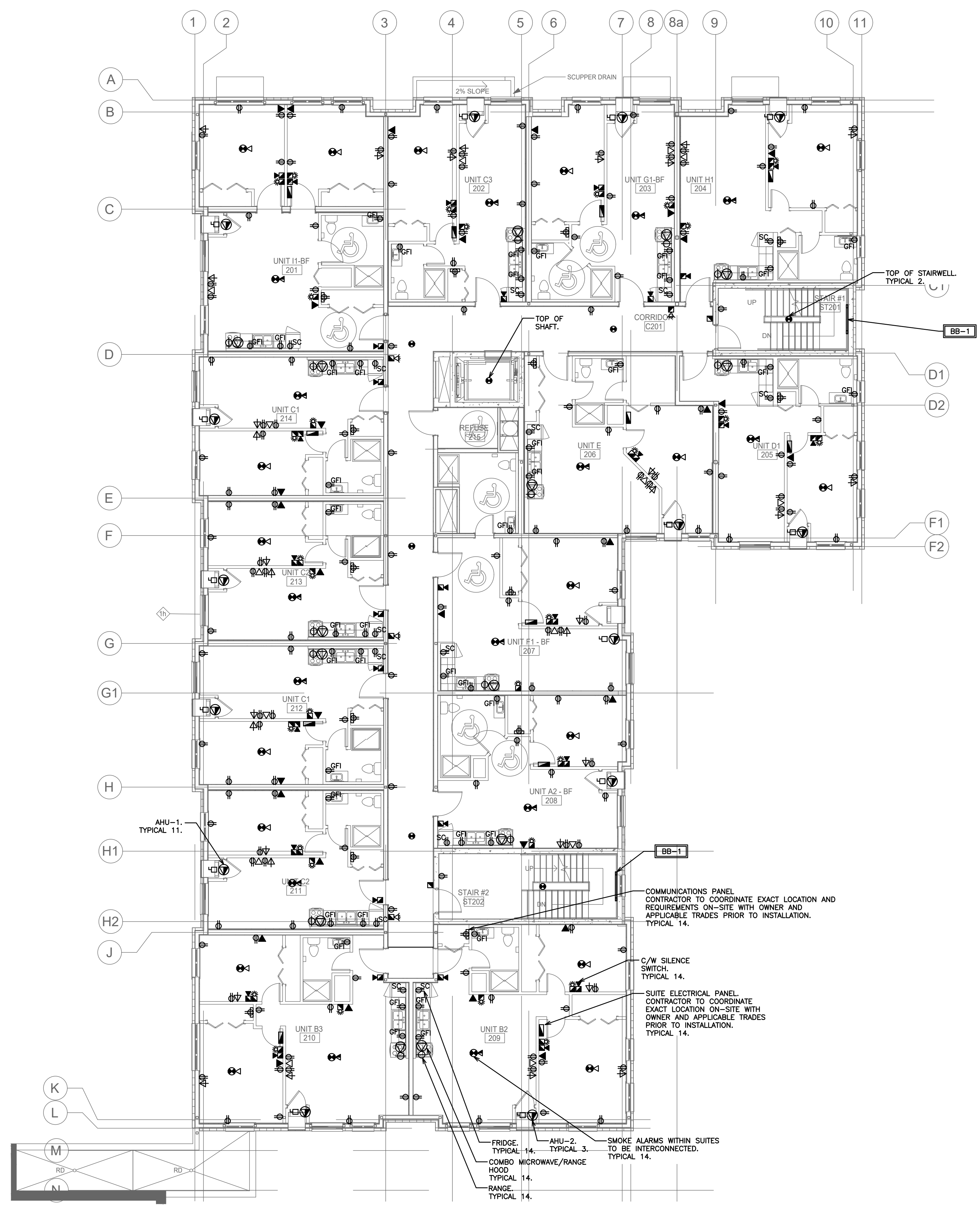
NOTE:
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NOTE:
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FIRE ALARM LEGEND	
	SMOKE DETECTOR
	FIRE ALARM STROBE (SUITE)
	FIRE ALARM COMBINATION HORN/STROBE (CORRIDOR)
	FIRE ALARM COMBINATION HORN/STROBE (CORRIDOR)
	FIRE ALARM HORN (SUITE)
	FIRE ALARM HORN (CORRIDOR)
	HEAT DETECTOR
	FIRE ALARM PULL STATION
	FIRE ALARM CONTROL PANEL
	COMBINATION SMOKE ALARM AND CARBON MONOXIDE DETECTOR INTERCONNECTED WHEN MORE THAN ONE PER UNIT C/W BATTERY BACKUP AND VISUAL SIGNALING COMPONENT - SUITES
	SMOKE ALARM INTERCONNECTED WHEN MORE THAN ONE PER UNIT C/W BATTERY BACKUP AND VISUAL SIGNALING COMPONENT - SUITES
	SUPERVISOR VALVE
	SPRINKLER FLOW SWITCH
	DUCT SMOKE DETECTOR

POWER LEGEND	
	RECEPTACLE
	240V 1PH GROUNDED RECEPTACLE
	VOICE AND DATA WALL BOX, OUTLET & 3/4" CONDUIT C/W PULL STRING UP WALL BACK TO SOURCE
	VOICE ONLY OUTLET BOX - WALL BOX, OUTLET & 3/4" CONDUIT C/W PULL STRING UP WALL BACK TO SOURCE
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	120V POWER SUPPLY
	208V POWER SUPPLY
	ELECTRICAL PANEL
	ELECTRICAL DISCONNECT
	WALL MOUNTED TELEVISION (CABLE) OUTLET
	PUSHBUTTON FOR POWER DOOR OPERATOR
	KEY FOB ACCESS
	GFI RATED RECEPTACLE
	SEPARATE CIRCUIT
	WEATHERPROOF

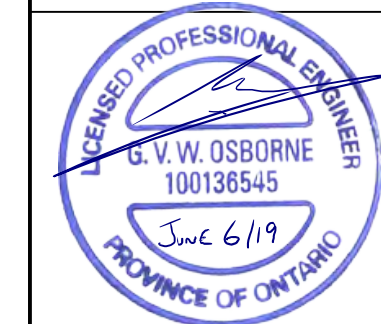
NO.	REVISION	DATE	BY	APPROVED
3	ISSUED FOR TENDER	MAY 31 A.D.	G.V.W.O.	
2	RE-ISSUED FOR PERMIT	MAY 17 A.D.	G.V.W.O.	
1	ISSUED FOR PERMIT	MAR 11 A.D.	G.V.W.O.	

153 KING ST. EAST, NEWCASTLE, ON
 PARKVIEW SENIORS EXPANSION
ELECTRICAL POWER
SECOND FLOOR

D.G. Biddle & Associates Limited
 consulting engineers and planners
 96 KING STREET EAST • OSHTAWA, ON L1H 1B6
 PHONE (905)578-8500 • FAX (905)578-9730
 INFO@DGBIDDLE.COM

SCALE: 1:100
 DRAWN BY: A.J.D.
 DESIGN BY: B.C.A.
 CHECKED BY: G.V.W.O.
 DATE: MAY 2019

PROJECT NO. 118129
 DRAWING NO. E1.2
 CAD FILE: 118129 E
 PLOT DATE: 05/31/19
 SUBMISSION: TENDER



NOTE:
 1. SMOKE ALARMS SHALL BE INSTALLED WITH PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT.
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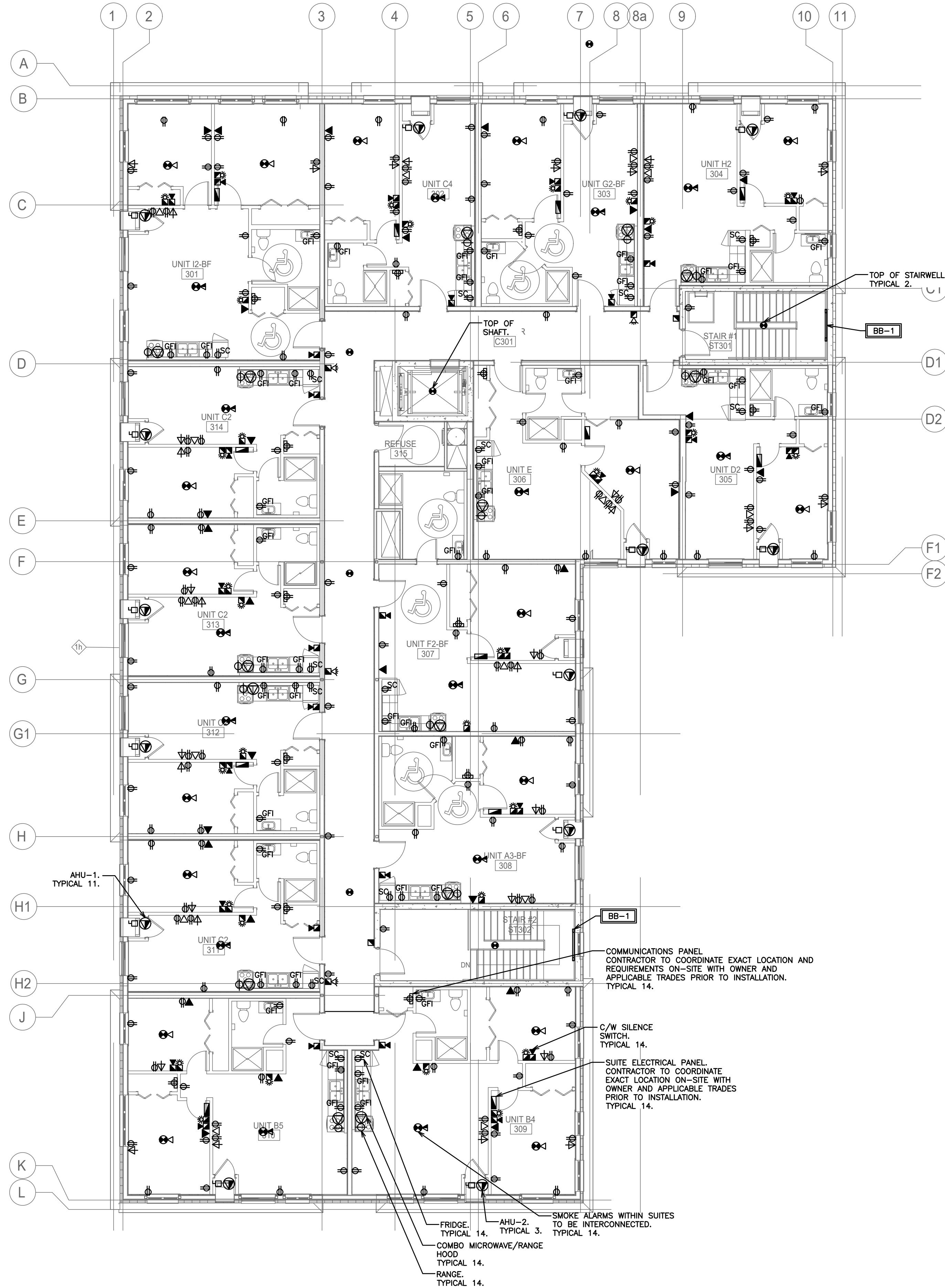
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FIRE ALARM LEGEND	
	SMOKE DETECTOR
	FIRE ALARM STROBE (SUITE)
	FIRE ALARM COMBINATION HORN/STROBE (CORRIDOR)
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	FIRE ALARM PULL STATION
	FIRE ALARM CONTROL PANEL
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	SPRINKLER FLOW SWITCH
	DUCT SMOKE DETECTOR

POWER LEGEND	
	RECEPTACLE
	240V 1PH GROUNDED RECEPTACLE
	VOICE AND DATA WALL BOX, OUTLET & 3/4" CONDUIT C/W PULL STRING UP WALL BACK TO SOURCE
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	208V POWER SUPPLY
	ELECTRICAL PANEL
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	PUSHBUTTON FOR POWER DOOR OPERATOR
	KEY FOB ACCESS
	GFI RATED RECEPTACLE
	SEPARATE CIRCUIT
	WEATHERPROOF

NO.	REVISION	DATE	BY	APPROVED
3	ISSUED FOR TENDER	MAY 31 A.D.	G.V.W.O.	
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153 KING ST. EAST, NEWCASTLE, ON
 PARKVIEW SENIORS EXPANSION

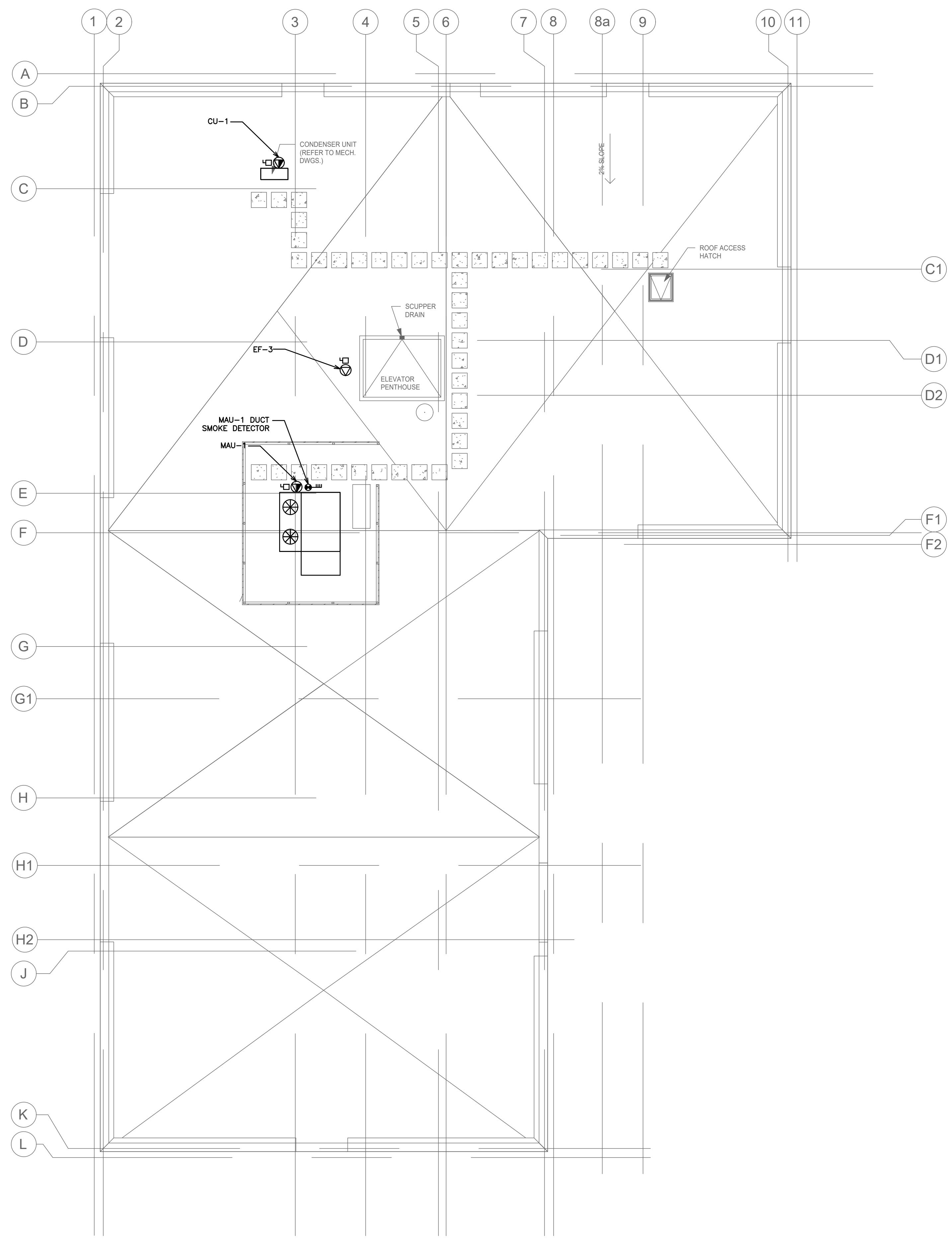
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DESIGN BY: B.C.A.	CAD FILE: 118129 E
CHECKED BY: G.V.W.O.	PLOT DATE: 05/31/19
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FIRE ALARM LEGEND	
	SMOKE DETECTOR
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	WALL MOUNTED TELEVISION (CABLE) OUTLET
	PUSHBUTTON FOR POWER DOOR OPERATOR
	KEY FOB ACCESS
	GFI RATED RECEPTACLE
	SEPARATE CIRCUIT
	WEATHERPROOF

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REVISIONS

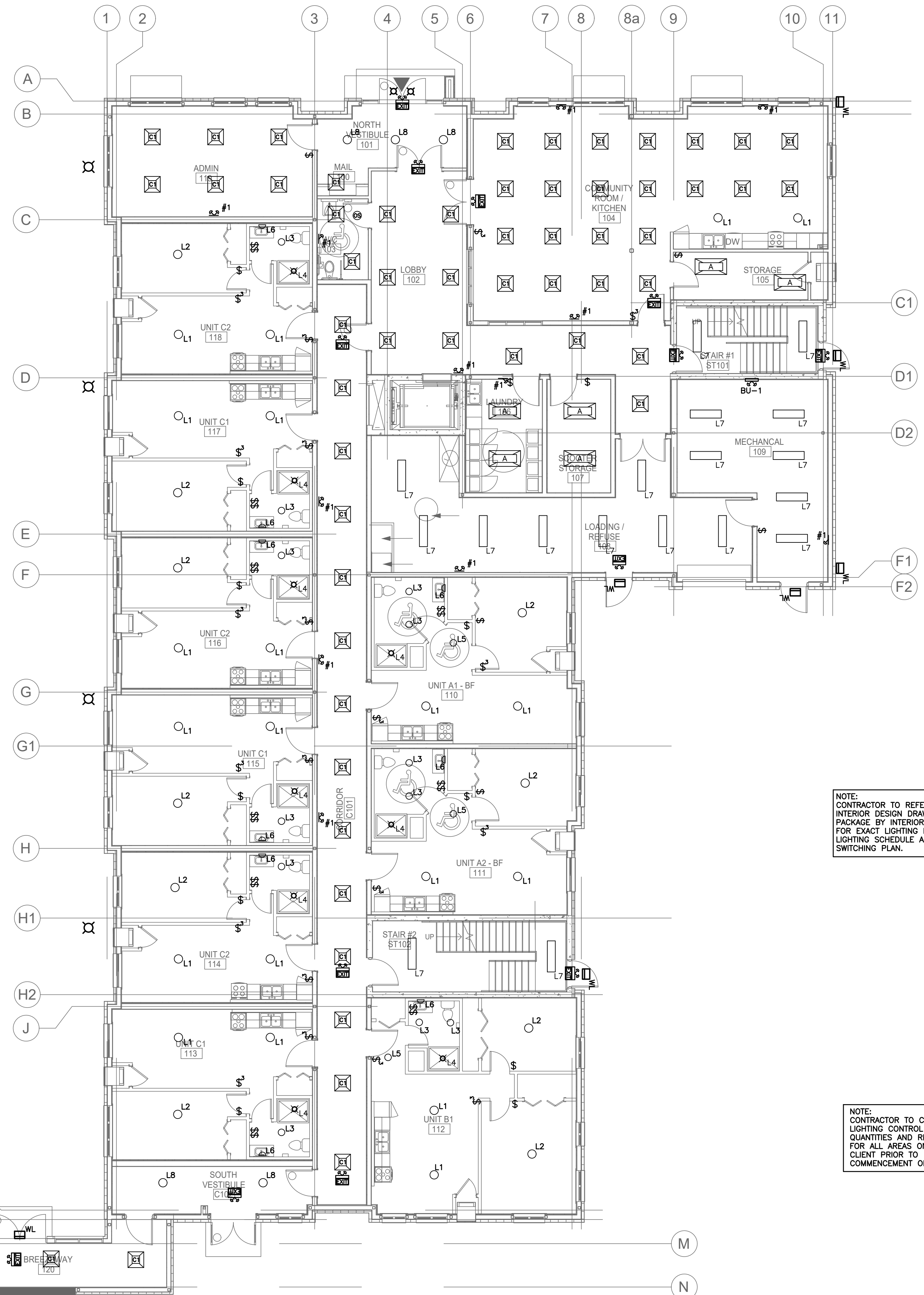
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ELECTRICAL ROOF PLAN

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	DRAWN BY: A.J.D.	DRAWING NO. E1.4
	DESIGN BY: B.C.A.	CAD FILE: 118129 E
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COORDINATE WITH ALL TRADES
AND MANUFACTURERS BEST
PRACTICES AND DIRECTIONS.

NOTE:
LIGHTING SHOWN IS FOR SCHEMATIC
AND SCOPE OF WORK PURPOSES
ONLY. CONTRACTOR TO COORDINATE
EXACT LOCATION AND ORIENTATION
ON SITE.

NOTE:
ALL SWITCHES AND CONTROLS
WITHIN BARRIER-FREE AREAS TO
BE MOUNTED AS PER O.B.C.
3.8.1.5.(1)(C)

NOTE:
CONTRACTOR TO REFER TO
INTERIOR DESIGN DRAWING
PACKAGE BY INTERIOR DESIGNER
FOR EXACT LIGHTING LOCATIONS,
LIGHTING SCHEDULE AND
SWITCHING PLAN.

NOTE:
CONTRACTOR TO CONFIRM ALL
LIGHTING CONTROL LOCATIONS,
QUANTITIES AND REQUIREMENTS
FOR ALL AREAS ON-SITE WITH
CLIENT PRIOR TO
COMMENCEMENT OF WORK.

EMERGENCY LIGHT BACK-UP UNIT SCHEDULE		
TAG	MANUFACTURER	MODEL
(BU-1)	LUMACELL	RG125-200-2-LD10-AT
(BU-2)	LUMACELL	RG125-144-2-LD10-AT
(BU-3)	LUMACELL	RG125-144-2-LD10-AT

LIGHTING LEGEND	
\$ \$	SINGLE POLE, SINGLE THROW TOGGLE SWITCH, ONE, TWO, OR THREE GANGED ('3' DENOTES 3-WAY)
[Symbol]	T-BAR/DRYWALL MOUNTED 2x4 LED FIXTURE
[Symbol]	T-BAR/DRYWALL MOUNTED 2x2 LED FIXTURE
[Symbol]	SURFACE MOUNTED TROFFER LED LIGHT FIXTURE
[Symbol]	CEILING MOUNTED LIGHT FIXTURE
[Symbol]	DAMP PROOF BATHROOM DOWNLIGHT
[Symbol]	DAMP PROOF BATHROOM DOWNLIGHT
[Symbol]	SMALL CEILING MOUNTED LIGHT FIXTURE
[Symbol]	WALL MOUNTED VANITY LIGHT FIXTURE
[Symbol]	CEILING MOUNTED 2 SPOTLIGHT FIXTURE
[Symbol]	COMMERCIAL GRADE CEILING MOUNTED LIGHT FIXTURE FOR COMMON HALL, HALLWAY AND LOBBY
[Symbol]	OCCUPANCY SENSOR
SWITCHWIRING	
[Symbol]	EXIT SIGN, EXIT SIGN WITH EMERGENCY LIGHTING, DIRECTIONAL EXIT SIGN EQUAL TO LUMACELL LA, LAC, LV AND LVC WITH LD10 BULBS AND BACK-UP BATTERY PACK (REFER TO SCHEDULE FOR BU-X)
[Symbol]	DOUBLE HEAD EMERGENCY LIGHT EQUAL TO LUMACELL MQM2LD10
[Symbol]	SINGLE HEAD EMERGENCY LIGHT EQUAL TO LUMACELL MQM1LD10
[Symbol]	EMERGENCY LIGHTING WITH BACK-UP BATTERY UNIT (REFER TO SCHEDULE)
[Symbol]	WALL LIGHT REFER TO SL1 DRAWING FOR MORE DETAIL
[Symbol]	BOLLARD LIGHTS REFER TO SL1 DRAWING FOR MORE DETAIL
[Symbol]	POST TOP LIGHTS REFER TO SL1 DRAWING FOR MORE DETAIL

NOTE:
DETAILED LIGHTING SCHEDULE TO FOLLOW IN SEPARATE ADDENDUM.
CONTRACTOR TO PROVIDE PHOTOMETRICS LAYOUT WITH SHOP DRAWING
SUBMISSION BY LIGHTING REP. THIS SERVICE IS TO BE INCLUDED IN BASE
PRICING.

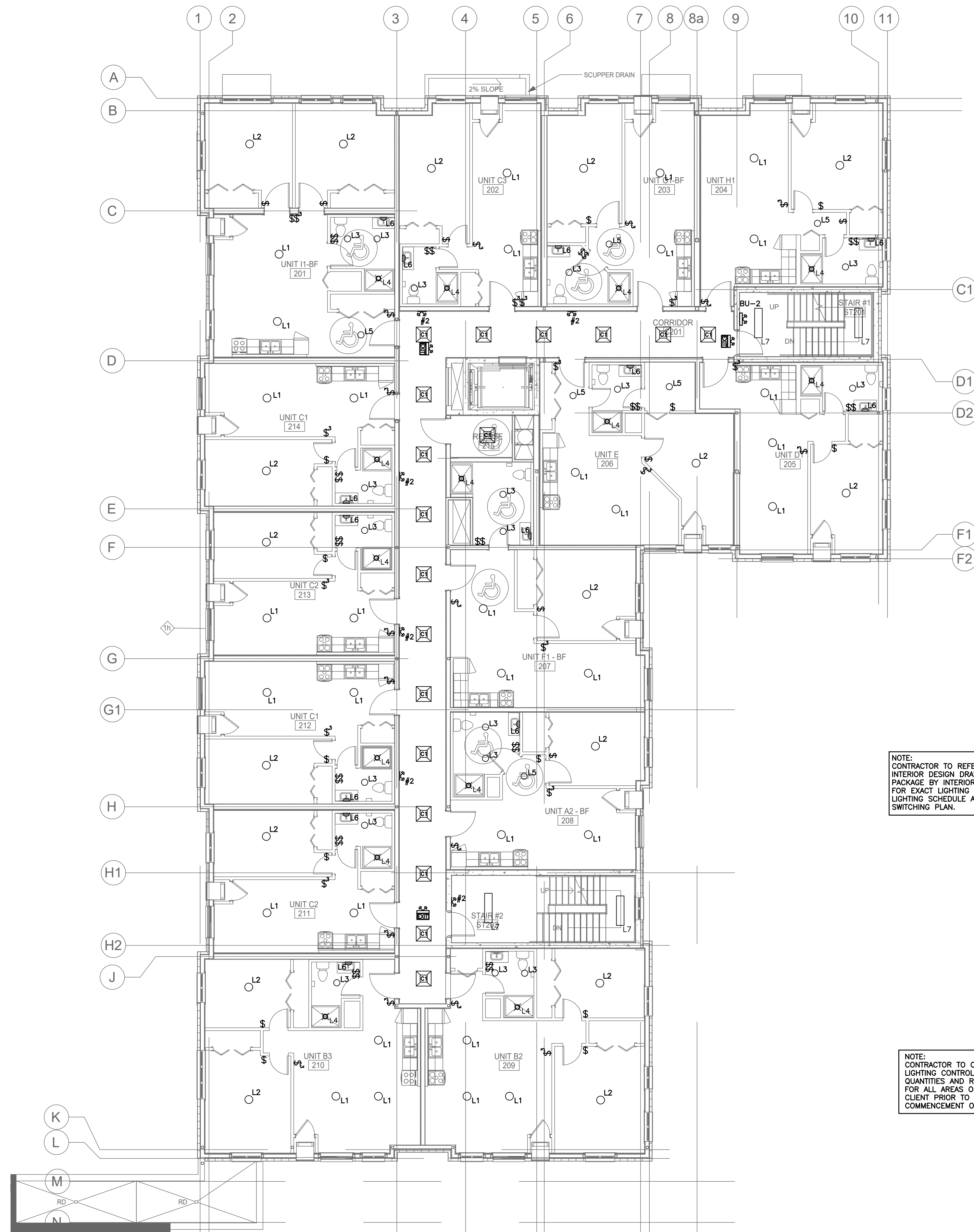
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1	ISSUED FOR PERMIT	MAR 11 A.D.	G.V.W.O.	

153 KING ST. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

ELECTRICAL LIGHTING FIRST FLOOR

D.G. Biddle & Associates Limited
consulting engineers and planners
96 KING STREET EAST • OSHTAWA, ON L1H 1B6
PHONE (905)578-8500 • FAX (905)578-9730
INFO@DGBIDDLE.COM

	SCALE: 1:100	PROJECT NO. 118129
	DRAWN BY: A.J.D.	DRAWING NO. E1.5
	DESIGN BY: B.C.A.	CAD FILE: 118129 E
	CHECKED BY: G.V.W.O.	PLOT DATE: 05/31/19
DATE: MAY 2019	SUBMISSION: TENDER	



NOTE:
ALL DETAILS SHOWN ARE
SCHEMATIC BY NATURE AND
ARE TO BE USED FOR SCOPE
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COORDINATE WITH ALL TRADES
AND MANUFACTURERS BEST
PRACTICES AND DIRECTIONS.

NOTE:
LIGHTING SHOWN IS FOR SCHEMATIC
AND SCOPE OF WORK PURPOSES
ONLY. CONTRACTOR TO COORDINATE
EXACT LOCATION AND ORIENTATION
ON SITE.

NOTE:
ALL SWITCHES AND CONTROLS
WITHIN BARRIER-FREE AREAS TO
BE MOUNTED AS PER O.B.C.
3.8.1.5.(1)(C)

NOTE:
CONTRACTOR TO REFER TO
INTERIOR DESIGN DRAWING
PACKAGE BY INTERIOR DESIGNER
FOR EXACT LIGHTING LOCATIONS,
LIGHTING SCHEDULE AND
SWITCHING PLAN.

NOTE:
CONTRACTOR TO CONFIRM ALL
LIGHTING CONTROL LOCATIONS,
QUANTITIES AND REQUIREMENTS
FOR ALL AREAS ON-SITE WITH
CLIENT PRIOR TO
COMMENCEMENT OF WORK.

EMERGENCY LIGHT BACK-UP UNIT SCHEDULE		
TAG	MANUFACTURER	MODEL
(BU-1)	LUMACELL	RG12S-200-2-LD10-AT
(BU-2)	LUMACELL	RG12S-144-2-LD10-AT
(BU-3)	LUMACELL	RG12S-144-2-LD10-AT

LIGHTING LEGEND	
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O _{L2}	CEILING MOUNTED LIGHT FIXTURE
O _{L3}	DAMP PROOF BATHROOM DOWNLIGHT
O _{L4}	DAMP PROOF BATHROOM DOWNLIGHT
O _{L5}	SMALL CEILING MOUNTED LIGHT FIXTURE
O _{L6}	WALL MOUNTED VANITY LIGHT FIXTURE
[Symbol]	CEILING MOUNTED 2 SPOTLIGHT FIXTURE
O _{L8}	COMMERCIAL GRADE CEILING MOUNTED LIGHT FIXTURE FOR COMMON HALL, HALLWAY AND LOBBY
[Symbol]	OCCUPANCY SENSOR
SWITCHWIRING	
[Symbol]	EXIT SIGN, EXIT SIGN WITH EMERGENCY LIGHTING, DIRECTIONAL EXIT SIGN EQUAL TO LUMACELL LA, LA ₁ LN AND LNC WITH LED BULBS AND BACK-UP BATTERY PACK (REFER TO SCHEDULE FOR BU-X)
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NOTE:
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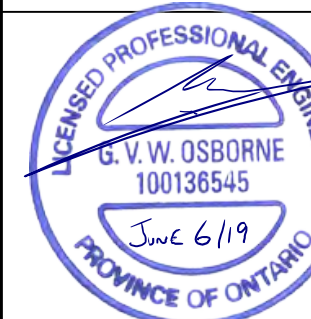
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153 KING ST. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

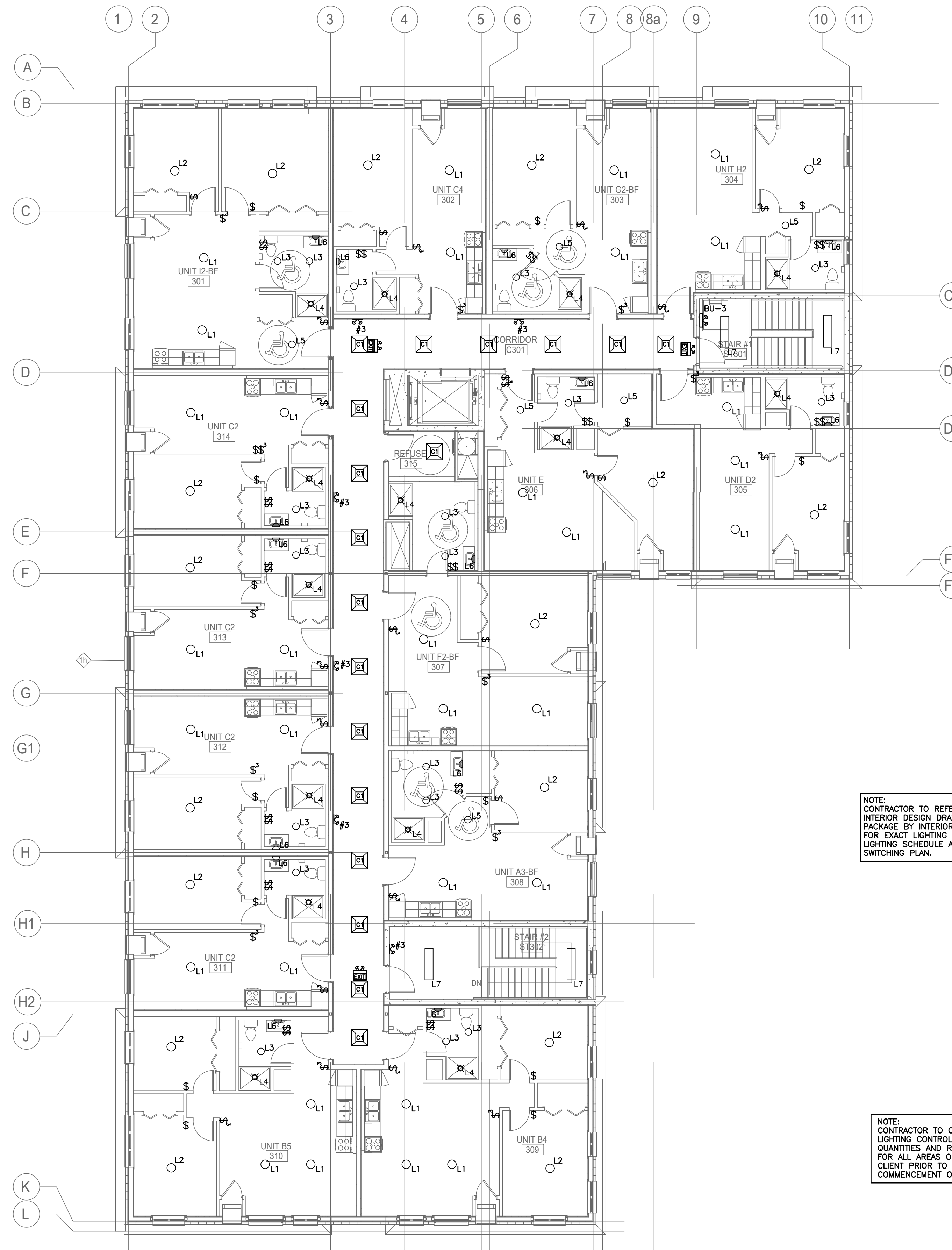
ELECTRICAL LIGHTING SECOND FLOOR

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SCALE:	PROJECT NO.
1:100	118129
DRAWN BY: A.J.D.	DRAWING NO. E1.6
DESIGN BY: B.C.A.	CAD FILE: 118129 E
CHECKED BY: G.V.W.O.	PLOT DATE: 05/31/19
DATE: MAY 2019	SUBMISSION: TENDER



NOTE:
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NOTE:
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NOTE:
ALL SWITCHES AND CONTROLS WITHIN BARRIER-FREE AREAS TO BE MOUNTED AS PER O.B.C. 3.8.1.5.(1)(c)

NOTE:
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NOTE:
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(BU-2)	LUMACELL	RG12S-144-2-LD10-AT
(BU-3)	LUMACELL	RG12S-144-2-LD10-AT

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NOTE:
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153 KING ST. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

ELECTRICAL LIGHTING THIRD FLOOR

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	DATE:	MAY 2019	SUBMISSION:	TENDER

GENERAL REQUIREMENTS FOR ELECTRICAL WORK

1. SCOPE OF WORK
 - 1.1. CONFORM TO ALL DRAWINGS RELATED TO THIS PROJECT.
 - 1.2. COMPLY WITH THE REQUIREMENTS OF THE CURRENT EDITION OF THE O.B.C., ALL OTHER APPLICABLE CODES, REGULATIONS, BY-LAWS AND OFFICIAL STANDARDS ACCORDING TO THE REQUIREMENTS AND INTERPRETATIONS OF THE AUTHORITIES HAVING JURISDICTION. THESE CODES AND STANDARDS CONSTITUTE AN INTEGRAL PART OF THESE SPECIFICATIONS. IN CASE OF CONFLICT, THE CODES TAKE PRECEDENCE OVER THE CONTRACT DOCUMENTS.
2. EXAMINATION OF SITE AND INFORMATION
 - 2.1. EACH SUBCONTRACTOR, BEFORE TENDERING, SHALL EXAMINE THE SITE, THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND THEY SHALL FAMILIARIZE THEMSELVES WITH THE BUILDING CONSTRUCTION AND FINISH IN ORDER THAT THEIR TENDER MAY INCLUDE EVERYTHING NECESSARY FOR THE PROPER COMPLETION OF THE WORK.
 - 2.2. IT SHALL BE THIS SUBCONTRACTOR'S RESPONSIBILITY THAT MATERIAL AND EQUIPMENT BE BROUGHT INTO THE BUILDING IN SUCH ASSEMBLIES AND SIZES AS TO ENTER INTO THE SPACE WHERE THEY ARE TO BE LOCATED AND TO BE SMALL ENOUGH TO BE HOSTED INTO THE BUILDING WITHOUT DIFFICULTY. ANY CUTTING, PATCHING, ETC., INVOLVED IN GETTING LARGE ASSEMBLIES INTO PLACE, SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR.
3. RELATIONSHIP TO OTHER TRADES
 - 3.1. THIS SUBCONTRACTOR SHALL CONFER WITH ALL OTHER CONTRACTORS INSTALLING EQUIPMENT, PIPING, OTHER WORK, FOUNDATIONS, ETC., WHICH MAY AFFECT THEIR INSTALLATION, AND THEY SHALL ARRANGE THEIR EQUIPMENT, PIPING, ETC., IN PROPER RELATION WITH OTHER APPARATUS, AND WITH THE BUILDING CONSTRUCTION. THIS SUBCONTRACTOR SHALL ALSO CONFIRM THE ELECTRICAL CHARACTERISTICS OF THE PROJECT AND ORDER EQUIPMENT ACCORDINGLY.
 - 3.2. SPECIAL CARE SHALL BE TAKEN IN THE INSTALLATION OF ALL WORK, TO SEE THAT THEY ALL COME WITHIN THE LIMITS ESTABLISHED BY THE FINISH LINES OF ALL WALLS, FLOORS, CEILINGS, ETC.
- 3.3. THIS SUBCONTRACTOR SHALL NOTIFY THE CONTRACTOR AND OTHER SUBCONTRACTORS WHO ARE CONCERNED, OF ALL OPENINGS, FOUNDATION WORK, HANGERS, INSERTS, ANCHORS, OR OTHER PROVISIONS NECESSARY IN THEIR WORK FOR THE INSTALLATION OF THE SUBCONTRACTORS WORK, AND THEY SHALL FURNISH ALL INFORMATION AND NECESSARY MATERIALS IN AMPLI TIME SO THAT PROPER PROVISIONS CAN BE MADE FOR SAME, AND SHALL SUPPLY AND CORRECTLY AND ACCURATELY PLACE ALL INSERTS, SLEEVES, ANCHORS, ETC.
- 3.4. FAILURE TO COMPLY WITH THESE REQUIREMENTS ON THE PART OF THIS SUBCONTRACTOR WILL RENDER THEM RESPONSIBLE FOR THE COST OF CUTTING OPENINGS, INSTALLING HANGERS AND OTHER PROVISIONS AT A LATER DATE, AND THE SUBSEQUENT PATCHING, ETC., THEREBY REQUIRED.
- 3.5. NO CUTTING SHALL BE DONE WITHOUT PERMISSION. ALL SUCH WORK SHALL BE DONE BY TRADES-PERSONS SKILLED IN AND CERTIFIED FOR THIS PARTICULAR TRADE.
- 3.6. EACH SUBCONTRACTOR IS TO BE AN EXPERT IN THEIR TRADE.

GENERAL ELECTRICAL NOTES

1. GENERAL:
 - 1.1. ARRANGE FOR ESA INSTALLATION PERMIT AND INSPECTION AND FORWARD A COPY OF THE ESA CERTIFICATE TO THE ENGINEER UPON ACCEPTANCE.
 - 1.2. ENSURE THAT ALL ELECTRICAL EQUIPMENT SUPPLIED BY OTHER TRADES IS SUITABLE FOR THE RESPECTIVE VOLTAGE, CONFIRM POWER REQUIREMENTS OF ALL OWNER SUPPLIED EQUIPMENT.
 - 1.3. ALL CUTTING AND PATCHING REQUIRED FOR THE WORK OF THIS DIVISION SHALL BE CARRIED OUT BY THIS DIVISION. NO CHASING BLOCKWORK WILL BE ALLOWED. BE RESPONSIBLE AND PAY FOR ANY DAMAGE TO THE BUILDING INCURRED BY WORK OF THIS DIVISION.
 - 1.4. SUBMIT 4 COPIES OF SHOP DRAWINGS FOR REVIEW AND RECORDS.
 - 1.5. ALL MATERIALS USED THROUGHOUT SHALL BE NEW, OF BEST QUALITY C.S.A. APPROVED AND OF ONE MANUFACTURE. WHEREVER TRADE NAMES ARE NOT USED TO DESCRIBE MATERIALS, THESE MATERIALS SHALL BE OF BEST AVAILABLE QUALITY AND MANUFACTURE. OBTAIN AND PAY FOR SPECIAL HYDRO INSPECTION OF SPECIFIED NON-C.S.A. ELECTRICAL EQUIPMENT.
 - 1.6. PROVIDE ALL CONDUIT, WIRING, BOXES, SWITCHES, OUTLETS, DEVICES, ETC., AS REQUIRED, MAKE FINAL CONNECTIONS TO VIBRATING EQUIPMENT WITH FLEXIBLE CONDUIT.
 - 1.7. PROVIDE ALL HANGERS, INSERTS AND SUPPORTS OF APPROVED TYPES REQUIRED FOR THE WORK OF THIS DIVISION. PROVIDE CONDUIT FOR ALL SERVICES PENETRATING THE FLOOR SLAB. SEAL ALL PENETRATIONS THROUGH FLOOR SLABS WITH AN APPROVED NON-SHRINK, WATERPROOF AND FIREPROOF SEALANT APPROVED BY ARCHITECT. NO CONDUITS OR EQUIPMENT SHALL BE MOUNTED DIRECTLY FROM ROOF DECK. PROVIDE ALL NECESSARY UNISTRUT OR OTHER MOUNTING DETAILS TO ENABLE SUPPORT FROM TOP CHORD OF JOISTS.
 - 1.8. ALL CONDUIT SHALL BE RIGID STEEL THICK WALLED OR EMT THINWALL WITH STEEL SET SCREW COUPLINGS AND CONNECTORS WITH INSULATED THROATS UNLESS OTHERWISE NOTED. EXPOSED CONDUITS AND WIREMOLD CHANNELS SHALL BE NEAT IN APPEARANCE, RUN PARALLEL TO BUILDING LINES AND CONCENTRIC RIGHT ANGLE BENDS ONLY SHALL BE USED.
 - 1.9. ALL EMPTY CONDUITS SHALL BE COMPLETE WITH NYLON FISH WIRE.
 - 1.10. ALL WIRING SHALL BE MINIMUM #12 GAUGE COPPER, EXCEPT AS OTHERWISE NOTED. ALL WIRING SHALL BE 600 VOLT TYPE RW90. BX CABLE MAY BE USED WHERE PERMITTED BY CODE IN CEILING SPACE FOR FINAL CONNECTION TO LIGHT FIXTURE AND FROM CEILING DISTRIBUTION BOXES DOWN PARTITIONS TO RECEPTABLES ONLY. MINIMUM SIZE WIRING FOR DC WIRING SHALL BE #10 GAUGE. MAXIMUM VOLTAGE DROP SHALL NOT EXCEED 2 PERCENT.
 - 1.11. PROVIDE GROUND WIRES WITH ALL FEEDERS AND CIRCUITS IN ACCORDANCE WITH APPLICABLE CODES AND HYDRO REQUIREMENTS. PROVIDE MAIN GROUND TO HYDRO APPROVAL.
 - 1.12. CO-ORDINATE WITH OTHER TRADES IN LAYING OUT OF THE WORK SO AS NOT TO CONFLICT WITH THE WORK OF OTHER TRADES. CARRY OUT WORK PROMPTLY WHICH MAY INTERFERE WITH THE WORK SCHEDULE OF OTHER TRADES.
 - 1.13. MECHANICAL TRADES WIRING: PROVIDE ALL CONDUIT, WIRING, SPLITTERS, OUTLET BOXES AND DISCONNECT SWITCHES AS SHOWN. ALL MOTORS, STARTERS AND CONTROL WIRING PROVIDED UNDER DIVISION 15. INSTALL ALL STARTERS AND WIRE COMPLETE. CLEARLY MARK ALL EXPOSED CONDUIT, PULL BOXES, JUNCTION BOXES, ETC., TO INDICATE THE NATURE OF THE SERVICE.
 - 1.14. INSTALL ALL LIGHTING AND POWER CIRCUITS TO MEET CODES.
 - 1.15. PROVIDE LAMCROID NAMEPLATES AND TYPED/WRITTEN DIRECTORY FOR ALL PANELS.
 - 1.17. CLEAN AND TEST ALL EQUIPMENT BEFORE FINAL ACCEPTANCE IS GIVEN FOR THE WORK.
 - 1.18. AFTER THE WORK IS COMPLETED, GIVE A WRITTEN GUARANTEE FOR ONE YEAR COVERING WORKMANSHIP AND MATERIALS. REPAIR OR REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY DEFECTS DUE TO WORKMANSHIP OR MATERIALS WHICH IN THE OWNER'S OPINION, ARE NOT DUE TO MISUSE OR NEGLECT.
2. MATERIALS
 - 2.1. COVER PLATES:
 - 2.1.1. COVER PLATES FOR RECEPTABLES, SWITCHES, PILOT LIGHTS, TELEPHONE OUTLETS AND OTHER DEVICES REQUIRING COVER PLATES FOR FLUSH MOUNTED BOXES SHALL BE METAL, STAINLESS STEEL #18-8, TYPE 302, UNLESS OTHERWISE NOTED.
 - 2.1.2. WEATHERPROOF COVER PLATES SHALL BE DIECAST CORROSION RESISTANT ALUMINUM TYPE WITH TWO SEPARATE LIDS FOR DUPLEX RECEPTABLES SUITABLE FOR MOUNTING ON F.S. TYPE BOXES. ALL WEATHERPROOF COVER PLATES SHALL HAVE RUBBER OR NEOPRENE GASKETS.
 - 2.1.3. PLATES FOR SURFACE MOUNTED CAST BOXES SHALL BE GALVANIZED FORMED STEEL TYPE. COVER PLATES FOR FLUSH MOUNTED EQUIPMENT SHALL BE SUPPLIED OF QUALITY AND PERFORMANCE SPECIFIED BY THE MANUFACTURER OF THE EQUIPMENT.
 - 2.1.4. COVER PLATES SHALL NOT CARRY MANUFACTURER'S NAME.
 - 2.1.5. COVER PLATES OF QUALITY SPECIFIED SHALL BE PASS & SEYMOUR, BRYANT LEVITON, SMITH & STONE OR HARVEY HUBBELL.
 - 2.2. LIGHT SWITCHES:
 - 2.2.1. SWITCHES SHALL BE, UNLESS OTHERWISE INDICATED, BRYANT QUIET TYPE WITH WHITE SPECIFICATION GRADE FOR 120V AND HEAVY DUTY GRADE FOR 347V. LIGHT SWITCHES OF QUALITY AS MANUFACTURED BY BRYANT, P & S, ARROW HART, LEVITON AND HUBBELL SHALL BE CONSIDERED AS ACCEPTABLE AS SPECIFIED ALTERNATES.
 - 2.3. RECEPTABLES:
 - 2.3.1. RECEPTABLES SHALL BE, UNLESS OTHERWISE INDICATED, U GROUND TYPE, WHITE SCREW TERMINAL TYPE.
 - 2.3.2. RECEPTABLES SHALL BE SPECIFICATION GRADE.
 - 2.3.3. CONFIRM ALL LOCATIONS AND OUTLETS PRIOR TO INSTALLATION. ALLOW TO RELOCATE ANY OUTLET WITHIN
3. DISCONNECTS:
 - 3.1. DISCONNECT SWITCHES FOR HVAC EQUIPMENT MUST BE INSTALLED WITHIN 10'.
 - 3.2. MOTORS OTHER THAN AIR CONDITIONERS MUST HAVE DISCONNECT WITHIN SIGHT AND 30' OF THE MOTOR AND/OR STARTER.
4. CONDUITS:
 - 4.1. EMT (ELECTRICAL METALLIC TUBING) MUST BE USED IN THE FOLLOWING INDOOR APPLICATIONS:
 - 4.1.1. ALL EXPOSED AREAS (USE WIREMOLD ON EXPOSED WALLS IN FINISHED AREAS WHERE EXPOSED WIRING HAS BEEN APPROVED).
 - 4.1.2. ATTIC SPACES
 - 4.1.3. CRAWL SPACES
 - 4.1.4. LIQUIDTIGHT MUST BE USED IN THE FOLLOWING INDOOR AND OUTDOOR APPLICATIONS:
 - 4.1.4.1. LAST 5' FOR FINAL CONNECTION TO INDOOR MECHANICAL EQUIPMENT
 - 4.1.4.2. ALL OUTDOOR WIRING
 - 4.1.4.3. FLEXIBLE CABLE IS ONLY ACCEPTABLE IN THE FOLLOWING INDOOR APPLICATIONS:
 - 4.1.4.3.1. LAST 5' FOR FINAL CONNECTION TO LIGHTING AND SMALL EQUIPMENT/COMPONENTS IN CEILING SPACES
 - 4.1.4.3.2. CONCEALED IN DRYWALL WALLS AND DRYWALL CEILINGS THROUGH HOLES IN CONCRETE, BRICKS OR STEEL STUDS PROVIDED IT IS NOT SUBJECT TO MECHANICAL DAMAGE.
 - 4.1.4.3.3. ROMEX IS AN ACCEPTABLE ALTERNATE FOR ALL INDOOR WIRING IN WOOD CONSTRUCTION BUILDINGS.


FIRE ALARM SEQUENCE OF OPERATION

- IN NORMAL MODE, THE CONTROL PANEL'S ALPHA-NUMERIC DISPLAY WILL INDICATE THE DATE, TIME, AND THE 'NORMAL CONDITION'.
- SINGLE STAGE OPERATION:
- IF AN ALARM IS INITIATED IN ANY AREA OF THE BUILDING BY ONE OF THE FOLLOWING:
 - OPERATION OF A MANUAL PULL STATION,
 - OPERATION OF AN AUTOMATIC FIRE DETECTOR,
 - OPERATION OF A SPRINKLER FLOW SWITCH.
- THE MAIN FIRE ALARM CONTROL PANEL SHALL INITIATE THE FOLLOWING ALARM SEQUENCE OF OPERATIONS:
- INDICATE THE POINT OF ALARM ON THE CONTROL PANEL'S ALPHA-NUMERIC DISPLAY.
 - LIGHT THE RED COMMON ALARM LED INDICATOR ON THE CONTROL PANEL.
 - THE REMOTE ANNUNCIATOR SHALL INDICATE THE ZONE WHERE ALARM ORIGINATED BY ILLUMINATING A CORRESPONDING LABELLED RED LED INDICATOR.
 - EVERY AUDIBLE SIGNAL APPLIANCE SHALL SOUND AT A TEMPORAL RATE UNTIL MANUALLY SILENCED (MANUAL SILENCE INHIBITED DURING FIRST MINUTE OF ALARM).
 - IF SILENCED, THE "SIGNAL SILENCE" LIGHT ON THE CONTROL PANEL WILL ILLUMINATE.
 - IF SILENCED, A SUBSEQUENT ALARM WILL RE-ACTIVATE THE SIGNALS.
 - ALL ALARM STROBE SIGNALS SHALL FLASH IN "ALARM" MODE.
 - A TROUBLE INHIBIT CIRCUIT SHALL BE INITIATED TO SUPPRESS ANY TROUBLE SIGNALS DURING AN ALARM.
 - TYPE, LOCATION, TIME AND DATE OF ALARM CONDITION SHALL BE RECORDED IN THE FIRE ALARM SYSTEM EVENT HISTORY.
 - ALL DESIGNATED FANS SHALL BE AUTOMATICALLY TURNED OFF.
 - DOORS NORMALLY HELD OPEN THROUGH MAGNETIC DOOR HOLDERS SHALL BE RELEASED.
 - DOORS NORMALLY LOCKED BY MAGNETIC DEVICES SHALL BE RELEASED.
 - INITIATE EMERGENCY ELEVATOR RECALL, IF APPLICABLE.
 - ACTIVATE CONNECTION TO MONITORING SYSTEM (BY OTHERS) TO TRANSMIT A SIGNAL TO FIRE DEPARTMENT OR APPROVED CENTRAL STATION.
 - AN ALARM CAN BE RESET BY PRESSING THE "RESET" BUTTON ON THE CONTROL PANEL.
- IF A SUPERVISORY SIGNAL IS INITIATED IN ANY AREA OF THE BUILDING BY ONE OF THE FOLLOWING:
- SPRINKLER SYSTEM LOSS OF PRESSURE
 - MOVEMENT OF A FIRE PROTECTION WATER SUPPLY OR SPRINKLER VALVE.
- THE MAIN FIRE ALARM CONTROL PANEL SHALL INITIATE THE FOLLOWING ALARM SEQUENCE OF OPERATIONS:
- INDICATE THE SUPERVISORY CONDITION BY LIGHTING THE "COMMON SUPERVISORY" AMBER LED AT THE CONTROL PANEL.
 - INDICATE THE SUPERVISORY POINT (DEVICE DESCRIPTION) ON THE CONTROL PANEL'S ALPHA-NUMERIC DISPLAY.
 - SOUND THE CONTROL PANEL AUDIBLE BUZZER, AND THE REMOTE ANNUNCIATOR AUDIBLE BUZZER.
 - THE REMOTE ANNUNCIATOR SHALL INDICATE EXACT ZONE WHERE THE SUPERVISORY EVENT ORIGINATED BY ILLUMINATING A CORRESPONDING LABELLED AMBER LED INDICATOR.
 - ACTIVATE CONNECTION TO MONITORING SYSTEM (BY OTHERS) TO TRANSMIT A SIGNAL TO FIRE DEPARTMENT OR APPROVED CENTRAL STATION.
 - THE CONTROL PANEL BUZZER AND REMOTE ANNUNCIATOR BUZZER CAN BE SILENCED BY PRESSING THE "ACKNOWLEDGE" AT THE CONTROL PANEL.
- IF A TROUBLE SIGNAL IS INITIATED IN ANY AREA OF THE BUILDING BY ONE OF THE FOLLOWING:
- OPEN CIRCUIT FAULT,
 - SHORT CIRCUIT FAULT ON ADDRESSABLE LOOP, SIGNAL CIRCUIT, OR REMOTE ANNUNCIATOR CIRCUIT.
 - FAILURE OF SUPERVISED INDICATOR ON REMOTE ANNUNCIATOR,
 - DISCONNECTION OR FAILURE OF THE BATTERY PACK,
 - GROUND CONDITION ON FIELD WIRE,
 - FAILURE OF 120VAC POWER,
 - REMOVAL OR MALFUNCTION OF ADDRESSABLE DEVICE OR CONTROL PANEL COMPONENT.
- THE MAIN FIRE ALARM CONTROL PANEL SHALL INITIATE THE FOLLOWING ALARM SEQUENCE OF OPERATIONS:
- INDICATE THE TROUBLE CONDITION BY LIGHTING THE "COMMON TROUBLE" AMBER LED AT THE CONTROL PANEL.
 - INDICATE THE NATURE OF THE TROUBLE ON THE CONTROL PANEL'S ALPHA-NUMERIC DISPLAY.
 - SOUND THE CONTROL PANEL AUDIBLE BUZZER, AND THE REMOTE ANNUNCIATOR AUDIBLE BUZZER.
 - ACTIVATE CONNECTION TO MONITORING SYSTEM (BY OTHERS) TO TRANSMIT A SIGNAL TO FIRE DEPARTMENT OR APPROVED CENTRAL STATION.
 - THE CONTROL PANEL BUZZER AND REMOTE ANNUNCIATOR BUZZER CAN BE SILENCED BY PRESSING THE "ACKNOWLEDGE" AT THE CONTROL PANEL.

3	ISSUED FOR TENDER	MAY 31 A.D.	G.V.W.O.
2	RE-ISSUED FOR PERMIT	MAY 17 A.D.	G.V.W.O.
1	ISSUED FOR PERMIT	MAR 11 A.D.	G.V.W.O.
NO.	REVISION	DATE	BY APPROVED

153 KING ST. EAST, NEWCASTLE, ON
PARKVIEW SENIORS EXPANSION

ELECTRICAL NOTES & DETAILS



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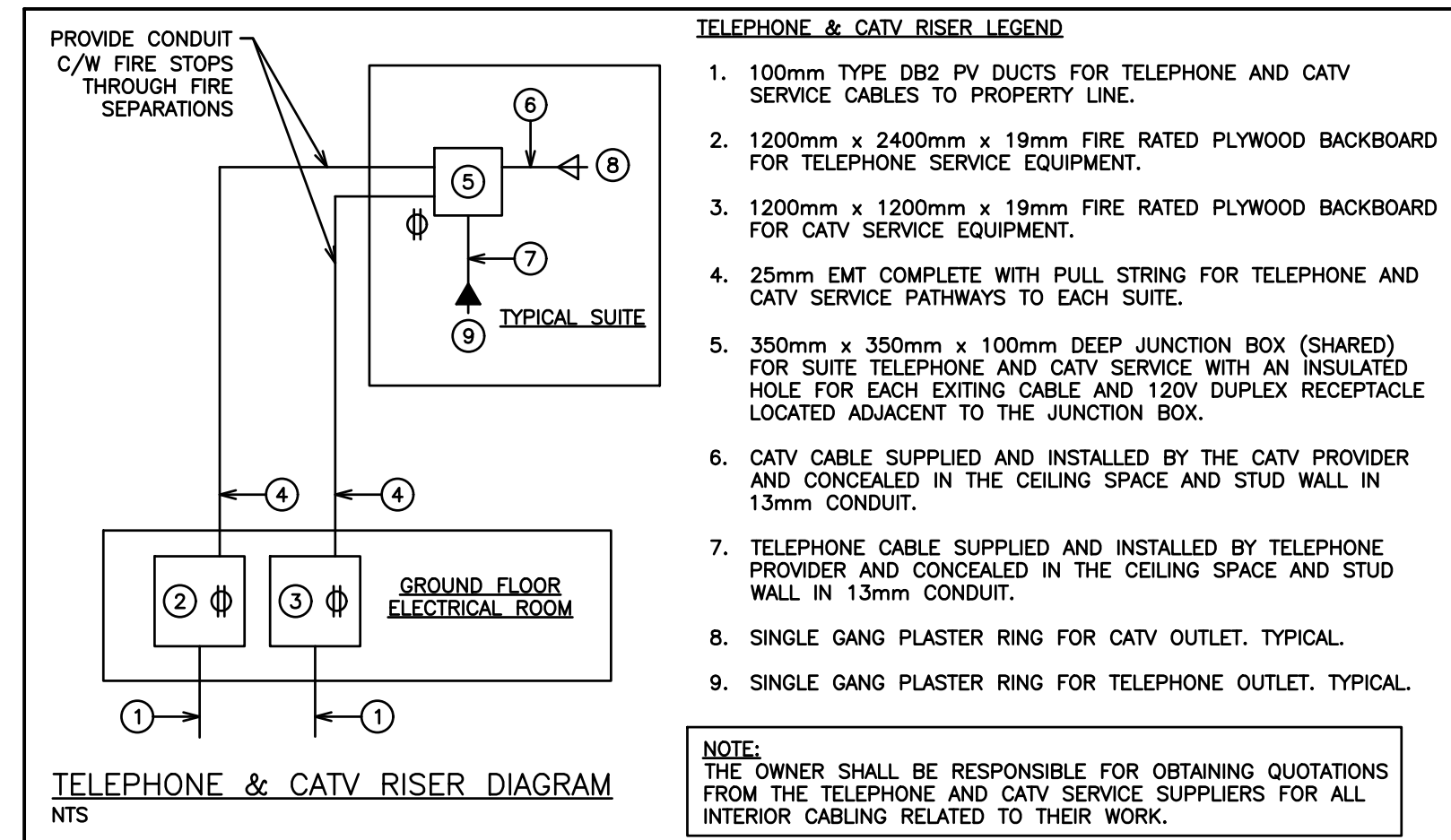
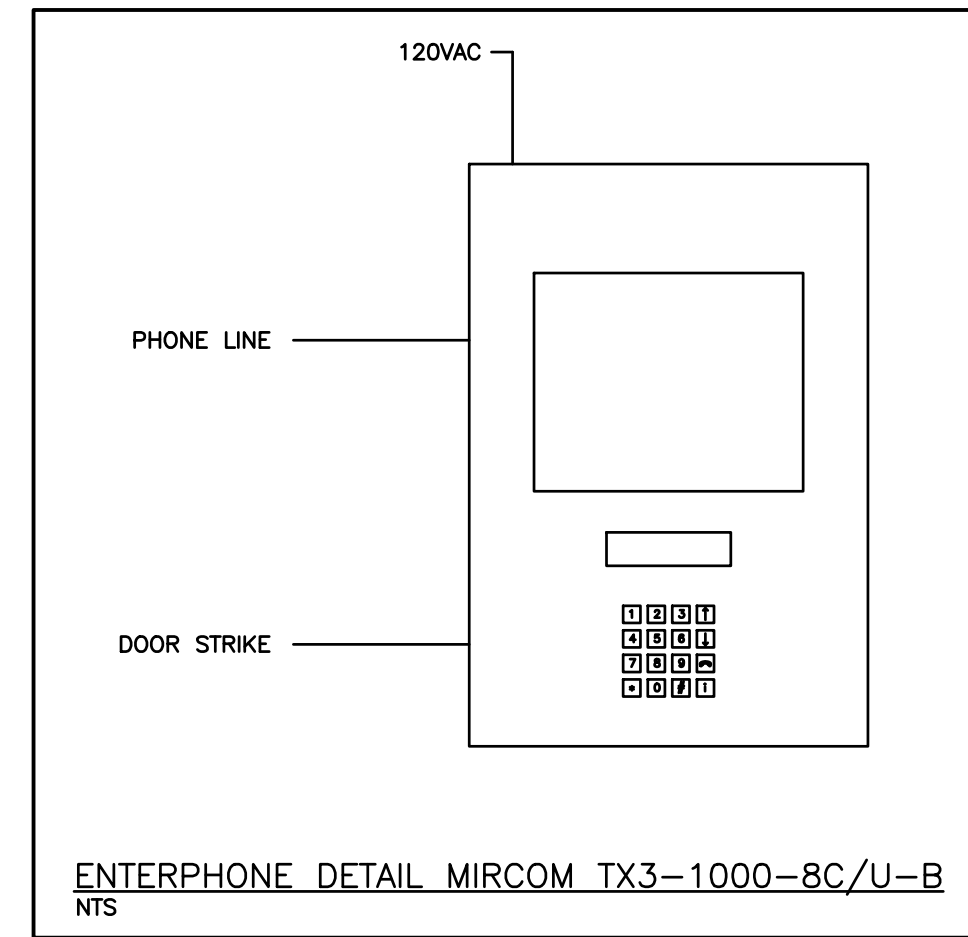
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PROJECT NO.
118129

DRAWING NO.
E1.8

CAD FILE: 118129 E
PLOT DATE: 05/31/19
SUBMISSION: TENDER

SCALE:	1:100	PROJECT NO.	118129
DRAWN BY:	A.J.D.	DRAWING NO.	E1.8
DESIGN BY:	B.C.A.	CAD FILE:	118129 E
CHECKED BY:	G.V.W.O.	PLOT DATE:	05/31/19
DATE:	MAY 2019	SUBMISSION:	TENDER



FIRE ALARM ZONES

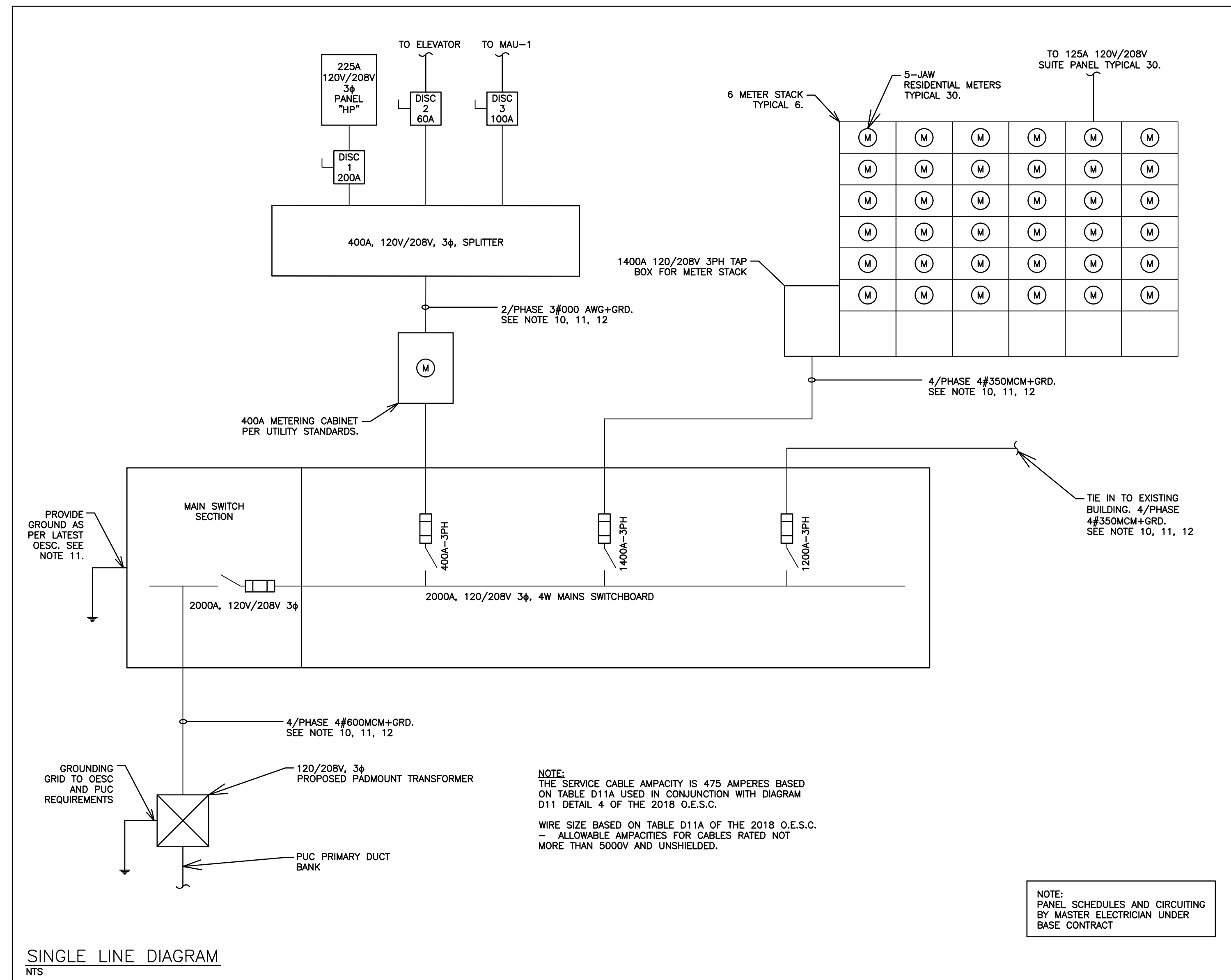
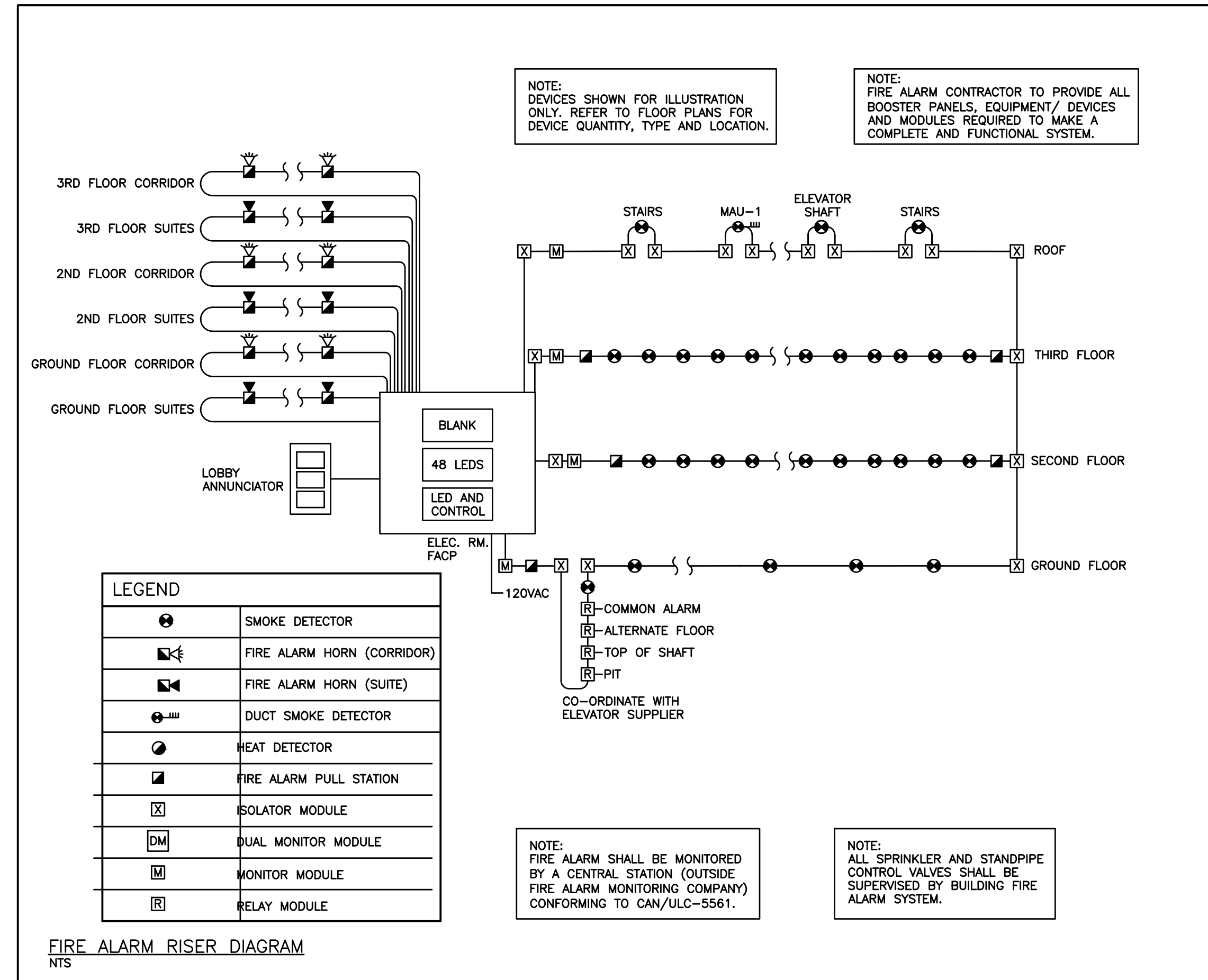
ZONE	ALARM
1	MAIN FLOOR
2	SECOND FLOOR
3	THIRD FLOOR
4	STAIRWELL
5	STAIRWELL
6	ELEVATOR SHAFT
7	DUCT SMOKE (MUA-1)
8	SPARE
9	SPARE
10	SPARE
11	SPARE
12	SPARE
13	SPARE
14	SPARE
15	SPARE
16	SPARE
17	SPARE
18	SPARE
19	SPARE
20	SPARE
21	SPARE
22	SPARE
23	SPARE
24	SPARE
25	SPARE
26	SPARE
27	SPARE
28	SPARE
29	SPARE
30	SPARE

CIRCUITS

- HORN CIRCUIT MAIN FLOOR COMMON
- HORN CIRCUIT MAIN FLOOR SUITES
- HORN CIRCUIT SECOND FLOOR COMMON
- HORN CIRCUIT SECOND FLOOR SUITES
- HORN CIRCUIT THIRD FLOOR COMMON
- HORN CIRCUIT THIRD FLOOR SUITES
- FAN SHUT DOWN (MAU-1)

NOTES:

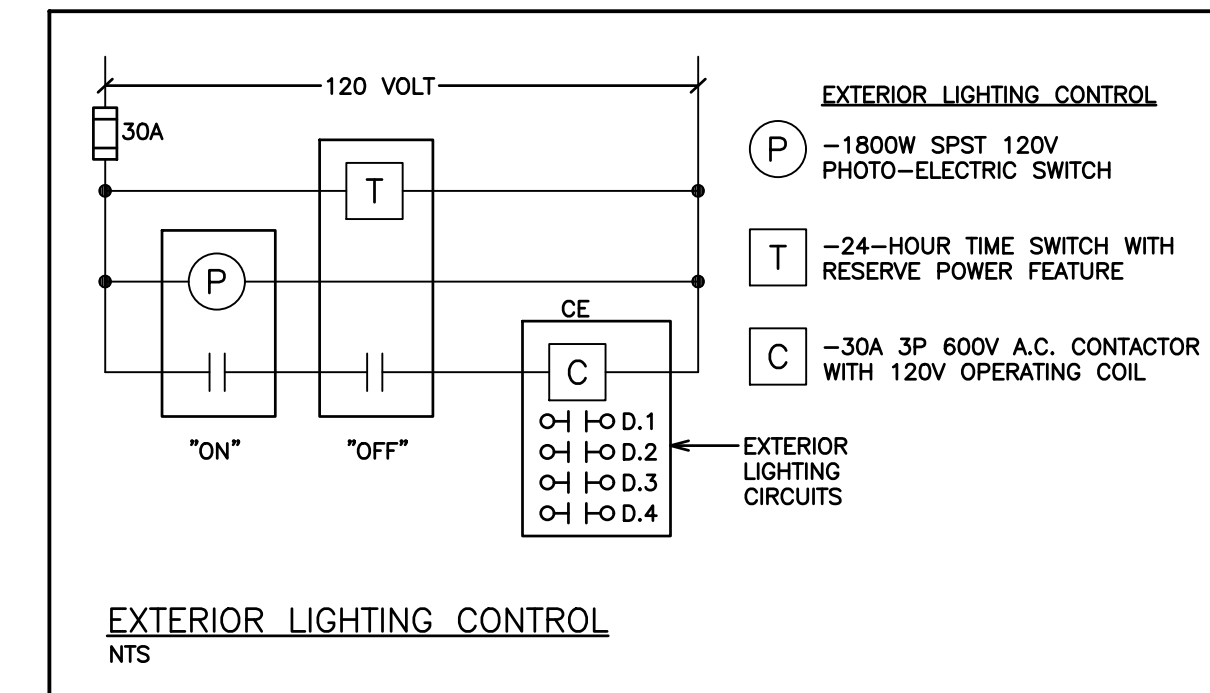
- 1) PROVIDE RELAYS AS REQUIRED FOR ELEVATOR RECALL.
- 2) PROVIDE ISOLATION MODULES ON ADDRESSABLE LOOP AS REQUIRED BY CODE.
- 3) SYNCHRONIZE ALL SIGNAL CIRCUITS EQUIPPED WITH STROBES.



- GENERAL REQUIREMENTS FOR SITE ELECTRICAL WORK**
- ALL EQUIPMENT MUST BE APPROVED BY AN ACCREDITED APPROVAL AGENCY, OR ACCEPTED THROUGH FIELD EVALUATION OR BY AN INSPECTOR UNDER THE PROVISION OF RULE 2-024 OF THE CURRENT ONTARIO ELECTRICAL SAFETY CODE.
 - AT EACH DISTRIBUTION POINT, CIRCUIT BREAKERS, FUSES AND SWITCHES SHALL BE MARKED, ADJACENT THERETO, IN A CONSPICUOUS AND LEGIBLE MANNER TO INDICATE CLEARLY WHICH INSTALLATION OR PORTION OF INSTALLATION THEY PROTECT OR CONTROL AND THE MAXIMUM RATING OF OVERCURRENT DEVICE THAT IS PERMITTED. RULE 2-100(3).
 - RACEWAYS ENTERING A BUILDING AND FORMING PART OF AN UNDERGROUND SERVICE SHALL BE SEALED AND SHALL:
 - ENTER THE BUILDING ABOVE GROUND WHERE PRACTICABLE; OR
 - BE SUITABLY DRAINED; OR
 - BE INSTALLED IN SUCH A WAY THAT MOISTURE AND GAS WILL NOT ENTER THE BUILDING. RULE 6-300(3).
 - WHERE WARNING TAPE IS USED TO COMPLY WITH RULE 12-012(11), THE TAPE MUST BE BURIED APPROXIMATELY HALFWAY BETWEEN THE INSTALLATION AND GRADE LEVEL, COVERING THE WIDTH OF THE RACEWAYS OR CABLES INSTALLED.
 - A MINIMUM WORKING SPACE OF 1m WITH SECURE FOOTING SHALL BE PROVIDED AND MAINTAINED ABOUT ELECTRICAL EQUIPMENT SUCH AS SWITCHBOARDS, PANELBOARDS, CONTROL PANELS, AND MOTOR CONTROL CENTRES WHICH ARE ENCLOSED IN METAL. RULE 2-308.
 - ALL OVERCURRENT PROTECTION SHALL BE CAPABLE OF INTERRUPTING THE AVAILABLE FAULT CURRENT. RULE 14-012.
 - EVERY PANELBOARD SHALL BE PROTECTED ON THE SUPPLY SIDE BY OVERCURRENT DEVICES HAVING A RATING NOT GREATER THAN THAT OF PANELBOARD. RULE 14-606(1)
 - THE RATING OR SETTING OF OVERCURRENT DEVICES SHALL NOT EXCEED THE ALLOWABLE AMPACITY OF THE CONDUCTORS THAT THEY PROTECT. RULE 14-104.
 - RULE 14-102 REQUIRES GROUND FAULT PROTECTION ON GROUNDED CIRCUITS MORE THAN 150 VOLTS TO GROUND AND 1000 AMPERES OR MORE. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SWITCHGEAR MANUFACTURER TO CO-ORDINATE THE GROUND FAULT SENSING METHOD WITH EACH PARTICULAR GROUNDING ARRANGEMENT.
 - CONTRACTOR TO CONFIRM ALL CONDUCTOR LENGTHS AND SIZES DUE TO VOLTAGE DROP AND ELECTRICAL LOADING PRIOR TO ORDERING AND INSTALLATION OF MATERIALS. TYPICAL.
 - ALL ALTERNATING-CURRENT SYSTEM COMPONENTS SHALL BE GROUNDED IN ACCORDANCE WITH RULE 10-106(1) AND SHALL HAVE A GROUNDED CONDUCTOR WITH A MINIMUM SIZE AS SPECIFIED FOR BONDING CONDUCTORS IN TABLE 16
 - WIRE SIZE BASED ON ALLOWABLE AMPACITIES FOR RW90 COPPER CONDUCTORS.

FIRE ALARM SYSTEM SCHEDULE

DEVICE	MANUFACTURER	MODEL
SMOKE DETECTOR	MIRCOM	MIX-2251B
DUCT SMOKE DETECTOR	MIRCOM	MIX-DH3000 SERIES
PULL STATIONS	MIRCOM	MS-401AD
MINI-HORN	MIRCOM	MH-S25WA
HORN/STROBE COMBO	MIRCOM	FHS-340R
ADDRESSABLE MODULES	MIRCOM	MIX-M500M/MIX-M500DM/MIX-500R
FIRE ALARM CONTROL PANEL	MIRCOM	FX-2017-12ADS C/W ALC-396S, RM-1008A, FOUR(4) SGM-1004A, TWO(2) RAX-1048TZDS



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