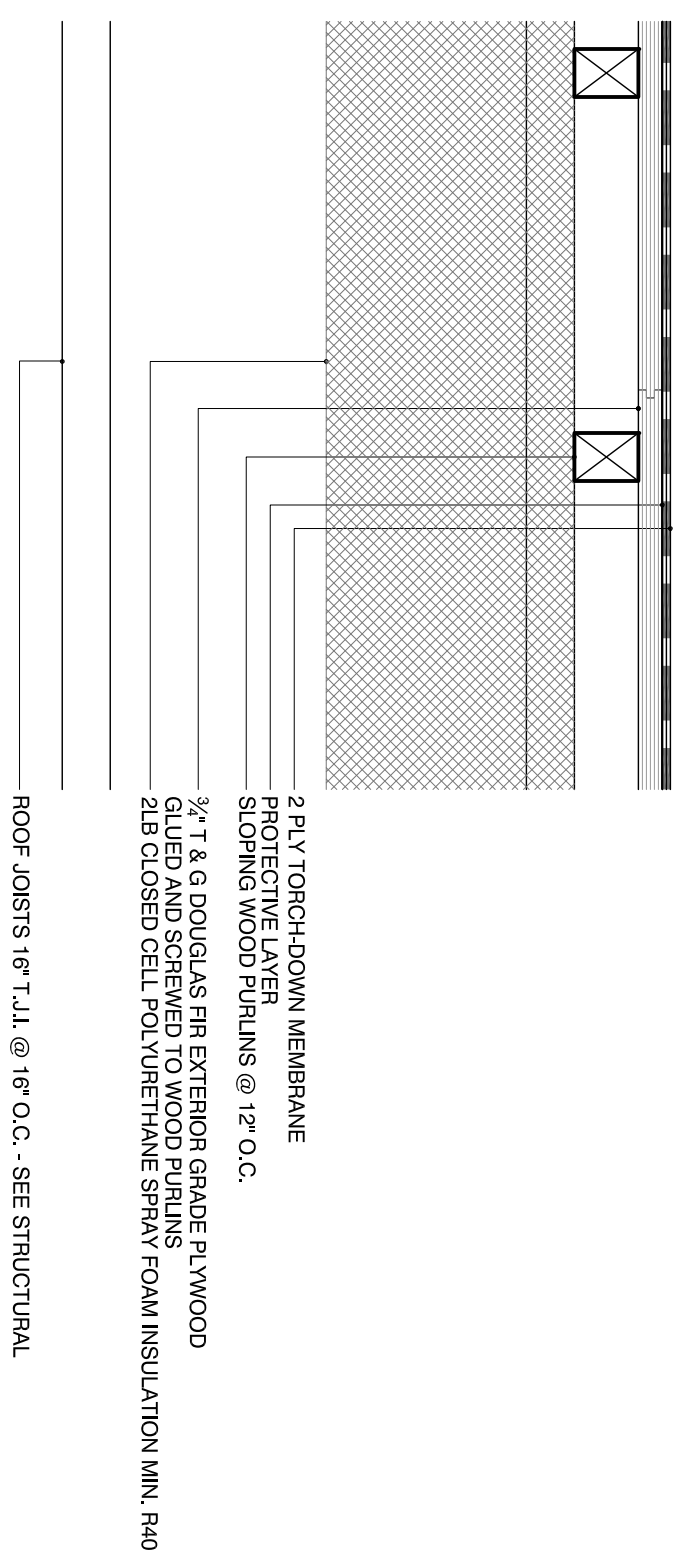


- A-0000 TITLE SHEET & DRAWING LIST
- A-0010 CONSTRUCTION NOTES & WALL SECTIONS
- A-0020 ROOF, FLOOR & WALL TYPE DETAILS
- A-0200 SITE PLAN & SITE STATISTICS
- A-1100 PLANS FOOTING & FOUNDATION
- A-1110 PLANS GROUND FLOOR
- A-1600 ROOF PLAN
- AB-1800 BUILDING ELEVATIONS AS-BUILT
- AB-1810 BUILDING ELEVATIONS AS-BUILT
- A-1800 BUILDING ELEVATIONS
- A-1810 BUILDING ELEVATIONS
- A-6800 CONSTRUCTION DETAILS

<p>Architect MCH2HOK/ARCHITECT 79 Victoria Avenue Toronto, Ontario M5G 1S1, Canada Tel: 416-593-9132 www.mch2hok.com</p>	<p>Engineer/Architect 5101 Eglinton Road East, Cummer, One-Storey Addition to Existing Special One-Storey Addition 2020/01/17 2020/01/18</p>	<p>The consultant must verify dimensions and data shown here, including on the site and is responsible for providing any discrepancy to the Architect with all Bids and Construction Submittals over the project and shall.</p> <p>All drawings, specifications and related documents are the property and intellectual property of the Architect. No part of these documents shall be reproduced without written permission from the Architect. These drawings shall be used for the project only and shall not be used for any other project. Any reuse of these drawings shall be the responsibility of the user.</p>	<p>Project Name 5101 Eglinton Road East, Cummer, One-Storey Addition to Existing Special One-Storey Addition</p> <p>Project No. 2020/01/17 2020/01/18</p> <p>Scale As Shown</p> <p>Sheet No. A-0000</p>
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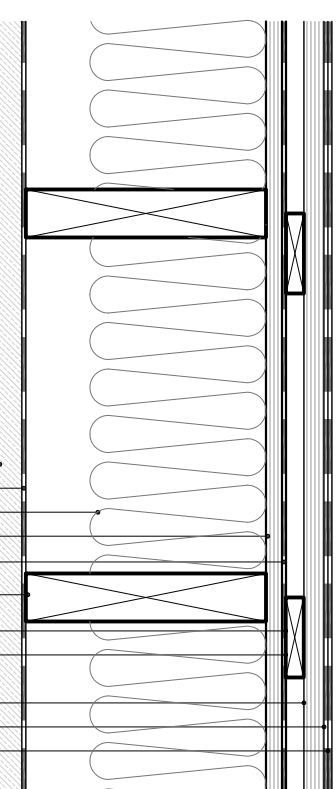
ROOF TYPES

R1 : ROOF ASSEMBLY TYPE '1'



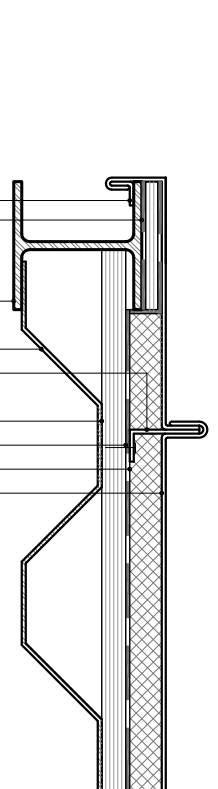
DROP CEILING 24" x 24" x 3/4" ACOUSTIC TILE IN SUSPENDED PREFINISHED METAL FRAME TO MATCH EXISTING @ 5'0" A.F.F.

R2 : ROOF ASSEMBLY TYPE '2'



2 PLY TORCH-DOWN MEMBRANE PROTECTED OVER SLOPING WOOD PURLINS @ 12" O.C. 1/2" X VARIES WAINING GRADE PLYWOOD STRAPPING @ 12" O.C. EXISTING WOOD JOISTS - SEE STRUCTURAL EXISTING WOOD JOISTS - SEE STRUCTURAL EXISTING MEMBRANE ROOF EXISTING INSULATION (R22 MINIMUM) VAPOUR BARRIER POLYETHYLENE 6 MIL TO BE MAINTAINED EXISTING 5/8" (1) LAYER GYPSUM BOARD

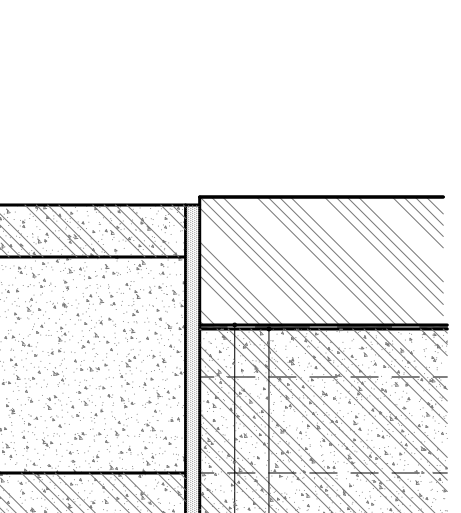
R3 : ROOF ASSEMBLY TYPE '3'



METAL SHEET ROOFING W/ 1" STANDING SEAM IN BLACK PAN7 FINISH
1" MINERAL WOOL INSULATION IN AIR SPACE
FULLY ADHERED HIGH TEMPERATURE SHEET MEMBRANE TO EXISTING WOOD JOISTS
1/2" STEEL STRUTTER STRIP GALVANIZED FINISH 16 GAUGE @ 12" O.C.
STEEL 54 X 3/8 FRAME GALVANIZED FINISH - SEE STRUCTURAL
1/2" EXTERIOR GRADE PLYWOOD SUBSTRATE GLEUED TO STEEL
1" STEEL 3" WAINING STRIP GALVANIZED FINISH 16 GAUGE CONTINUOUS

WALL TYPES

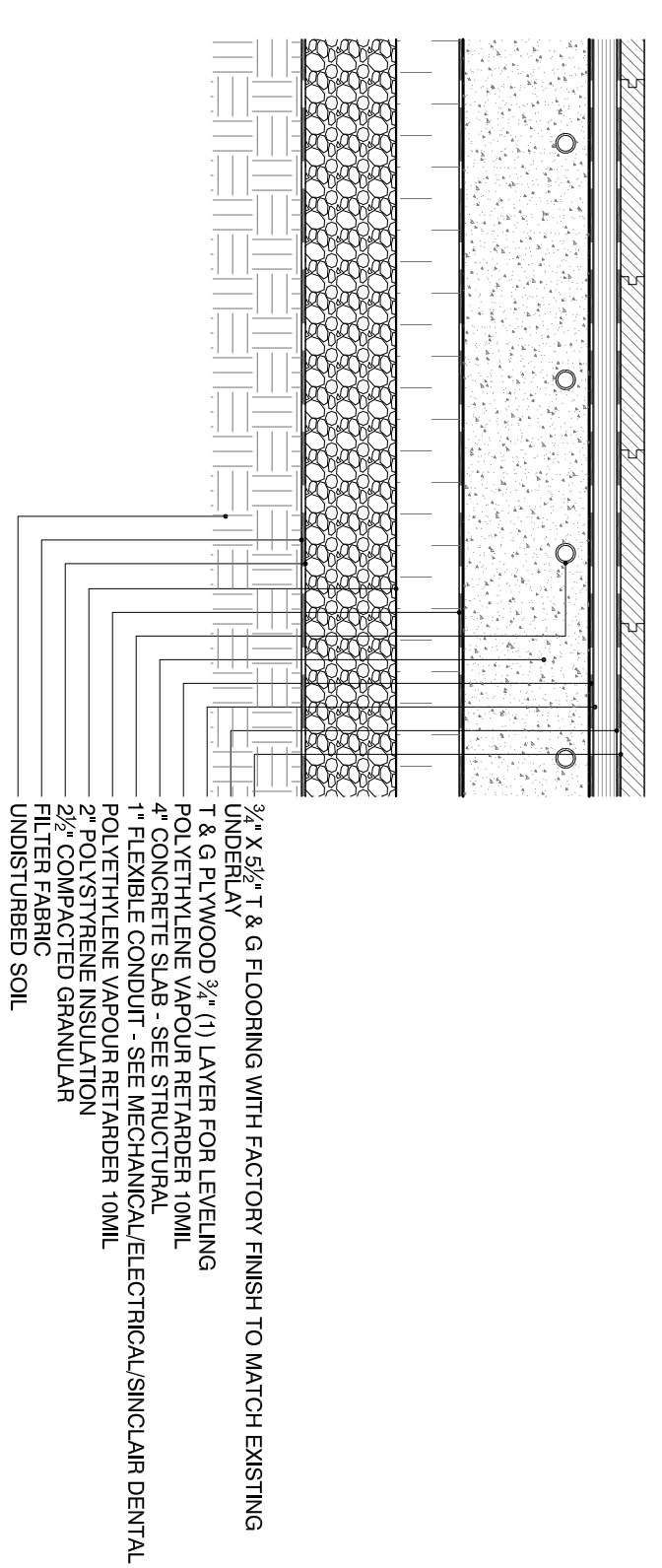
P9 : PARTITION TYPE '9'



DAMP-ROOFING
PRECAST CONCRETE MASONRY UNITS TO MATCH EXISTING
6" (150MM) CONCRETE MASONRY UNIT

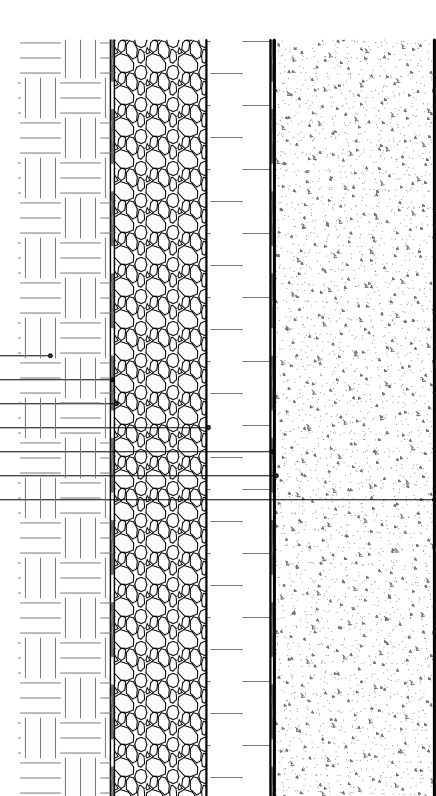
FLOOR TYPES

F1 : FLOOR ASSEMBLY TYPE '1'



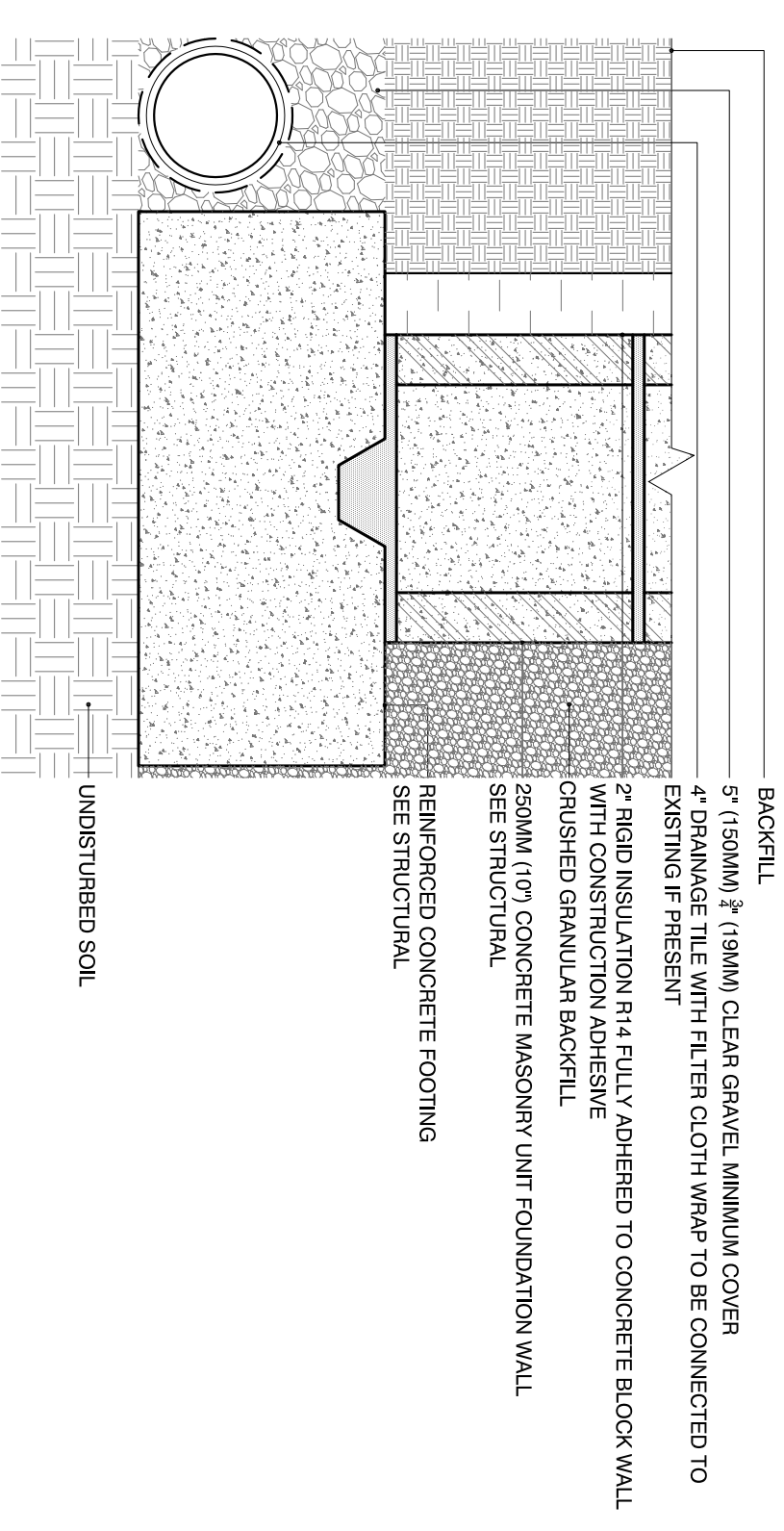
3/8" X 5/8" 1 & 3/8 FLOORING WITH FACTORY FINISH TO MATCH EXISTING UNDERLAY
1 & 3/8 GYPSUM BOARD (1) LAYER FOR LEVELING
4" CONCRETE SLAB - SEE STRUCTURAL
FLEXIBLE JOINT - SEE MECHANICAL/ELECTRICAL/SIGNAL/DENTAL
2" POLYSTYRENE INSULATION
2" COMPACTED GRANULAR
UNDISTURBED SOIL

F2 : FLOOR ASSEMBLY TYPE '2'



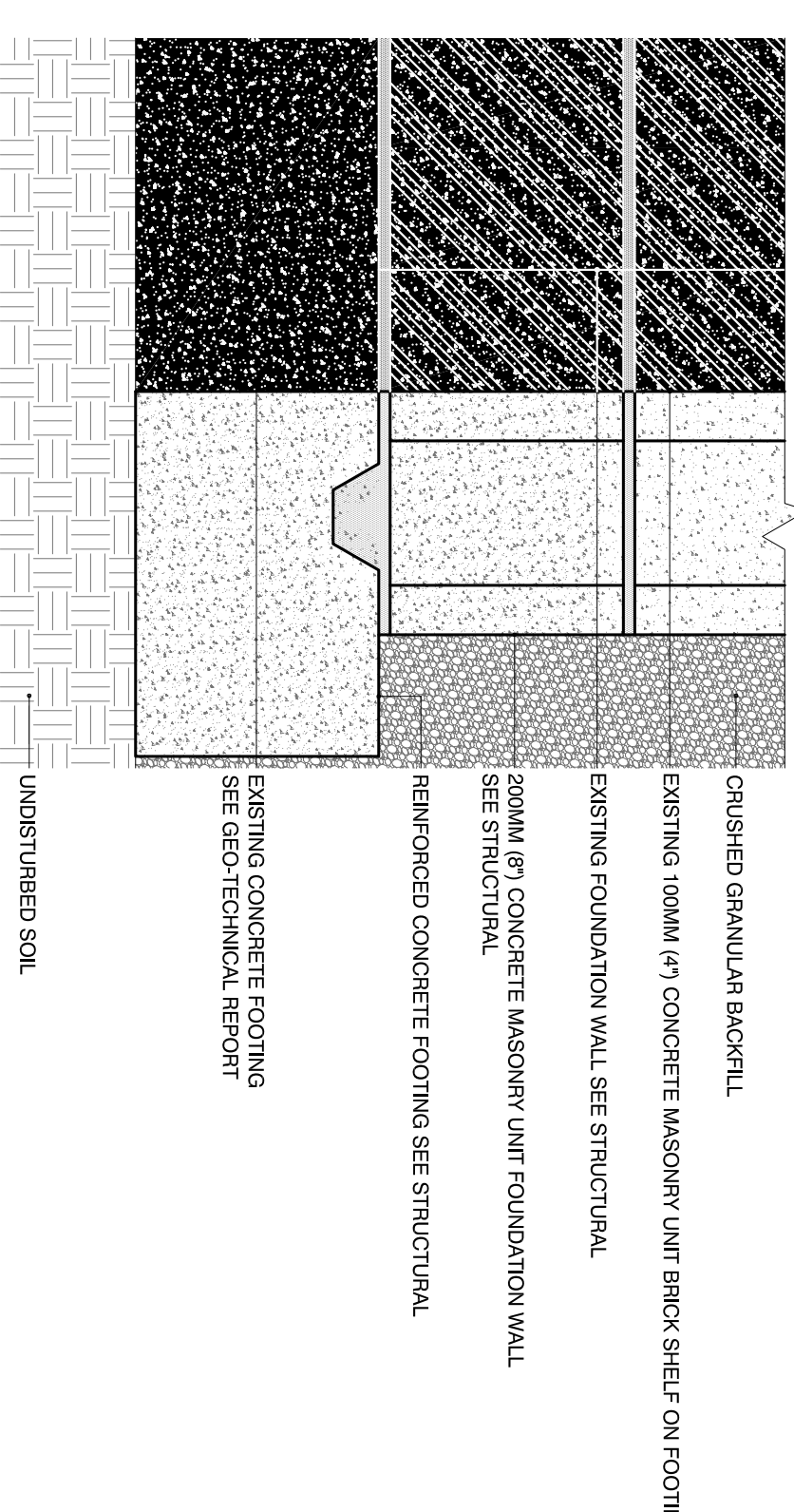
GROUPING EDGE: POLISHED FINISH
5" REINFORCED CONCRETE FLOOR
POLYETHYLENE VAPOUR BARRIER 10MIL
2" POLYSTYRENE INSULATION
FILTER FABRIC
UNDISTURBED SOIL

F3 : FOOTING ASSEMBLY TYPE '3'



BACKFILL
5" (125MM) 3/4" (19MM) CLEAR GRAVEL MINIMUM COVER
4" (100MM) TILE WITH FILTER CLOTH W/ 2" TO BE CONNECTED TO EXISTING IF PRESENT
2" RIGID INSULATION R4 FULLY ADHERED TO CONCRETE BLOCK WALL WITH CONSTRUCTION ADHESIVE
CRUSHED GRANULAR BACKFILL
250MM (10") CONCRETE MASONRY UNIT FOUNDATION WALL
REINFORCED CONCRETE FOOTING
SEE STRUCTURAL
UNDISTURBED SOIL

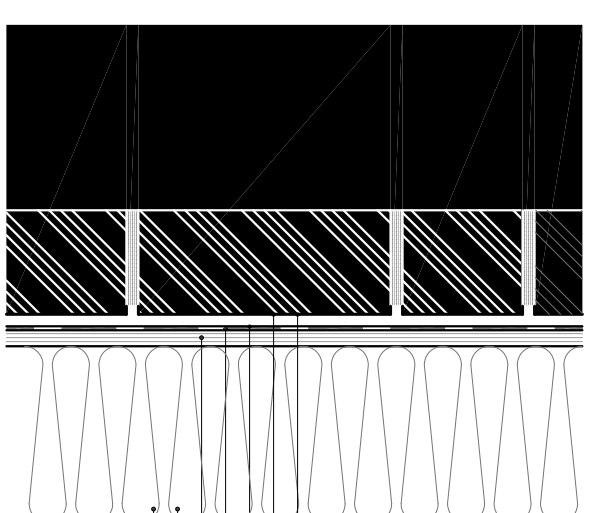
F4 : FOOTING ASSEMBLY TYPE '4'



CRUSHED GRANULAR BACKFILL
EXISTING 100MM (4") CONCRETE MASONRY UNIT BRICK SHELF ON FOOTING
EXISTING FOUNDATION WALL SEE STRUCTURAL
200MM (8") CONCRETE MASONRY UNIT FOUNDATION WALL SEE STRUCTURAL
REINFORCED CONCRETE FOOTING SEE STRUCTURAL
EXISTING CONCRETE FOOTING SEE GEO-TECHNICAL REPORT
UNDISTURBED SOIL

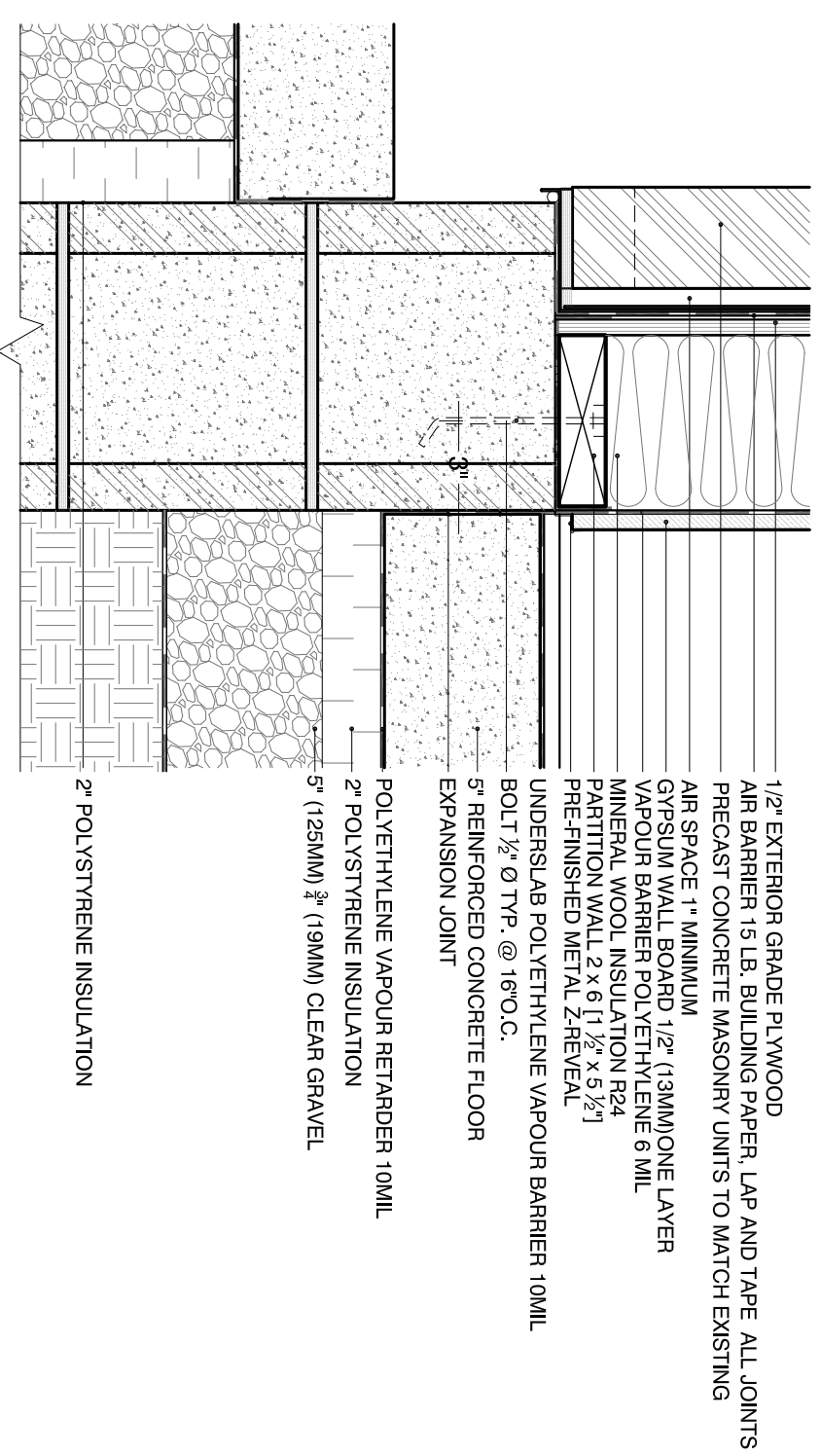
WALL TYPES

P1 : PARTITION TYPE '1'



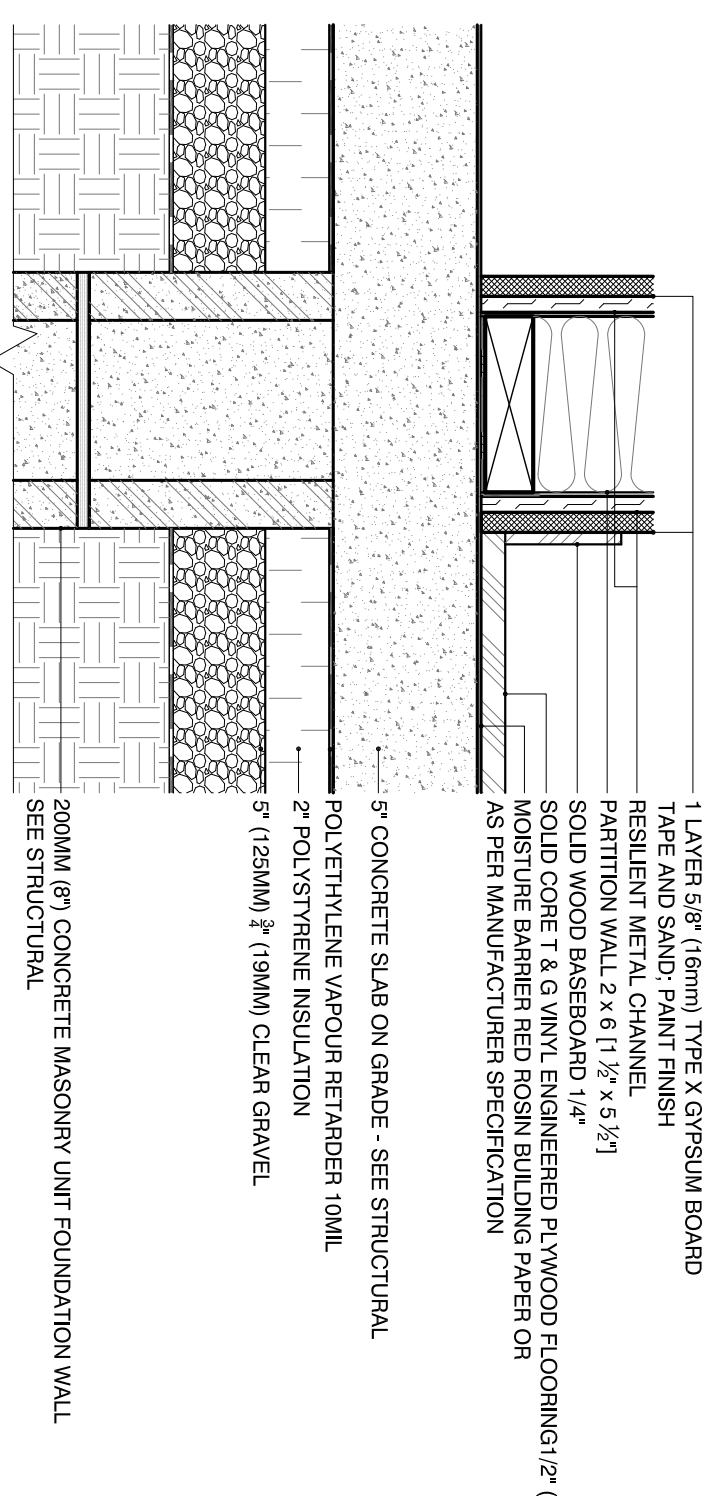
EXISTING EXTENSION WALL ASSEMBLY
EXISTING PRECAST CONCRETE MASONRY UNITS
AIR BARRIER 15 LB. BUILDING PAPER LAP AND TAPE ALL JOINTS
EXTERIOR GRADE PLYWOOD 1/2" (1) STRAPPING AS REQUIRED
MINERAL WOOL INSULATION 5" (125) @ 16" O.C.
GYPSUM WALL BOARD 1/2" (12.5MM) ONE LAYER

P2 : PARTITION TYPE '2'



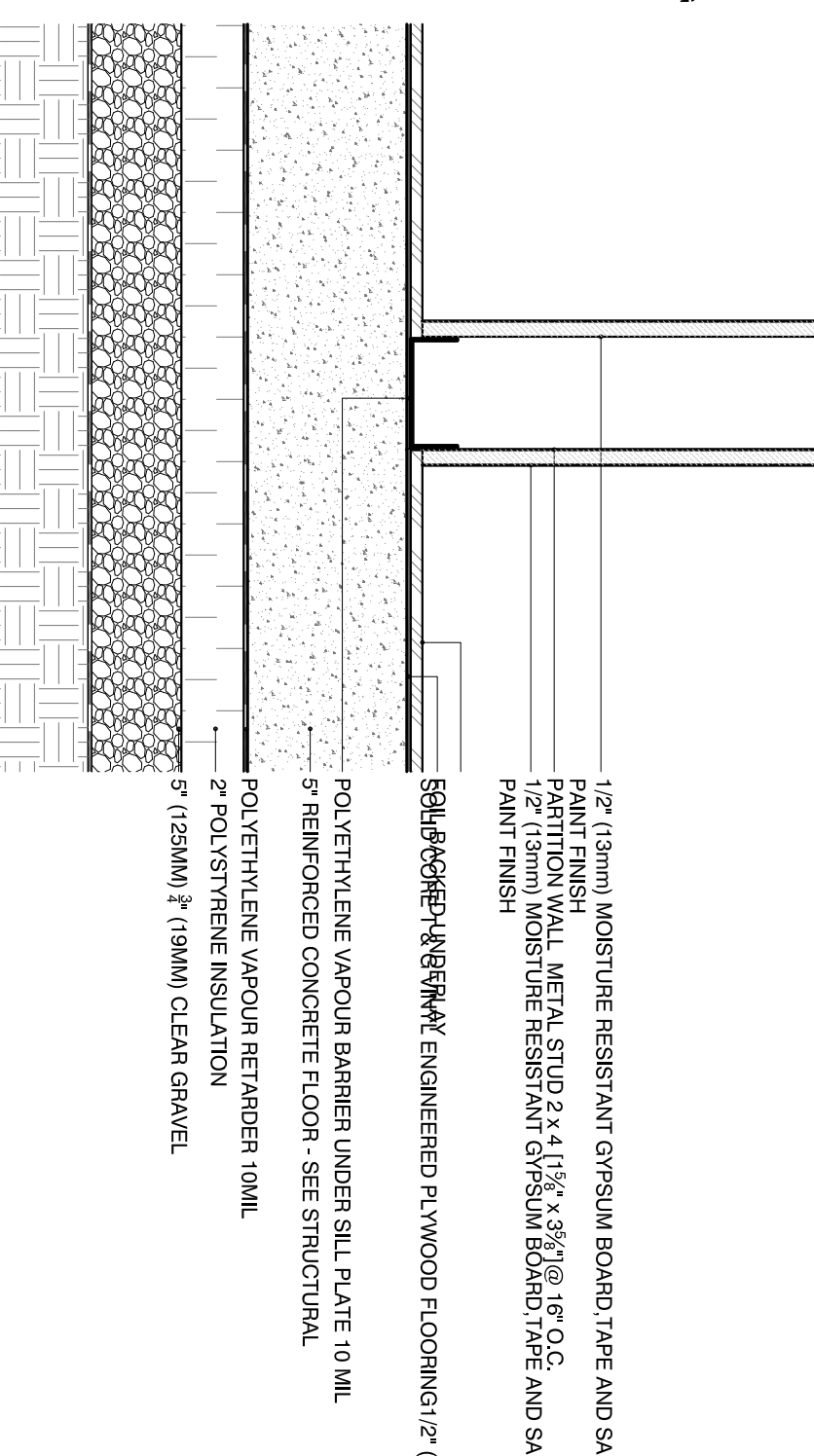
1/2" EXTERIOR GRADE PLYWOOD
AIR BARRIER 15 LB. BUILDING PAPER LAP AND TAPE ALL JOINTS
PRECAST CONCRETE MASONRY UNITS TO MATCH EXISTING
AIR SPACE 1" MINIMUM
AIR BARRIER 1/2" (12.5MM) ONE LAYER
VAPOUR BARRIER POLYETHYLENE 6 MIL
MINERAL WOOL INSULATION R24
PRE-FINISHED METAL SHEET
UNDERSLAB POLYETHYLENE VAPOUR BARRIER 10MIL
BOLT 1/2" Ø TYP. @ 3' O.C.
5" REINFORCED CONCRETE FLOOR
EXPANSION JOINT
POLYETHYLENE VAPOUR BARRIER 10MIL
2" POLYSTYRENE INSULATION
5" (125MM) 3/4" (19MM) CLEAR GRAVEL

P3 : PARTITION TYPE '3'



1 LAYER 5/8" (16mm) TYPE-X GYPSUM BOARD
TAPE AND SAND-PAINT FINISH
RESILIENT METAL CHANNEL
SOLID WOOD BASEBOARD 1/4" THICKENED PLYWOOD PLANKING (2" (51) MOISTURE BARRIER RED RESIN BUILDING PAPER OR AS PER MANUFACTURER SPECIFICATION)
5" CONCRETE SLAB ON GRADE - SEE STRUCTURAL
POLYETHYLENE VAPOUR BARRIER 10MIL
2" POLYSTYRENE INSULATION
5" (125MM) 3/4" (19MM) CLEAR GRAVEL

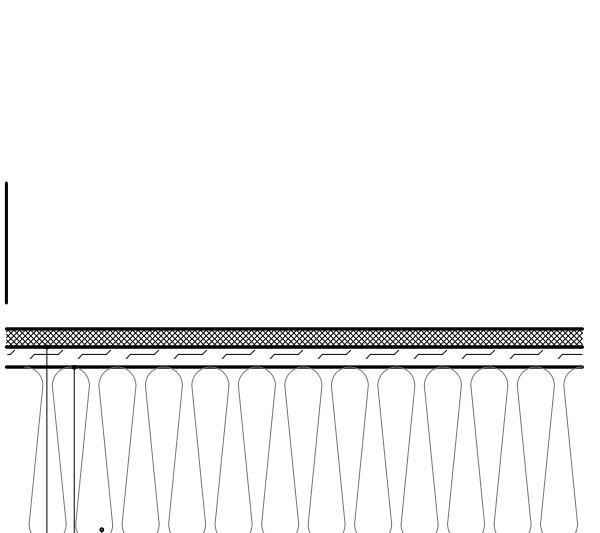
P4 : PARTITION TYPE '4'



1/2" (12.5mm) MOISTURE RESISTANT GYPSUM BOARD, TAPE AND SAND-PAINT FINISH
PARTITION WALL METAL STUD 2 x 4 (1 1/2" x 3 3/8") @ 16" O.C.
MOISTURE RESISTANT GYPSUM BOARD, TAPE AND SAND-PAINT FINISH
SOLID CONCRETE VAPOUR ENGINEERED PLYWOOD FLOORING (2" (51) LAYER)
POLYETHYLENE VAPOUR BARRIER UNDER SILL PLATE 10 MIL
5" REINFORCED CONCRETE FLOOR - SEE STRUCTURAL
POLYETHYLENE VAPOUR BARRIER 10MIL
2" POLYSTYRENE INSULATION
5" (125MM) 3/4" (19MM) CLEAR GRAVEL

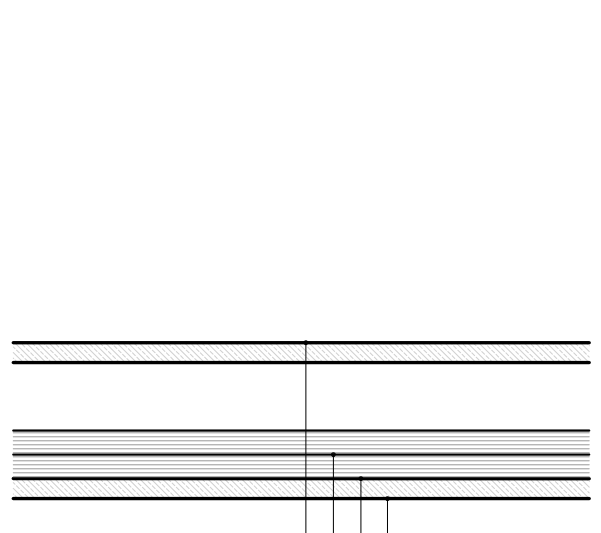
WALL TYPES

P5 : PARTITION TYPE '5'



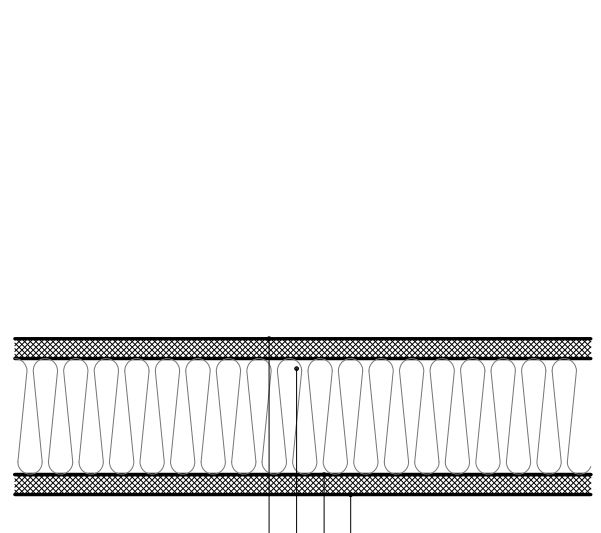
1 HR FIRE SEPARATION (UL-C-W407 MODIFIED)
RESILIENT METAL CHANNEL
PARTITION WALL 2 x 6 (1 1/2" x 5 3/8") @ 16" (400 mm) O.C.
5 1/2" (140mm) MINERAL WOOL INSULATION (R25)
1 LAYER 5/8" (16mm) TYPE X GYPSUM BOARD TAPE AND SAND-PAINT FINISH

P6 : PARTITION TYPE '6'



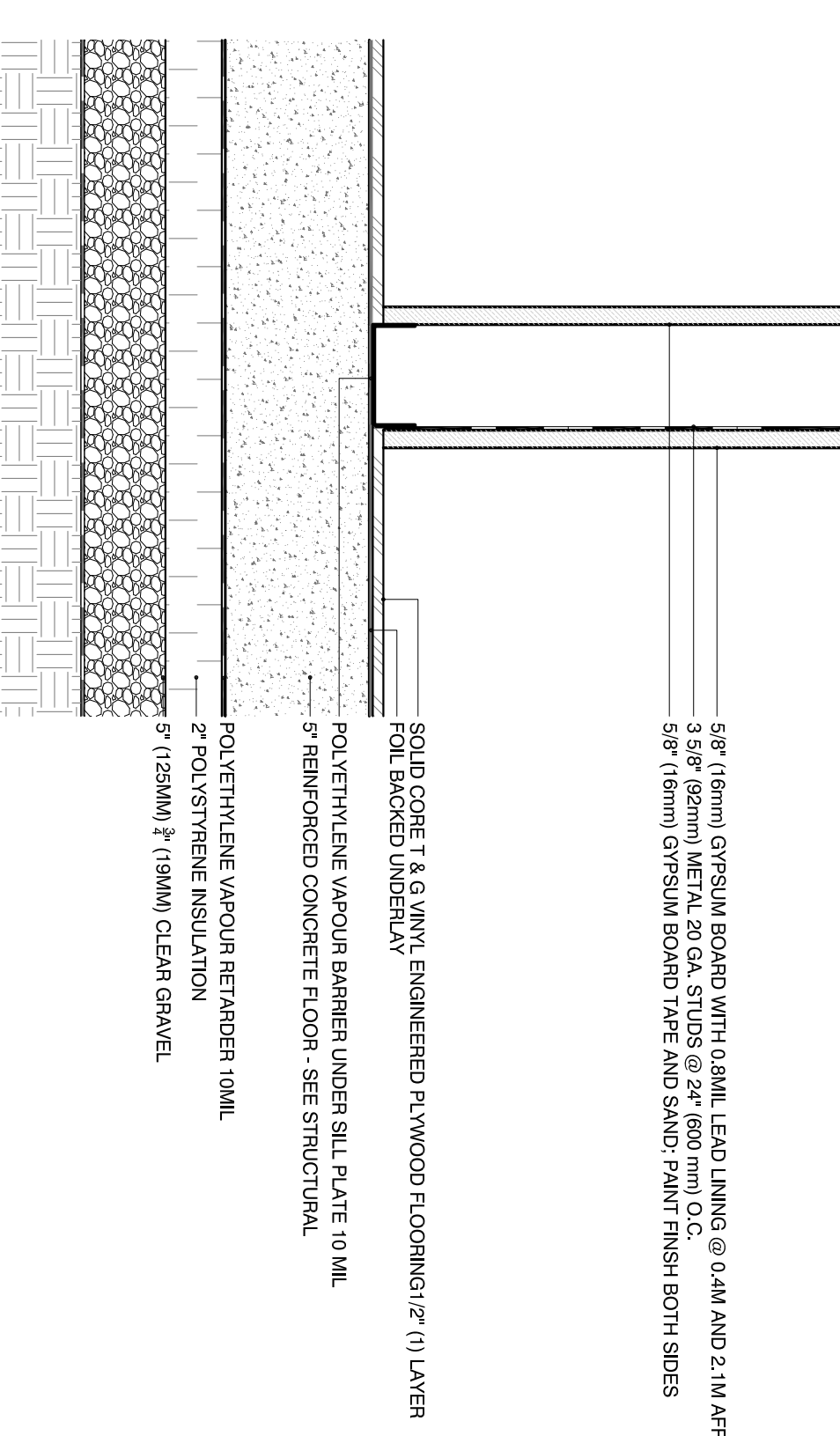
5/8" (16mm) GYPSUM BOARD
3 5/8" (92mm) METAL 20 GA. STUDS @ 16" (400 mm) O.C. @ 4 F.F.
5/8" (16mm) GYPSUM BOARD TAPE AND SAND-PAINT FINISH

P7 : PARTITION TYPE '7'



1 HR FIRE SEPARATION (UL-C-W407 MODIFIED)
1 LAYER 5/8" (16mm) TYPE X GYPSUM BOARD, O.C.
3 1/2" (89mm) MINERAL WOOL INSULATION (R17)
1 LAYER 5/8" (16mm) TYPE X GYPSUM BOARD TAPE AND SAND-PAINT FINISH

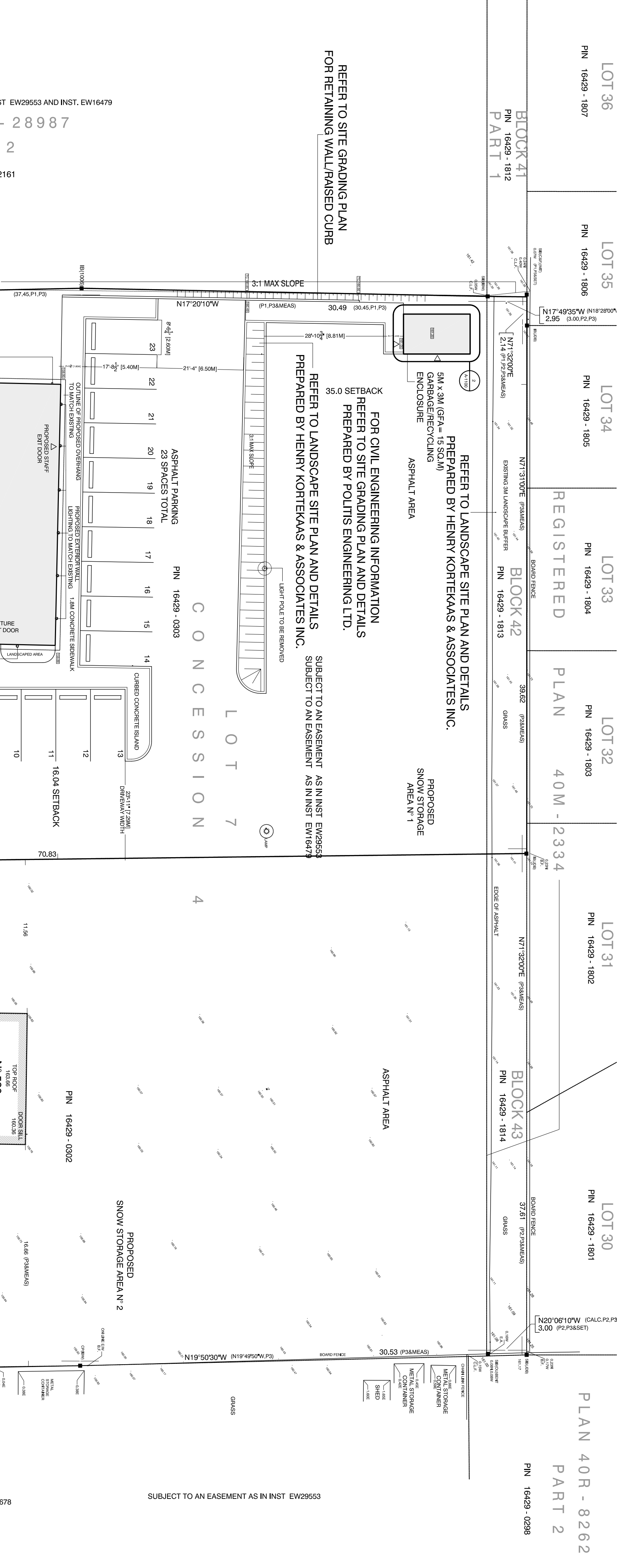
P8 : PARTITION TYPE '8'



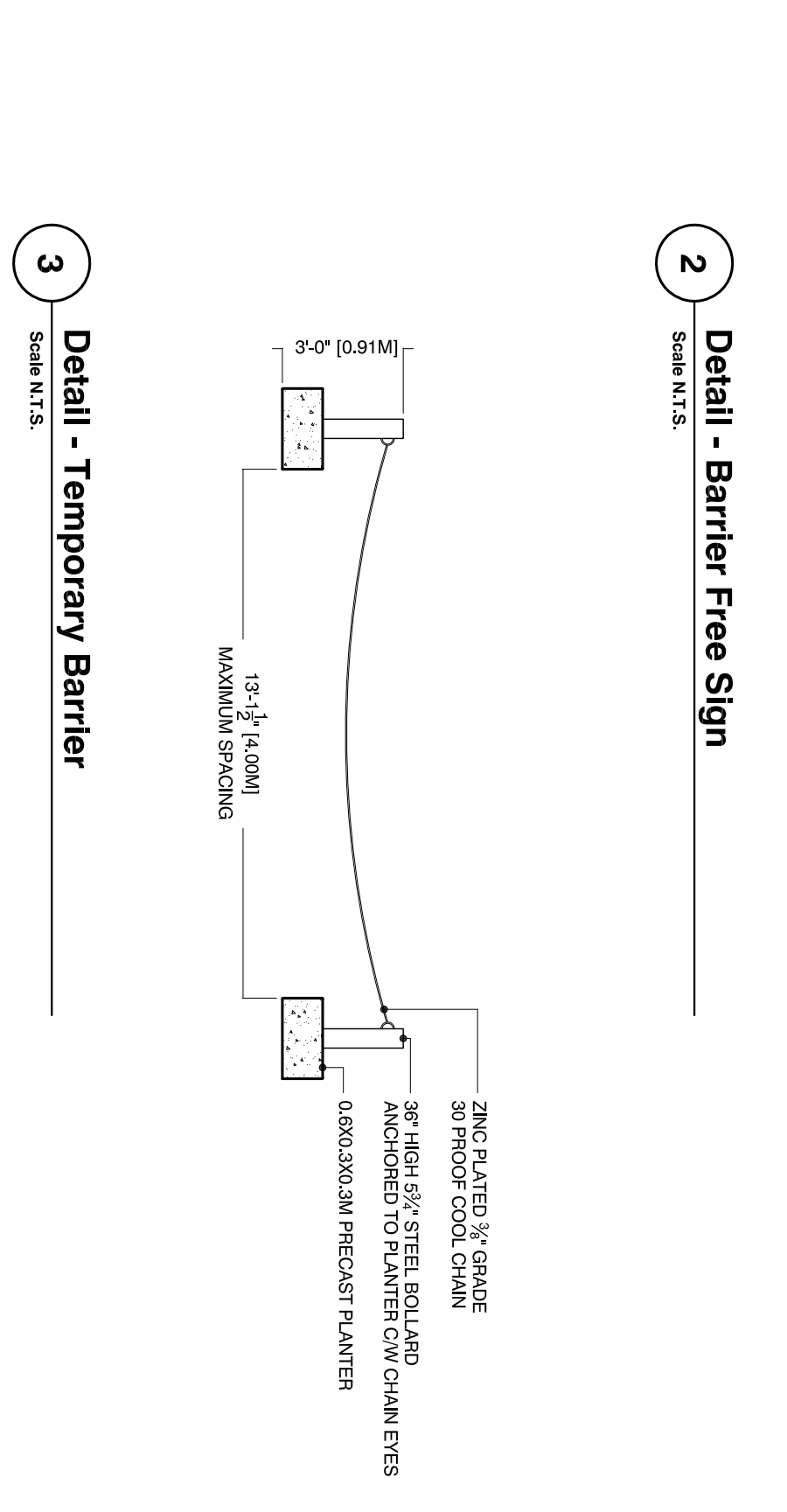
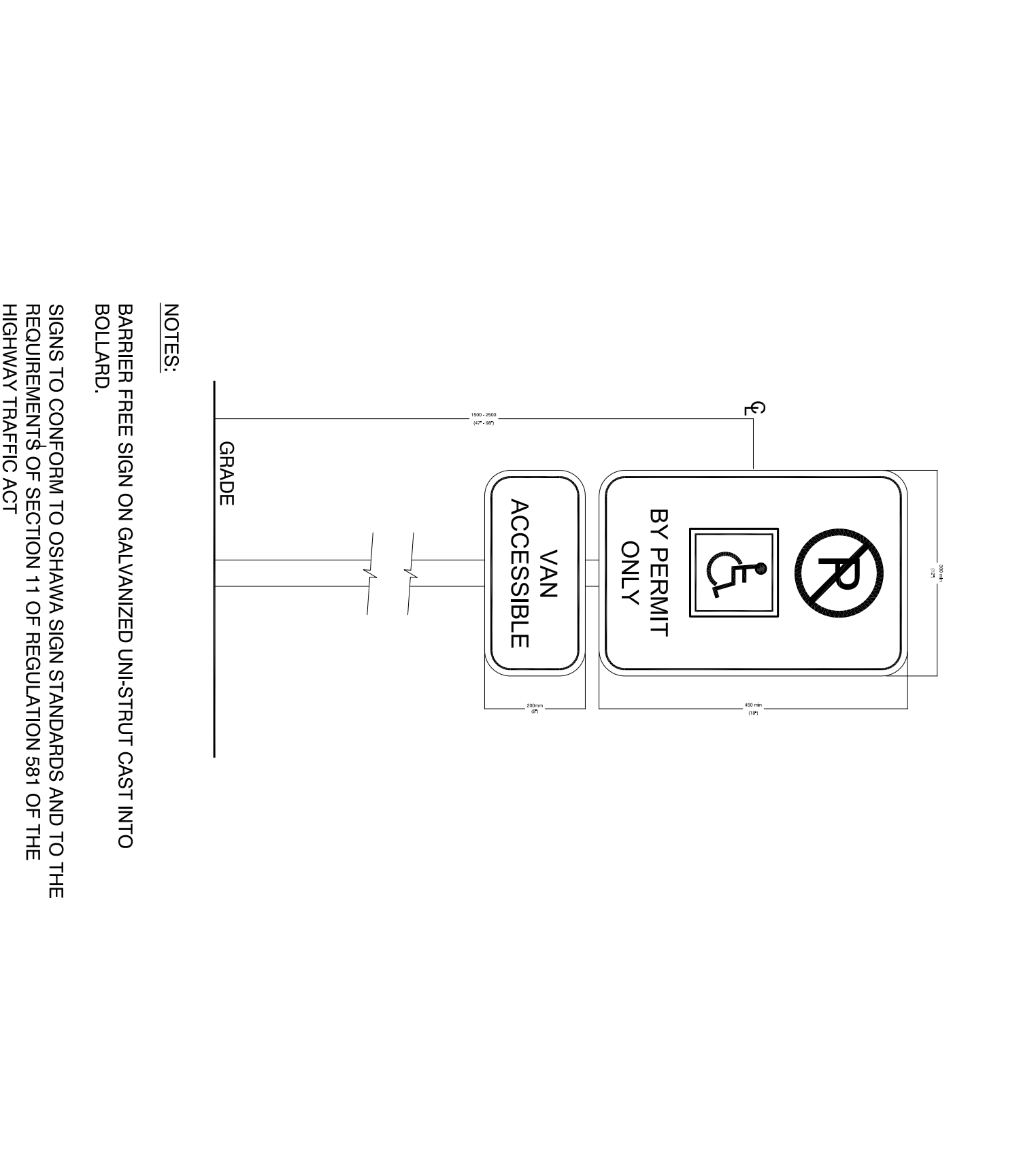
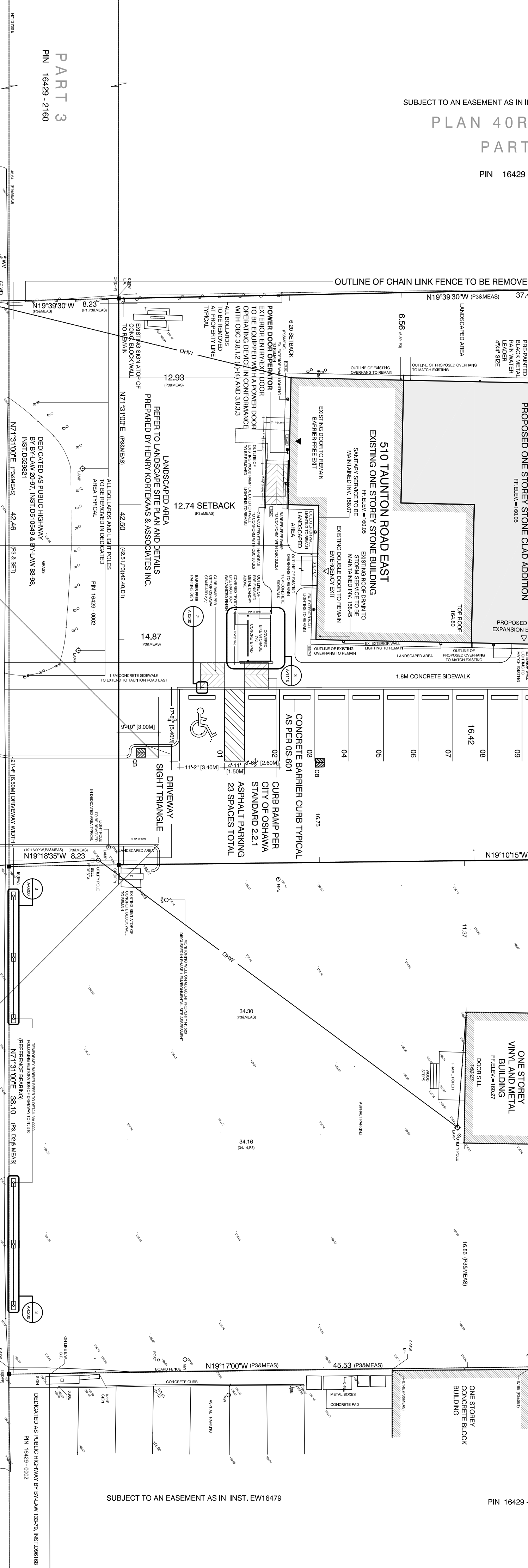
SOLID CORE 1 & 3/8 W/VV ENGINEERED PLYWOOD FLOORING (2" (51) LAYER)
POLYETHYLENE VAPOUR BARRIER UNDER SILL PLATE 10 MIL
POLYETHYLENE VAPOUR BARRIER 10MIL
2" POLYSTYRENE INSULATION
5" (125MM) 3/4" (19MM) CLEAR GRAVEL

1 Roof, Floor and Wall Types

Scale: 3/4" = 1'-0"



SITE STATISTICS	
LEGAL DESCRIPTION:	BLOCK 42, REGISTERED PLAN 40M-2334, PART OF LOT 7, CONCESSION 4
ZONING:	PSC-A- PLANNED STRIP COMMERCIAL
LOT AREA:	3,009 sq.m. (32,387 SF)
LOT FRONTAGE:	42.50m
SETBACKS:	REQUIRED PROVIDED
MIN INTERIOR SIDE YARD AND REAR YARD DEPTH	ABUTTING RESIDENTIAL 4.5 35.1
	ABUTTING COMMERCIAL 0.0 6.2
COVERAGE:	
EXISTING	199.68 sq.m. 6.6%
ADDITION INCL. GARBAGE TOTAL	241.16 sq.m. 8.0%
	440.84 sq.m. 14.7%
HEIGHT:	1 STOREY, 4.65m (13.0m MAX)
PARKING AREA COVERAGE	1666 sq.m. (55.4%)
PARKING REQUIREMENTS:	REQUIRED PROVIDED
(1/19 sq. m. GROSS FLOOR)	23 23
STANDARD PARKING SPACE DIMENSIONS:	2.6m x 5.4m
ACCESSIBLE PARKING REQUIREMENTS:	1 TYPE A SPACE WHERE THERE ARE 25 PARKING SPACES OR MORE
ACCESSIBLE PARKING DIMENSIONS:	3.5m x 5.4m
LOADING SPACE REQUIREMENTS:	GFA < 450 sq.m. = NOT REQD
LANDSCAPE COVERAGE:	680.8 sq.m. (22.6%)

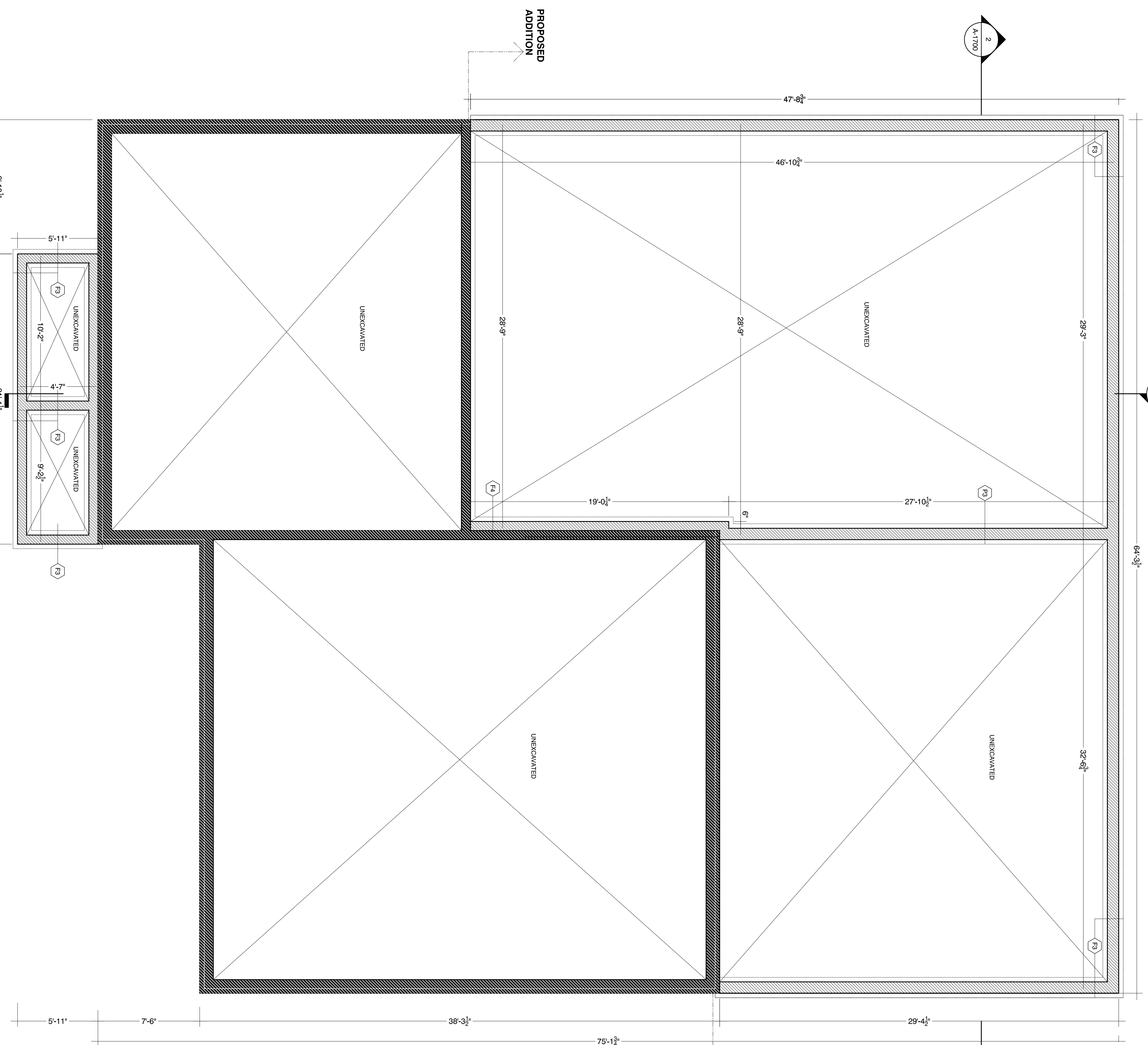


1 Site Plan
Scale 1 : 200

510 Taunton Road East, Oshawa, One-Storey Addition to Existing
Special (One and One Half Storey)
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2020/03/18
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PROPOSED
ADDITION

PROPOSED
ADDITION

1

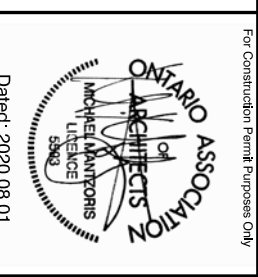
Footing and Foundation Plan

Scale 1/4" = 1'-0"

1

Professional Engineer
 State of Florida
 License No. 25874
 Date of Issue: 05/19/2019
 Expiration Date: 05/19/2024
 Category: Structural Engineering
 Name: MICHAEL R. ZACHARIEVICZ
 Firm Name: MICHAEL R. ZACHARIEVICZ & ASSOCIATES, INC.
 Firm Address: 1215 S.W. 15th Street, Suite 201, Ft. Lauderdale, FL 33304
 Firm Phone: (954) 562-1111
 Firm Fax: (954) 562-1112
 Firm Email: info@mzandassociates.com
 Firm Website: www.mzandassociates.com

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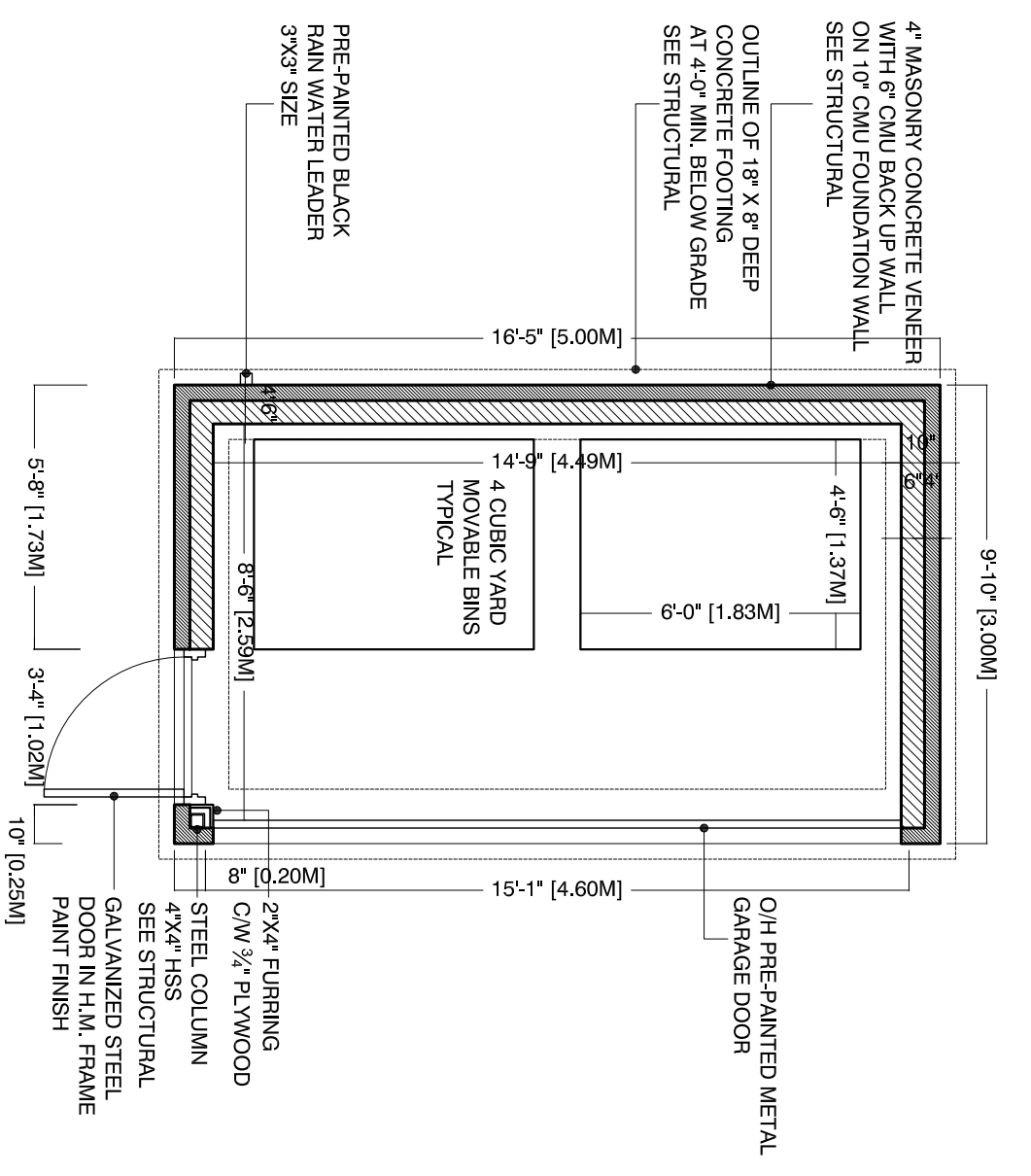
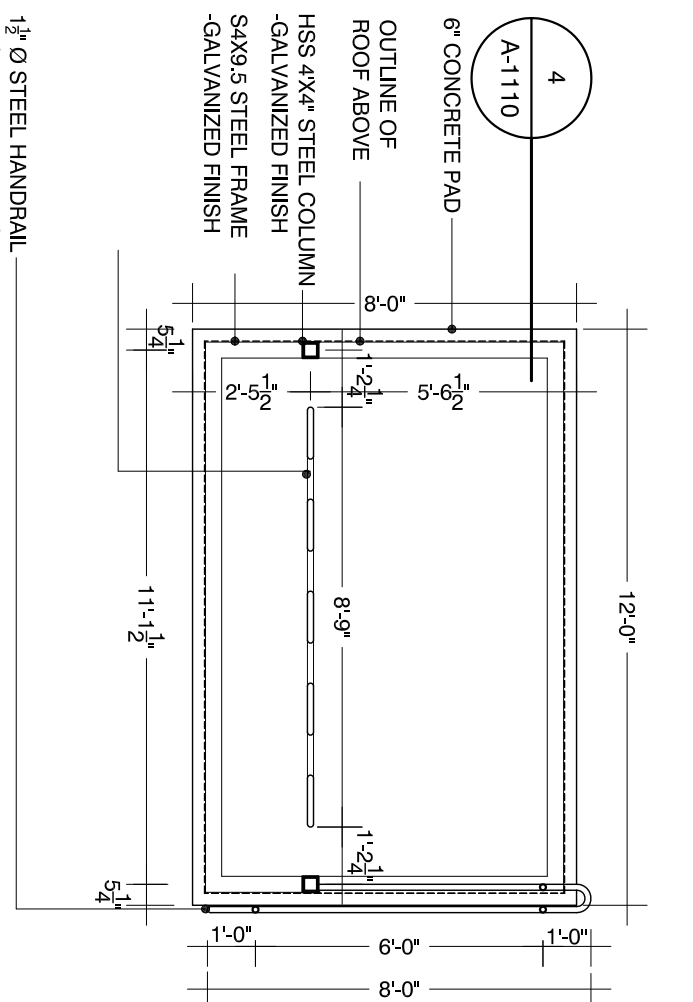
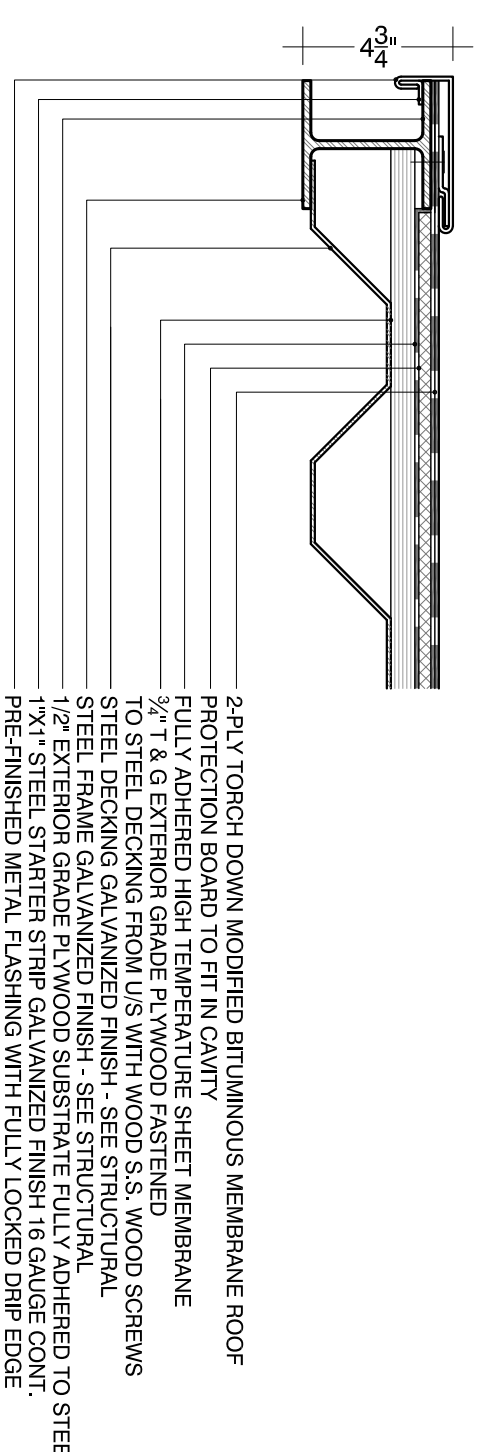
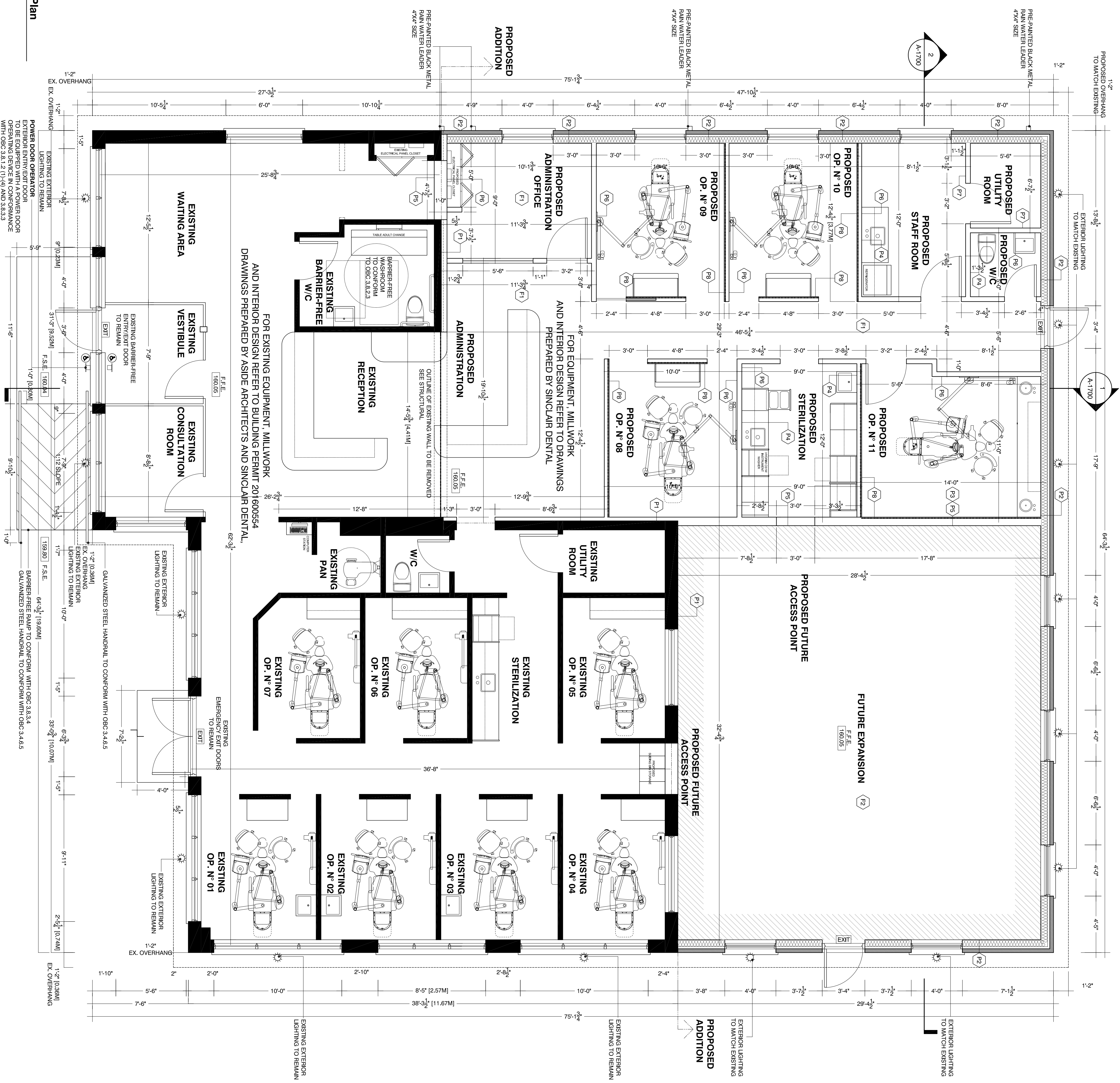


The professional shall verify, approve and seal every drawing and specification prepared by him or her or under his or her direct supervision and shall be responsible for the accuracy of the content of the drawings and specifications prepared by him or her or under his or her direct supervision. All drawings, specifications and related documents are the property of the professional and shall remain the property of the professional. These drawings shall not be used for any other project without the written permission of the professional. The professional shall be responsible for any and all changes made to the drawings and specifications prepared by him or her or under his or her direct supervision.

MICHAEL R. ZACHARIEVICZ
 7916 S.W. 15th Street, Suite 201, Ft. Lauderdale, FL 33304
 Phone: (954) 562-1111
 Fax: (954) 562-1112
 Email: info@mzandassociates.com
 Website: www.mzandassociates.com

Sheet No.	Description	Date
510	Foundation Footing, Columns, One-Story Addition to Existing	2020/03/17
511	Structural Steel Decking	2020/03/18
512	Structural Steel Decking	2020/03/18
513	Structural Steel Decking	2020/03/18

Sheet No. A-1100
 Date: 2020/03/17



1 Ground Floor Plan

Scale 1/4" = 1'-0"

2 Garbage Enclosure Floor Plan

Scale 1/4" = 1'-0"

3 Bicycle Storage Floor Plan

Scale 1/4" = 1'-0"

4 Bicycle Storage Canopy Roof Assembly Section Detail

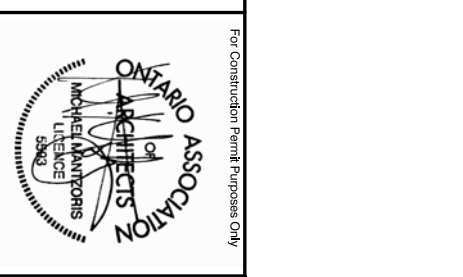
Scale 1/4" = 1'-0"

Ground Floor Plans

Project	2020.03.17
Sheet Title	2020.03.17
Author	2020.03.17
Checker	2020.03.17
Date	2020.03.17
Scale	1/4" = 1'-0"
Drawn by	2020.03.17
Checked by	2020.03.17
Project	2020.03.17

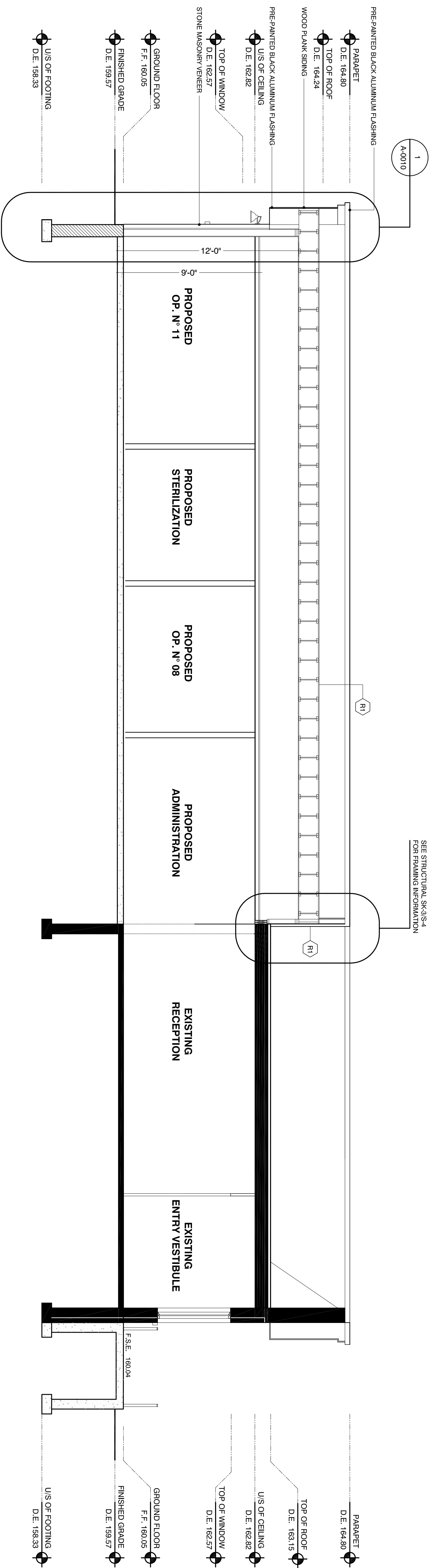
A-1110

Midwest Architectural

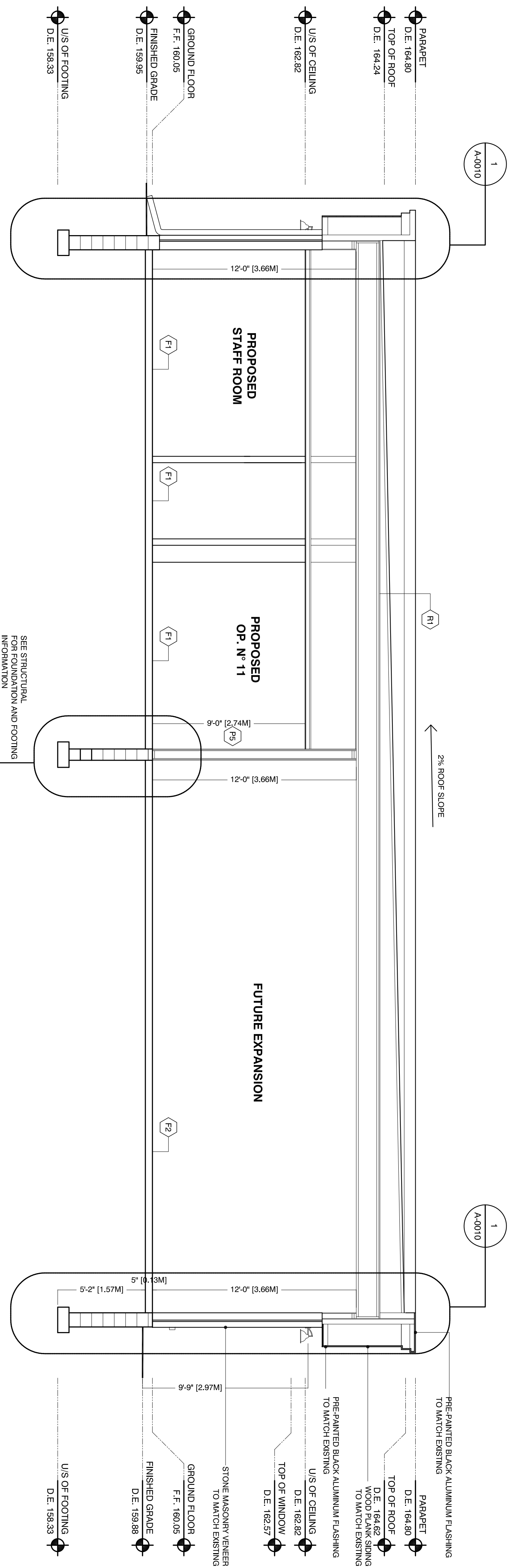


Professional Engineer and Architect stamps and notes regarding the drawing's compliance and approval.

Notes regarding the drawing, including references to other drawings and technical specifications.



1 Section 01
Scale 1/4" = 1'-0"

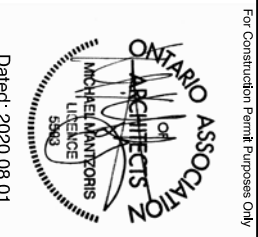


2 Section 02
Scale 1/4" = 1'-0"

Sections

Architect
 2910 Victoria Avenue Toronto, Ontario M4R 1C5, Canada
 Tel: 416-778-1122 Fax: 416-778-1123
 www.mitchell-kentz.com

Engineer/Architect
 2910 Victoria Avenue Toronto, Ontario M4R 1C5, Canada
 Tel: 416-778-1122 Fax: 416-778-1123
 www.mitchell-kentz.com

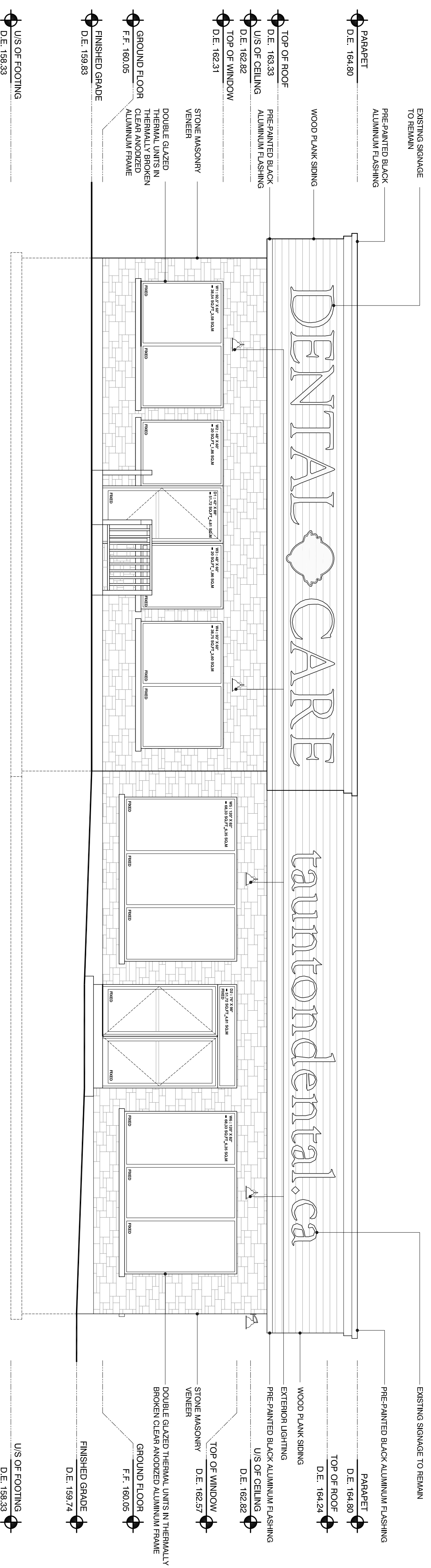


The Architect/Engineer shall not be responsible for providing any information to the Architect/Engineer/Architect that is not contained in the contract documents. The Architect/Engineer/Architect shall be responsible for providing all information to the Architect/Engineer/Architect that is not contained in the contract documents. The Architect/Engineer/Architect shall be responsible for providing all information to the Architect/Engineer/Architect that is not contained in the contract documents.

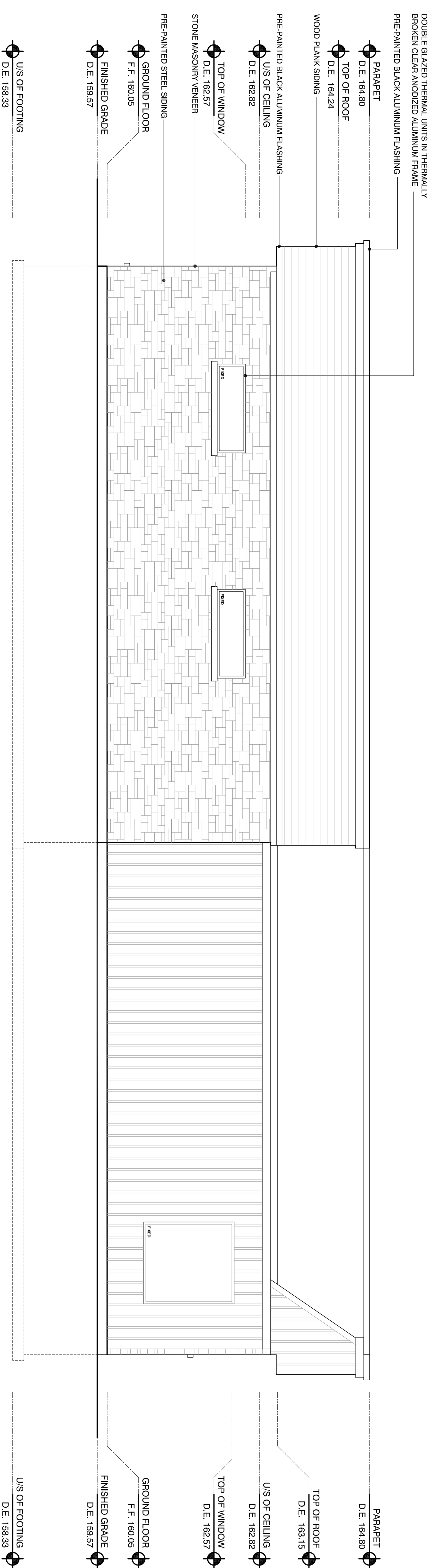
Mitchell-Kentz/Architect
 2910 Victoria Avenue Toronto, Ontario M4R 1C5, Canada
 Tel: 416-778-1122 Fax: 416-778-1123
 www.mitchell-kentz.com

Date	Description
2020/03/17	510 Hamilton Road East, Oakville, Ont. - Storey Addition to Existing
2020/03/13	510 Hamilton Road East, Oakville, Ont. - Storey Addition to Existing
2020/03/13	510 Hamilton Road East, Oakville, Ont. - Storey Addition to Existing
2020/03/13	510 Hamilton Road East, Oakville, Ont. - Storey Addition to Existing
2020/03/13	510 Hamilton Road East, Oakville, Ont. - Storey Addition to Existing

A-1700



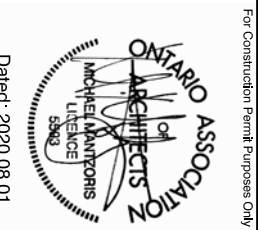
1 South Elevation Existing
Scale 1/4" = 1'-0"



2 North Elevation Existing
Scale 1/4" = 1'-0"

As-Built Elevations

Professional Engineer
The undersigned hereby certifies that he/she is a duly Licensed Professional Engineer in the Province of Ontario, and is duly qualified to prepare and seal the drawings hereon.
Professional Engineer
Ontario
No. 200010311

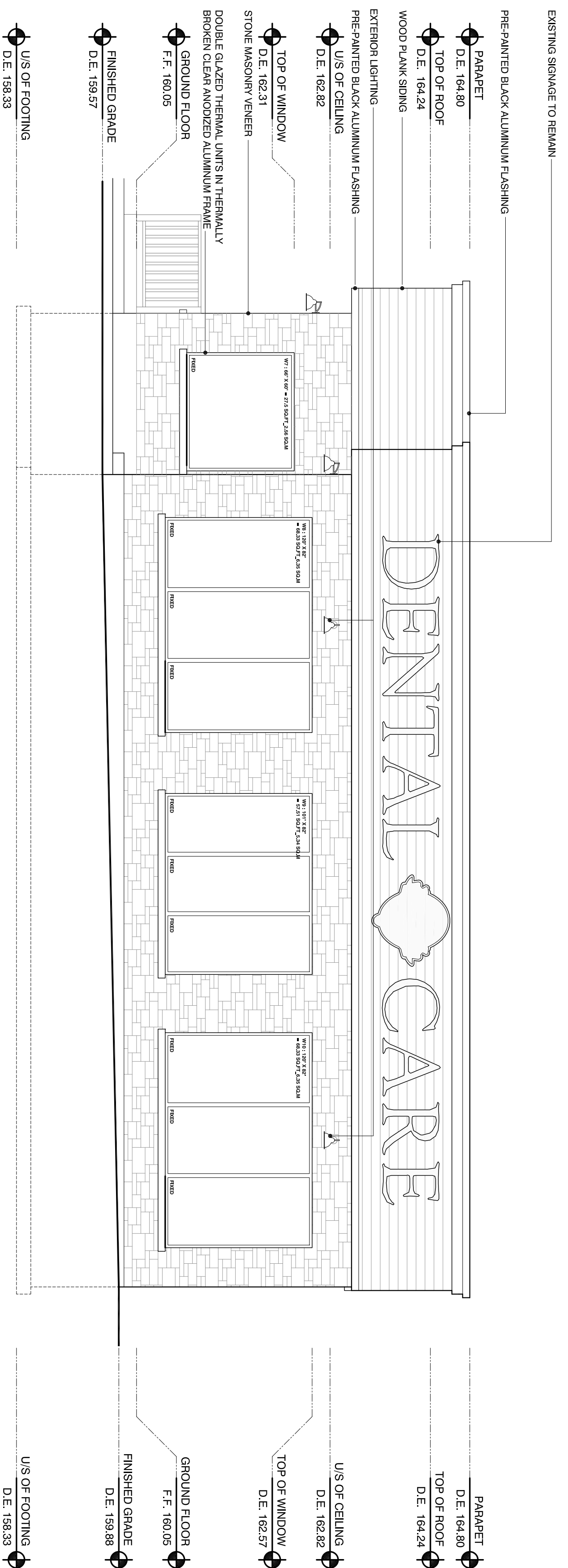


The undersigned hereby certifies that he/she is a duly Licensed Professional Engineer in the Province of Ontario, and is duly qualified to prepare and seal the drawings hereon.
Professional Engineer
Ontario
No. 200010311

Architect
The undersigned hereby certifies that he/she is a duly Licensed Architect in the Province of Ontario, and is duly qualified to prepare and seal the drawings hereon.
Architect
Ontario
No. 200010311

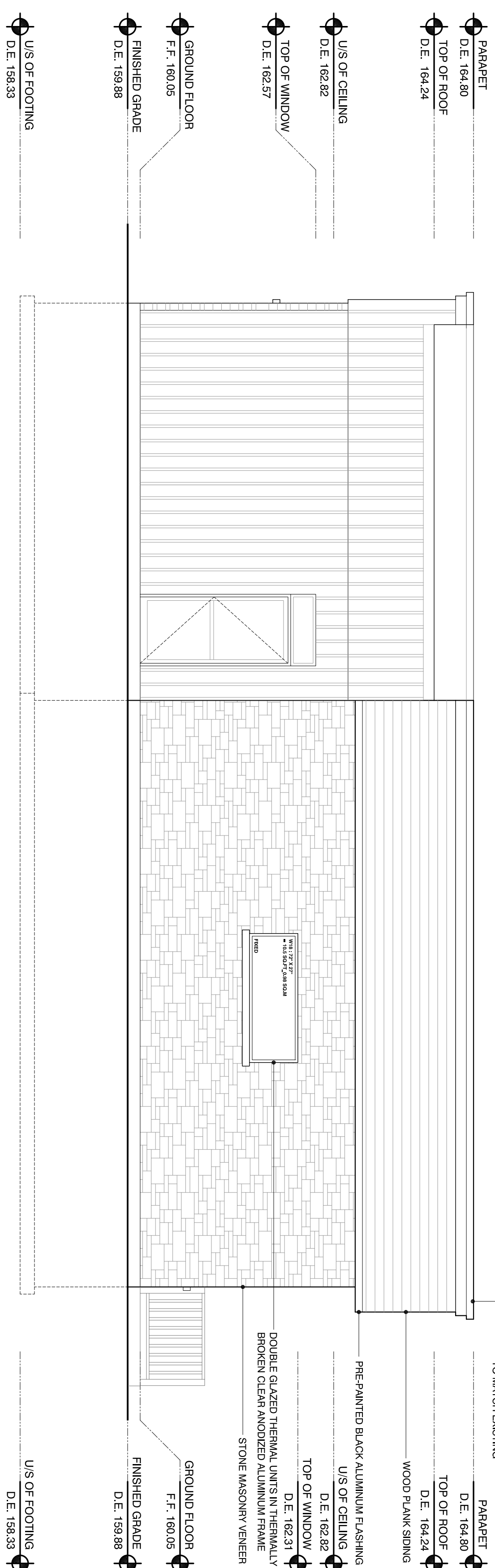
Date	Description
2020/03/17	510 Madison Road East, Oakville, Ont - Storey Addition to Existing Building
2020/03/13	Final Design
2020/03/13	Final Design
2020/03/13	Final Design
2020/03/13	Final Design
2020/03/13	Final Design
2020/03/13	Final Design

AB-1800



1 East Elevation Existing

Scale 1/4" = 1'-0"



2 West Elevation Existing

Scale 1/4" = 1'-0"

Elevations

EXISTING SIGNAGE TO REMAIN

PRE-PAINTED BLACK ALUMINUM FLASHING

PARAPET

D.E. 164.80

TOP OF ROOF

D.E. 164.24

WOOD PLANK SIDING

EXTERIOR LIGHTING

PRE-PAINTED BLACK ALUMINUM FLASHING

U/S OF CEILING

D.E. 162.82

TOP OF WINDOW

D.E. 162.31

STONE MASONRY VENEER

DOUBLE GLAZED THERMAL UNITS IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAME

GROUND FLOOR

F.F. 160.05

FINISHED GRADE

D.E. 159.57

U/S OF FOOTING

D.E. 158.33

PARAPET

D.E. 164.80

TOP OF ROOF

D.E. 164.24

U/S OF CEILING

D.E. 162.82

TOP OF WINDOW

D.E. 162.31

GROUND FLOOR

F.F. 160.05

FINISHED GRADE

D.E. 159.88

U/S OF FOOTING

D.E. 158.33

PRE-PAINTED BLACK ALUMINUM FLASHING TO MATCH EXISTING

PARAPET

D.E. 164.80

TOP OF ROOF

D.E. 164.24

WOOD PLANK SIDING

PRE-PAINTED BLACK ALUMINUM FLASHING

U/S OF CEILING

D.E. 162.82

TOP OF WINDOW

D.E. 162.31

DOUBLE GLAZED THERMAL UNITS IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAME

STONE MASONRY VENEER

GROUND FLOOR

F.F. 160.05

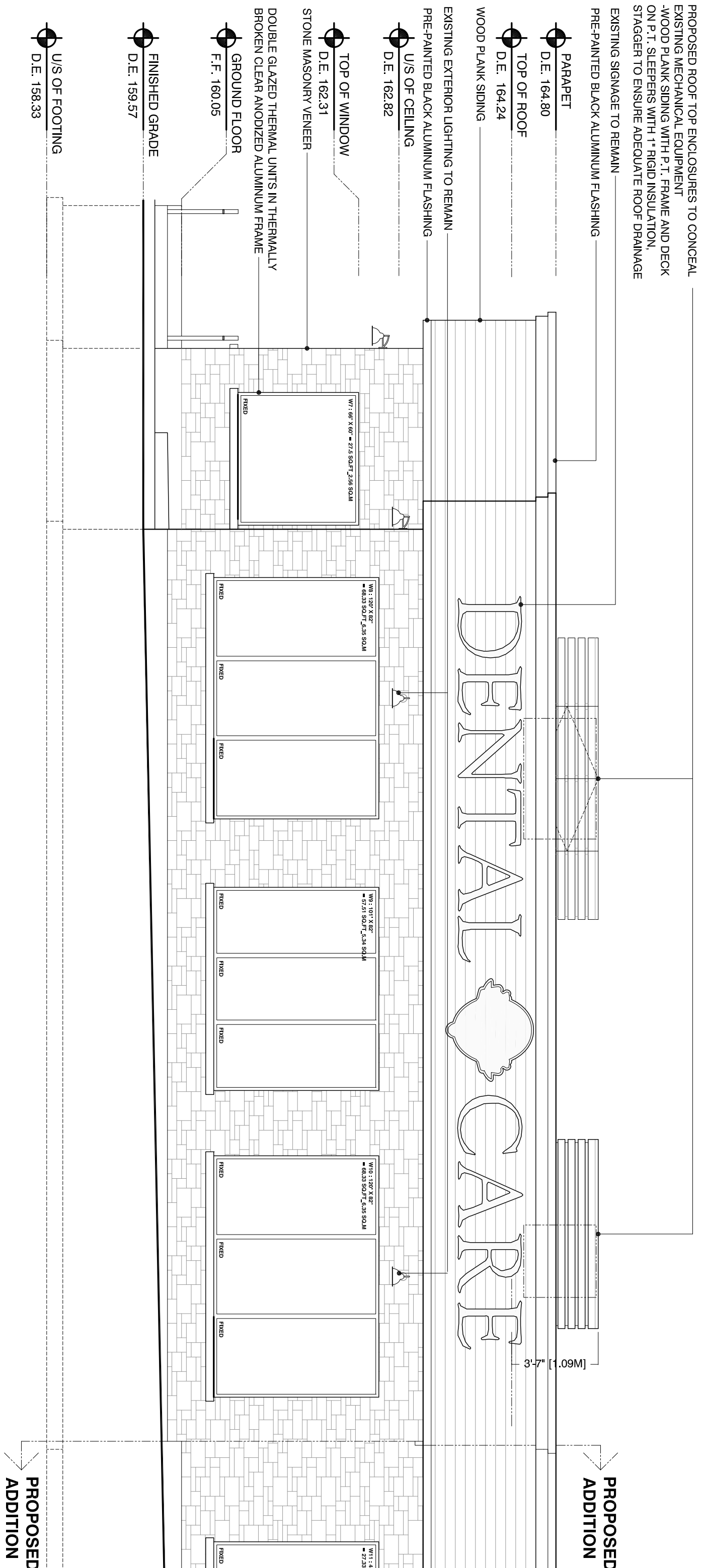
FINISHED GRADE

D.E. 159.88

U/S OF FOOTING

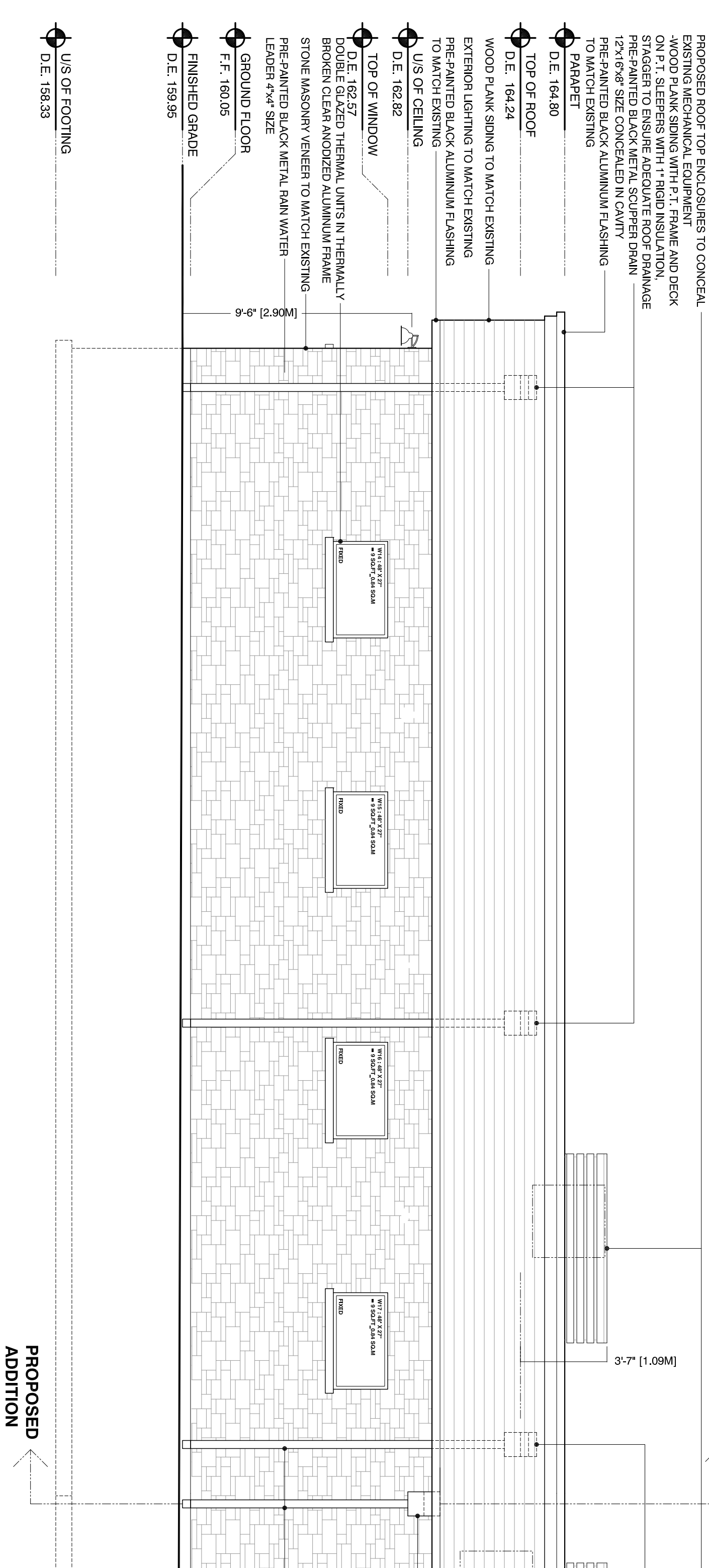
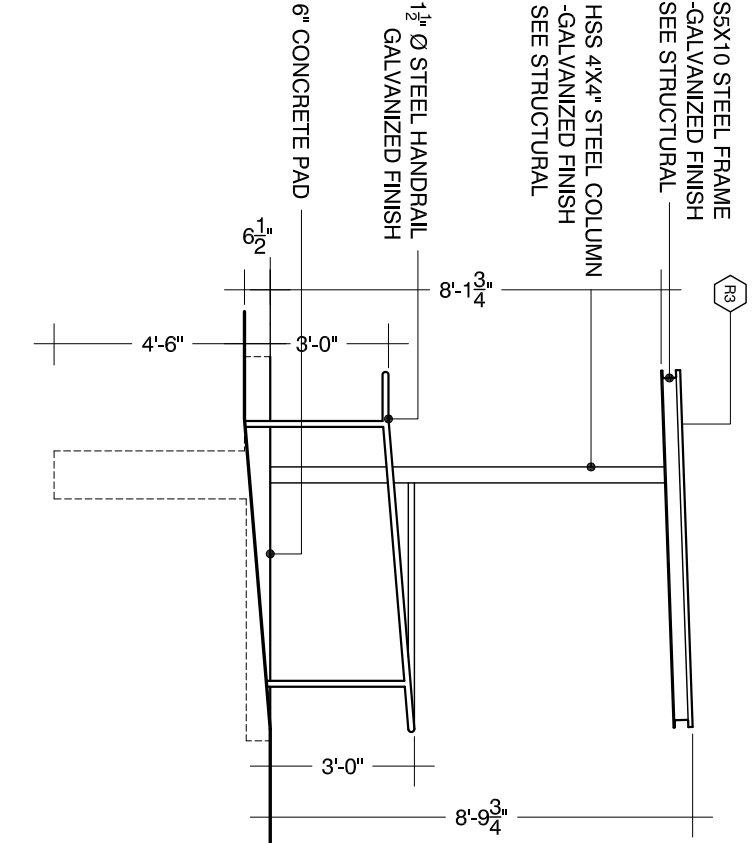
D.E. 158.33

 <p>Professional Engineer State of Michigan License No. 105259 Expires 12/31/2024</p>	510 Franklin Road East, Colville, One-Story Addition to Existing Parcel One (and) Parcel Two	2020/03/17 2020/03/13
	Approved for Site Plan/General Notes (Structural/General) Construction Permit Plans	2020/03/17 2020/03/13
	Approved for Site Plan/General Notes (Structural/General) Construction Permit Plans	2020/03/17 2020/03/13
	Approved for Site Plan/General Notes (Structural/General) Construction Permit Plans	2020/03/17 2020/03/13



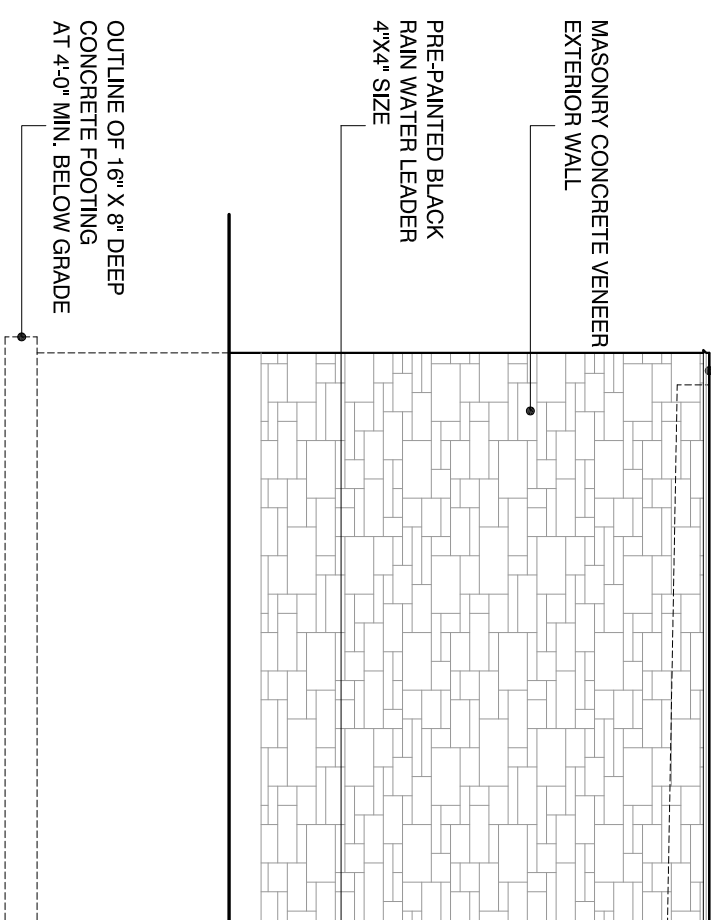
1 East Elevation Proposed
Scale 1/4" = 1'-0"

5 Bicycle Storage East Elevation
Scale 1/4" = 1'-0"



2 West Elevation Proposed
Scale 1/4" = 1'-0"

4 Garbage Enclosure East Elevation
Scale 1/4" = 1'-0"



3 Garbage Enclosure West Elevation
Scale 1/4" = 1'-0"

<p>Elevations</p>	
<p>Architect: M&K Architects Inc. 7916 Victoria Parkway, Toronto, Ontario M3J 1C9, Canada. Tel: 416-291-5152. www.mkaarchitects.com</p>	
<p>Client: 5103 Falcon Road East, Aurora, Ontario, One-Storey Addition to Existing Dental Clinic, Unit 7, Ontario</p>	
<p>Date: 2020/03/17</p>	
<p>Sheet: A-1810</p>	
<p>Scale: 1/4" = 1'-0"</p>	
<p>Architect's Seal and Stamp: M&K Architects Inc. Professional Engineer (Ontario) License No. 14088. Registered Architect (Ontario) License No. 24088.</p>	
<p>Project Description: One-Storey Addition to Existing Dental Clinic, Unit 7, Ontario</p>	
<p>Site Location: 5103 Falcon Road East, Aurora, Ontario</p>	