

LIST OF DRAWINGS

A604	INTERIOR WINDOW SCHEDULE
CIVIL	
P300	GRADING PLAN
P301	SERVICING PLAN
P302	EROSION AND SEDIMENT CONTROL PLAN
P303	PRE/POST DRAIAGE PLAN

ARCHITECTURAL	
A000	COVER SHEET
A001	BUILDING CODE MATRIX, LEGEND & ABBREVIATIONS
A003	FIRE SEPARATION PLANS & LD CALCULATIONS
A010	EXTERIOR WALL, PARTITION, FLOOR & ROOF TYPES
A100	SITE PLAN
A201	GROUND FLOOR PLAN
A202	SECOND FLOOR PLAN
A204	ROOF PLAN
A210	GROUND FLOOR RCP
A211	SECOND FLOOR RCP
A301	EXTERIOR ELEVATION I
A302	EXTERIOR ELEVATION II
A304	ARTISTIC RENDER
A305	ISOMETRIC VIEWS
A400	BUILDING SECTIONS
A402	WALL SECTIONS
A403	WALL SECTIONS
A404	WALL SECTIONS
A500	STAIR A PLANS, SECTION & DETAILS
A501	STAIR B PLANS, SECTION & DETAILS
A502	TYPICAL STAIR DETAILS
A510	ELEVATOR PLAN, SECTION & DETAILS
A520	PLAN DETAILS
A524	STANDARD / TYPICAL DETAILS
A525	SECTION DETAILS
A601	DOOR SCHEDULE & TYP DETAILS
A603	EXTERIOR WINDOW SCHEDULE
A606	TYP. WINDOW DETAILS
A701	WASHROOM PLANS
A800	OBC UNIVERSAL WR AND BF REQUIREMENTS

STRUCTURAL	
S000	COVER SHEET
S101	FOUNDATION PLAN
S102	SECOND FLOOR FRAMING PLAN
S103	ROOF FRAMING PLAN
S201	SCHEDULES & PIER DETAILS
S301	ELEVATIONS
S302	ELEVATIONS
S401	SECTIONS
S402	SECTIONS
S501	GENERAL NOTES & TYPICAL DETAILS
S502	GENERAL NOTES & TYPICAL DETAILS

MECHANICAL	
M-000	COVER SHEET AND DRAWING LIST
M-001	MECHANICAL SPECIFICATION
M-002	MECHANICAL SPECIFICATION AND LEGEND
M-003	MECHANICAL SCHEDULE
M-004	MECHANICAL DETAILS
M-100	GROUND FLOOR MECHANICAL HVAC
M-101	SECOND FLOOR MECHANICAL HVAC PLAN
M-200	GROUND FLOOR MECHANICAL PLD PLAN
M-201	SECOND FLOOR MECHANICAL PLD PLAN
M-300	GROUND FLOOR MECHANICAL SP PLAN
M-301	SECOND FLOOR MECHANICAL SP PLAN
M-400	MECHANICAL ROOF PLAN

ELECTRICAL	
E000	DRAWINGS LIST LEGEND GENERAL NOTES
E001	ELECTRICAL SPECIFICATIONS
E002	SINGLE LINE DIAGRAM
E003	PANEL SCHEDULES
E004	DETAIL SHEET 1
E005	DETAILS SHEET 2
E100	POWER AND SYSTEMS SITE PLAN LAYOUT NOTES
E101	POWER AND SYSTEMS GROUND FLOOR LAYOUT NOTES
E102	POWER AND SYSTEMS SECOND FLOOR LAYOUT NOTES
E103	POWER AND SYSTEMS ROOF FLOOR LAYOUT NOTES
E201	LIGHTING AND FIRE ALARM GROUND LAYOUT NOTES
E202	LIGHTING AND FIRE ALARM SECOND LAYOUT NOTES

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0N4

ISSUED FOR: CLIENT REVIEW 24-07-10



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A22-018
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DATE
24-07-10

SYMBOL LEGEND

	ROOM NAME	X-000	FURNISHINGS REFERENCE
	ROOM NUMBER		
	ROOM AREA		
	WALL TYPE	Name Elevation	DATUM ELEVATION
	ROOF TYPE	0	GRID NUMBER
	DOOR NUMBER	X XXXX	DETAIL REFERENCE DETAIL NO SHEET NO.
	WINDOW NUMBER	1 A101	BUILDING SECTION REFERENCE
	INTERIOR FINISH NUMBER	1 A101	WALL SECTION REFERENCE
	NOTE TAG	1Ref	INTERIOR ELEVATION REFERENCE
	EQUIPMENT NUMBER	1Ref	ELEV. VIEW NO.
	WASHROOM ACCESSORIES TAG	1Ref	SHEET NO.
	CEILING REFERENCE	xxx AFF	SPOT ELEVATION
	CEILING MATERIAL		
	CEILING HEIGHT		
	EXTERIOR ELEVATION LEGEND		
	FLOOR PLAN NOTES		
	MILLWORK TAG		
	PARKING TAG		

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE SYSTEM	FRP	FIBERGLASS REINFORCED PANEL	PTD	PAINTED QUARRY TILE QUANTITY
ACC	ACCESSIBLE	FRR	FIRE RESISTANCE RATING	QT	QUANTITY
ACM	ALUMINUM COMPOSITE MATERIAL	GALV	GALVANIZED	QTY	QTY
ADO	AUTOMATIC DOOR OPERATOR	G.B.	GYPSUM BOARD	RB	RUBBER
AFF	ABOVE FINISHED FLOOR	GYP. BD.	GYPSUM BOARD	RD	ROOF DRAIN
AHJ	AIR HANDLING UNIT	GG	GENERAL CONTRACTOR	REF	REFRIGERATOR, REFERENCE
ALUM	ALUMINUM	H	HIGH	REINFORCED	REINFORCED
ARCH	ARCHITECTURAL, ARCHITECT	H	HIGH	REQD	REQUIRED
ARGB	ABUSE-RESISTANT GYPSUM BOARD	HB	HOSE BIB	REV	REVISION
AUTO	AUTOMATIC	HDW	HARDWARE	ROOM	ROOM
AVG	AVERAGE	HM	HOLLOW METAL	RO	ROUGH OPENING
BD	BOARD	HORIZ	HORIZONTAL	S	SINK
BF	BARRIER FREE	HP	HEAT PUMP	SACT	SUSPENDED ACOUSTICAL TILE
BLDG	BUILDING	HPT	HIGH POINT	SFRM	SPRAY APPLIED CEMENTITIOUS
BSMT	BASEMENT	HSPKG	HOUSEKEEPING	SIM	SIMILAR
CACF	CENTRAL ALARM AND CONTROL FACILITY	HVAC	HEATING, VENTILATION, AIR CONDITIONING	SOG	SLAB ON GRADE
C.B.	CONC. BLOCK	ID	INSIDE DIAMETER	SP	SUMP PUMP
CONC. BL.	CONCRETE BLOCK	I.D.	INTERIOR DESIGN	SPEC	SPECIFICATION
CFS	COLD FORMED STEEL	ICE	ICE MACHINE	SSG	STRUCTURAL SILICONE GLAZING
CG	CORNER GUARD	IGU	INSULATED GLASS UNIT	ST	STORAGE TANK
CJ	CONTINUOUS INSULATION	INSUL	INSULATION	STC	SOUND TRANSMISSION CLASS
CIP	CAST-IN-PLACE	K.E.S.	KITCHEN EQUIPMENT SUPPLIER	STL	STEEL
CJ	CONTROL JOINT	L	LONG	STOR	STORAGE
CL	CENTER LINE	LPT	LOW POINT	STRUC	STRUCTURAL TRANSFORMER
CL	CLEAR	LT	LIGHT	T	TOP OF
CLNG	CLEAR	LVR	LOUVER	T/O	TO
CMU	CONCRETE MASONRY UNIT	M	METER	TD	TEMPORARY
CONC	CONCRETE	MAINT	MAINTENANCE	TEMP	TEMPORARY
CONT	CONTINUOUS	MANUF	MANUFACTURER	THK	THICK
COORD	COORDINATE	MATL	MATERIAL	TFD	TOILET PAPER DISPENSER
CT	CERAMIC TILE	MAX	MAXIMUM	TV	TELEVISION
CJ	CONDENSING UNIT	MECH	MECHANICAL	TXT	TEXTURED
MEP	COMPLETE WITH MECHANICAL, ELECTRICAL, PLUMBING	MEZ	MEZZANINE	TYP	TYPICAL
CWS	CURTAIN WALL SYSTEM	MHO	MAGNETIC HOLD OPEN	U/S	UNDER SIDE
D	DRYER	MIN	MINIMUM	UN	UNLESS NOTED OTHERWISE
DEG	DEGREE(S)	MISC	MISCELLANEOUS	VCT	VINYL COMPOSITE TILE
DEMO	DEMOLISH, DEMOLITION	MO	MASONRY OPENING	VEND.	VENDING MACHINE
DEPT	DEPARTMENT	MU.A.	NOT IN CONTRACT	VERIF	VERIFY IN FIELD
DW	DISHWASHER	NTS	NOT TO SCALE	VS	VARIABLE REFRIGERANT FLOW
DWG	DRAWING	O.C.	ON CENTER	VTAC	VERTICAL TERMINAL AIR CONDITIONER
DWS	DETECTABLE WARNING SURFACE	OIC	OUTSIDE DIAMETER	VWC	VINYL WALL COVERING
EF	EXHAUST FAN	OD	OUTSIDE DIAMETER	W	WITH
EFS	EXTERIOR INSULATION FINISH SYSTEM	P	PANEL	WC	WATER CLOSET
ELEV	ELEVATOR	PCT	PORCELAIN CERAMIC TILE	WD	STACKED WASHER AND DRYER
EOS	EDGE OF SLAB	PDO	POWER DOOR OPERATOR	WD	WOOD
EQ	EQUAL	PLAM	PLASTIC LAMINATE	WIC	WALK IN CLOSET
EQUIP	EQUIPMENT	PLYWD	PLYWOOD	WR	WASHROOM
ETC	ET CETERA	PREFAB	PREFABRICATED	WWM	WELDED WIRE MESH
EX	EXISTING	PROP	PROPERTY	X	BY
EXIST	EXISTING	PSH	PURSE SELF		
EXP JT	EXPANSION JOINT	PTAC	PACKAGED TERMINAL AIR CONDITIONER		
EXT	EXTERIOR				
F	FREEZER				
F/A	FIRE ALARM				
FHC	FIRE HOSE CABINET				
FEC	FIRE EXTINGUISHER CABINET				

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Name of Project: WAREHOUSE AND OFFICE HEADQUARTERS

Date: 25 APR. 2024

Location: 45 BLOWERS CRES, AJAX, ON L1Z 0N4

Ontario Building Code Data Matrix - Part 3

3.00	BUILDING CODE VERSION:	O. Reg. 332/12	Last Amendment	O. Reg. 89/23	Building Code Reference 1)				
3.01	PROJECT TYPE:	<input checked="" type="checkbox"/> NEW	<input type="checkbox"/> ADDITION	<input type="checkbox"/> RENOVATION	[A] 1.1.2.				
3.02	MAJOR OCCUPANCY CLASSIFICATION:	<input type="checkbox"/> CHANGE OF USE	<input type="checkbox"/> ADDITION AND RENOVATION	DESCRIPTION: WAREHOUSE WITH ANCILLARY OFFICE SPACE					
3.03	SUPERIMPOSED MAJOR OCCUPANCIES:	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES		3.2.2.7.				
3.04	BUILDING AREA (M ²)	DESCRIPTION:	EXISTING	NEW	TOTAL				
3.05	GROSS AREA (M ²)	DESCRIPTION:	EXISTING	NEW	TOTAL				
3.06	MEZZANINE AREA (M ²)	DESCRIPTION:	EXISTING	NEW	TOTAL				
3.07	BUILDING HEIGHT	2 STOREYS ABOVE GRADE	0 STOREYS BELOW GRADE	10.60 (M) ABOVE GRADE	T/O ROOF DECK				
3.08	HIGH BUILDING	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES		3.2.6.				
3.09	NUMBER OF STREETS/FIREFIGHTER ACCESS	1	STREET		3.2.2.10. & 3.2.5.				
3.10	BUILDING CLASSIFICATION (SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY)	3.2.2.70	Group F, Division 2, up to 4 Storeys	3.2.2.23	3.2.2.42				
3.11	SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED	<input type="checkbox"/> NOT REQUIRED		3.2.1.5. & 3.2.2.17.				
3.12	STANDPIPE SYSTEM	<input type="checkbox"/> REQUIRED	<input checked="" type="checkbox"/> NOT REQUIRED		3.2.9.				
3.13	FIRE ALARM SYSTEM	REQUIRED	<input checked="" type="checkbox"/> NOT REQUIRED	<input type="checkbox"/> TWO STAGE	3.2.4.				
3.14	WATER SERVICE / SUPPLY IS ADEQUATE	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES						
3.15	CONSTRUCTION TYPE:	RESTRICTION:	<input checked="" type="checkbox"/> COMBUSTIBLE PERMITTED	<input type="checkbox"/> NON-COMBUSTIBLE REQUIRED	3.2.2.20. - 83. & 3.2.1.4.				
3.16	IMPORTANCE CATEGORY:	ACTUAL:	<input type="checkbox"/> COMBUSTIBLE	<input checked="" type="checkbox"/> NON-COMBUSTIBLE					
3.17	SEISMIC HAZARD INDEX	HEAVY TIMBER CONSTRUCTION:	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	4.1.2.1.(3) & T4.1.2.1.B				
3.18	OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	BASED ON	OCCUPANT LOAD (PERSONS)				
3.19	BARRIER-FREE DESIGN:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	EXPLANATION					
3.20	HAZARDOUS SUBSTANCES:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	EXPLANATION					
3.21	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY	RATING	SUPPORTING ASSEMBLY	NONCOMBUSTIBLE IN LIEU OF RATING?				
3.22	SPATIAL SEPARATION	WALL	EBF AREA (M ²)	L.D. (M)	L.H. OR H.L.	REQUIRED FRR (H)	CONSTRUCTION TYPE REQUIRED	CLADDING TYPE REQUIRED	
3.23	PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE:FEMALE = 60:50 EXCEPT AS NOTED OTHERWISE						
3.24	ENERGY EFFICIENCY:	FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE	FIXTURES REQUIRED	FIXTURES PROVIDED			

Ministry of Municipal Affairs
SUPPLEMENTARY STANDARD SB-10:
ENERGY EFFICIENCY REQUIREMENTS
OBC 2012 (2017 AMENDMENT)

THERMAL INSULATION REQUIREMENTS
CLIMATE ZONE 5
TABLE SB5.5-5-2017

OPAQUE ENVELOPE ELEMENTS	DESCRIPTION	INSULATION MIN. R-VALUE					
		NON-RESIDENTIAL		RESIDENTIAL		SEMI-HEATED	
		REQ'D	PROVIDED	REQ'D	PROVIDED	REQ'D	PROVIDED
ROOFS	INSULATION ENTIRELY ABOVE DECK	R-35.0 ci	R-35.0 ci	R-35.0 ci	NR	R-17 ci	NR
	METAL BUILDING						
	ATTIC & OTHER						
WALLS	ABOVE GRADE						
	MASS	R-17.0 ci	R-17.0 ci	R-19.0 ci	NR		
	METAL BUILDING						
	STEEL FRAME	R-13 +R-12 ci	R-13 +R-12 ci	R-13 +R-12 ci	NR		
	WOOD FRAMED & OTHER						
	BELOW GRADE						
	BELOW GRADE WALL	R-15.0 ci	R-15.0 ci	R-15.0 ci	NR	R-7.4 ci	NR
FLOORS	MASS						
	STEEL JOIST	R-38	R-38	R-38	NR	R-21	NR
	WOOD FRAMED & OTHER						
SLAB-ON-GRADE FLOORS	UNHEATED	R-15 FOR 48IN	R-15 FOR 48IN	R-15 FOR 48IN	NR	R-15 FOR 48IN	NR
	HEATED						
OPAQUE DOORS	SWINGING	U-0.45	U-0.45	U-0.45	NR		
	NONSWINGING	U-0.45	U-0.45	U-0.45	NR		
FENESTRATION		ASSEMBLY					
		MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC	MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC
		MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC	MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC
		MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC	MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC
		MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC	MAX. U-VALUE	MAX. SHGC	MAX. VT/SHGC
Vertical Fenestration	NONMETAL FRAMING: ALL	U-0.29			U-0.41		
	METAL FRAMING: FIXED	U-0.38	0.40	1.10	U-0.56		
	METAL FRAMING: OPERABLE	U-0.45			U-0.63	NR	NR
	METAL FRAMING: ENTRANCE DOOR	U-0.69			U-0.69		
Skylight	ALL TYPES	U-0.45	0.40	NR	U-0.45	0.40	NR

*ci = continuous insulation, *Ls = liner system, *NR = no requirement

NOT ISSUED FOR CONSTRUCTION

ISSUANCE SCHEDULE

No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10
YY-MM-DD			

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PROFESSIONAL CERTIFICATION

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0N4

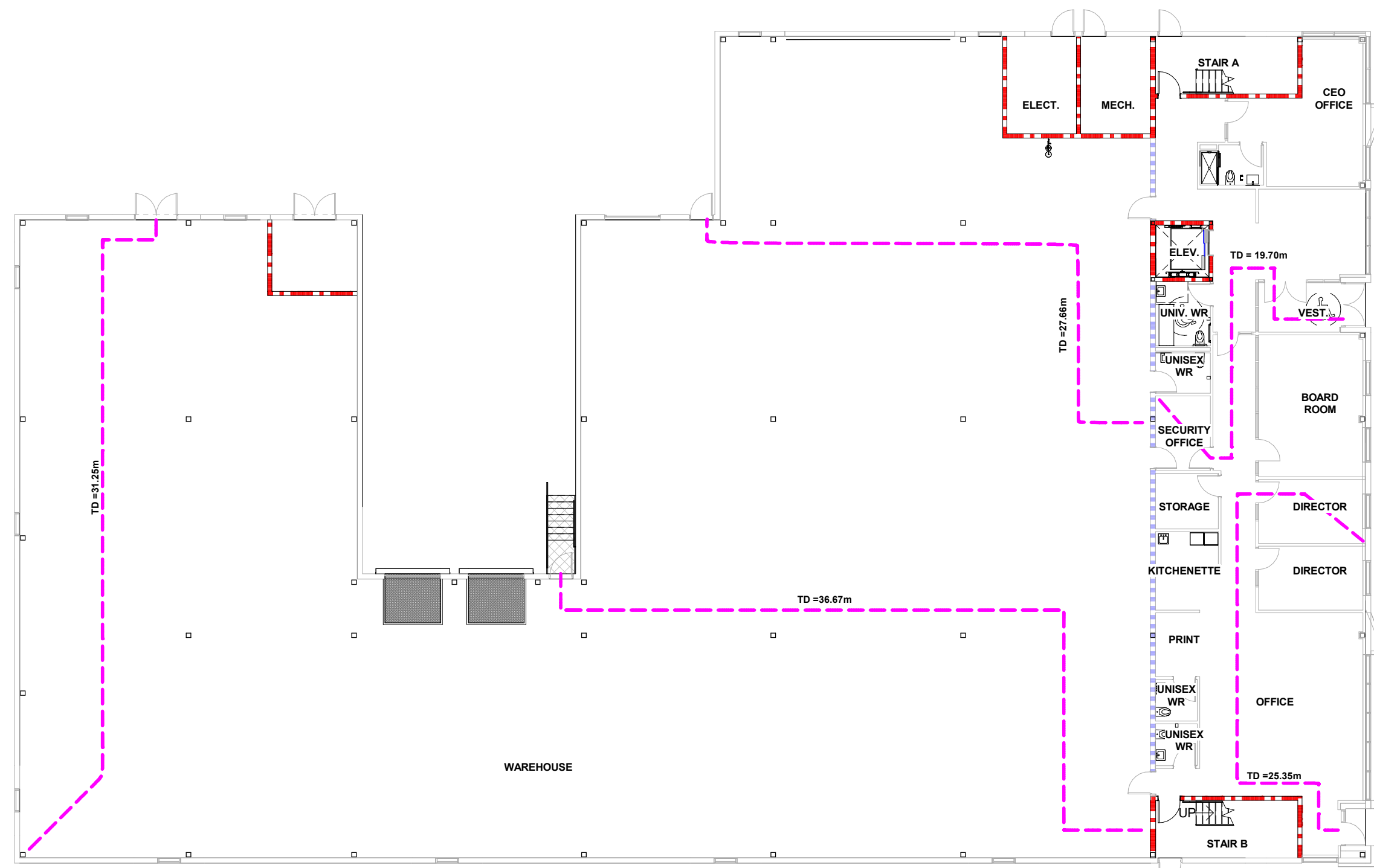
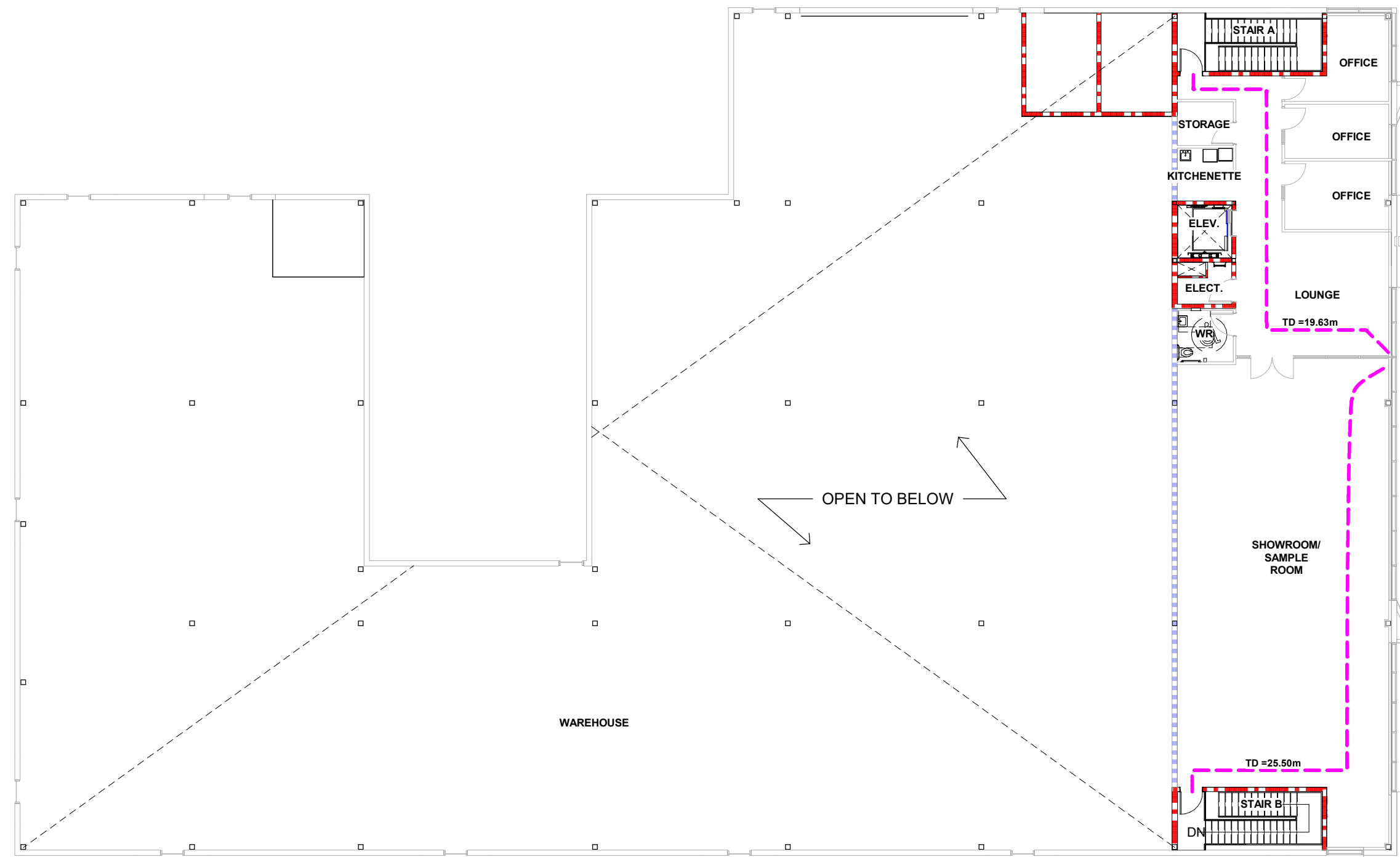
BUILDING CODE MATRIX, LEGEND & ABBREVIATIONS

BY: [CHECK] ISSUED FOR: CLIENT REVIEW
PROJECT NO.: A22-018
SCALE: 1/4" = 1'-0"
ISSUE DATE: 24-07-10

A001 1 SHEET ISSUE NO.

OBC MATRIX
1/4" = 1'-0"

PLT DATE: 2024-07-10 2:51:39 PM



FIRE SEPARATION LEGEND

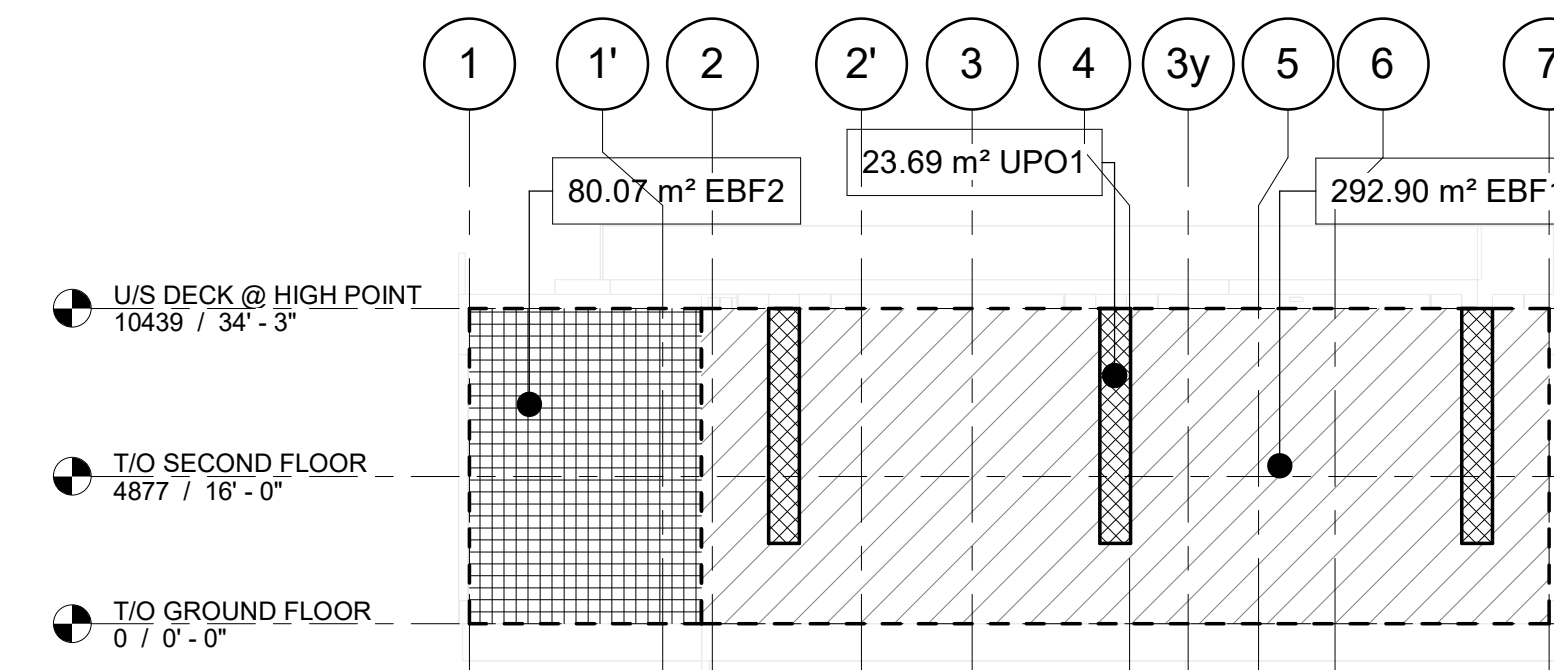
- 1H FIRE RESISTANCE RATING
- NON RATED FIRE SEPARATION
- MAX. TRAVEL DISTANCE LENGTH = 45M (147'-6")

FIRE SEPARATIONS HAVING A FIRE RESISTANCE RATING

- 1H - EXIT STAIRS AND ELEVATOR SHAFT
- 1H - SERVICE & ELECTRICAL ROOMS
- 0 HR - FLOORS
- 0 HR - COLUMNS & BEAMS SUPPORTING FLOOR ASSEMBLY
- 0 HR - ROOF

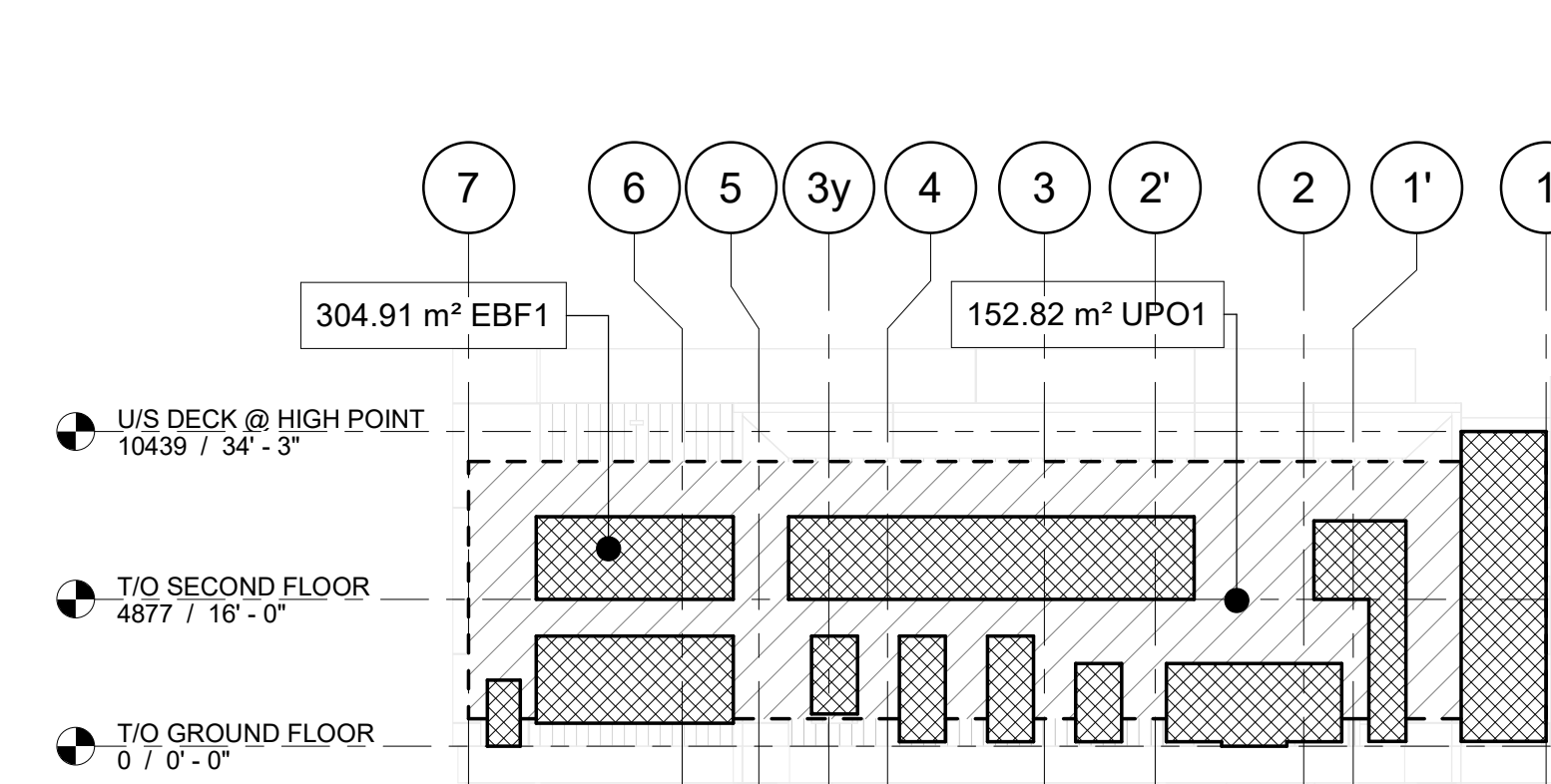
PROVIDE FIRE STOP CAULKING AT TOP, BOTTOM AND PERIMETER OF GYPSUM BOARD AT FIRE RATED PARTITIONS IN ACCORDANCE WITH UL DESIGN.

FIRE RATING GRAPHIC NOT SHOWN FOR EXTERIOR WALLS & LOAD BEARING STRUCTURAL STEEL FOR CLARITY. REFER TO WALL ASSEMBLIES.



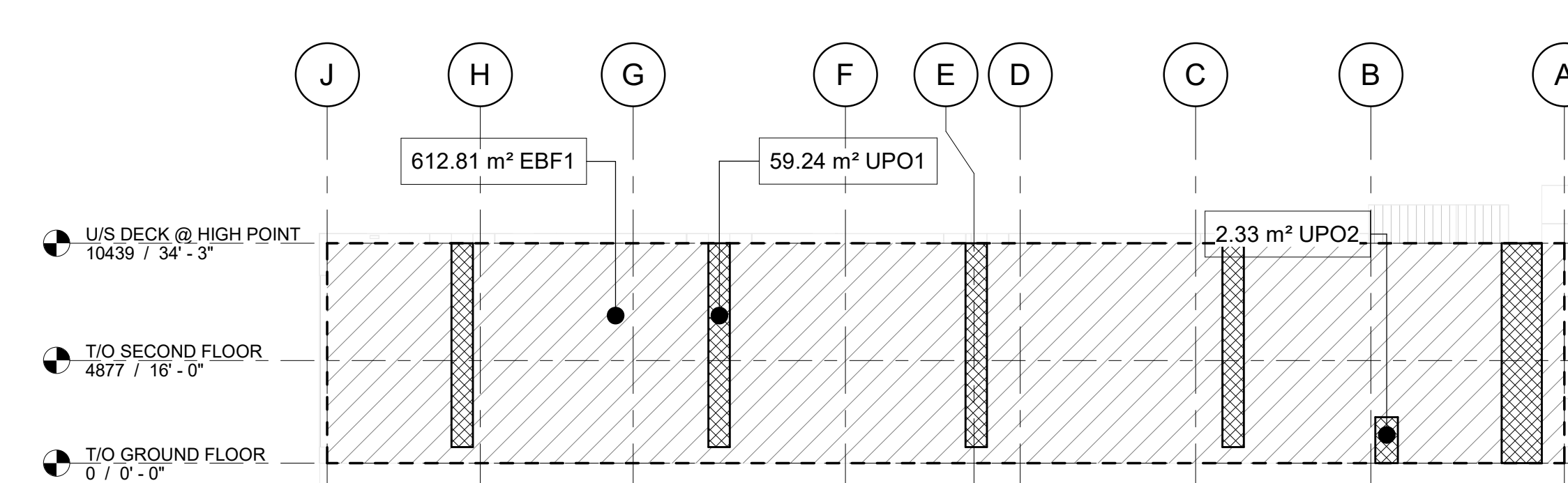
SPATIAL CALC. - WEST ELEV.

TYPE	EBF	LIMITING DISTANCE	ALLOWABLE OPENINGS	PROPOSED UPO	%
FIRE COMP. 1	239.3 m ²	3 m	50%	23.7 m ²	9.9%
FIRE COMP. 2	65.5 m ²	>15 m	100%	0 m ²	0%



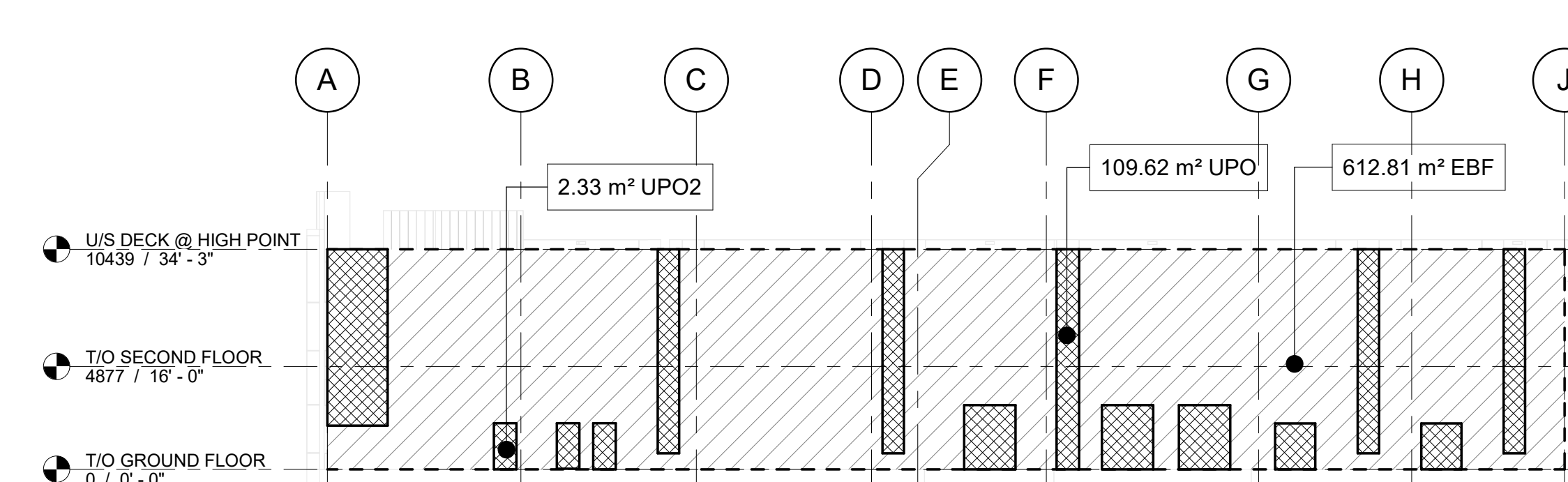
SPATIAL CALC. - EAST ELEV.

TYPE	EBF	LIMITING DISTANCE	ALLOWABLE OPENINGS	PROPOSED UPO	%
FIRE COMP. 1	304.9 m ²	12.88 m	68%	137.6 m ²	45.1%



SPATIAL CALC. - SOUTH ELEV.

TYPE	EBF	LIMITING DISTANCE	ALLOWABLE OPENINGS	PROPOSED UPO	%
FIRE COMP. 1	501 m ²	3 m	10%	47.9 m ²	9.6%



SPATIAL CALC. - NORTH ELEV.

TYPE	EBF	LIMITING DISTANCE	ALLOWABLE OPENINGS	PROPOSED UPO	%
FIRE COMP. 1	448 m ²	>15 m	100%	99.8 m ²	22.3%

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PROJECT N
PROFESSIONAL CERTIFICATION

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
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FIRE SEPARATION PLANS & LD CALCULATIONS

BY: AGR | CHECK: NZ | ISSUED FOR: CLIENT REVIEW
PROJECT NO.: A22-018 | SHEET NO.:
SCALE: As indicated
ISSUE DATE: 24-07-10

A003 1
SHEET ISSUE No.

PLOT DATE: 2024-07-10 2:51:42 PM

EW - EXTERIOR WALL TYPES GENERAL

EW13 ALUMINUM COMPOSITE METAL (ACM) RAINSCREEN

2 1/2" 64 mm

SYSTEM TYPE: DRY JOINT ACM PANEL SYSTEM PER MANUFACTURER

- 25mm 1" PREFINISHED ACM PANEL (REFER TO ELEVATIONS FOR COLOUR(S) & LOCATIONS)
- 25mm 1" AIR SPACE
- 13mm 1/2" EXTERIOR GLASS FIBER MAT GYPSUM BOARD SHEATHING - SUBSTRATE VARIES

R-VALUE	FRR	TEST REFERENCE	STC & REF.
-	-	-	-

EW16 PRECAST PRESTRESSED INSULATED CONCRETE PANEL

VARIES 9"

229 mm

- 57mm 2 1/4" PRESTRESSED PRECAST CONCRETE
- 100mm 4" EXTRUDED EXPANDED POLYSTYRENE
- 70mm 2 3/4" PRESTRESSED PRECAST CONCRETE

RIB DEPTH VARIES. SEE ELEVATIONS

MIN. R-VALUE	FRR	TEST REFERENCE	STC & REF.
R20.4	-	-	-

FW - FOUNDATION WALL TYPES

FW1 CAST IN PLACE CONCRETE FOUNDATION WALL WITH EXTERIOR INSULATION

10"

254 mm

254mm 10" CAST IN PLACE CONCRETE, REFER TO STRUCTURAL

8"

203 mm

203mm 8" CAST IN PLACE CONCRETE, REFER TO STRUCTURAL

6"

152 mm

153mm 6" CAST IN PLACE CONCRETE, REFER TO STRUCTURAL

P - PARTITION TYPES FURRING

P40B SINGLE SIDED INTERIOR PARTITION

3"

76 mm

SIMILAR:

- 13mm 1/2" GYPSUM BOARD
- 64mm 2 1/2" STEEL STUDS @ 16' 406mm O/C

FRR	TEST REFERENCE	STC	TEST REF.
-	-	-	-

4 1/4" 108 mm

SIMILAR:

- 13mm 1/2" GYPSUM BOARD
- 62mm 3 5/8" STEEL STUDS @ 16' 406mm O/C

FRR	TEST REFERENCE	STC	TEST REF.
-	-	-	-

P - PARTITION TYPES NON LOAD-BEARING

P20G DOUBLE SIDED INTERIOR PARTITION

7"

178 mm

SIMILAR:

- 13mm 1/2" GYPSUM BOARD
- 152mm 6" STEEL STUDS @ 16' 406mm O/C
- 13mm 1/2" GYPSUM BOARD

FRR	TEST REFERENCE	STC	TEST REF.
-	-	-	-

9"

229 mm

SIMILAR:

- 16mm 5/8" GYPSUM BOARD
- 152mm 6" STEEL STUDS @ 16' 406mm O/C
- 16mm 5/8" GYPSUM BOARD

FRR	TEST REFERENCE	STC	TEST REF.
-	-	-	-

9 1/4"

235 mm

SIMILAR:

- 16mm 5/8" GYPSUM BOARD
- 152mm 6" STEEL STUDS @ 16' 406mm O/C
- 16mm 5/8" GYPSUM BOARD

FRR	TEST REFERENCE	STC	TEST REF.
-	-	-	-

P21A 1HR DOUBLE SIDED INTERIOR PARTITION

7 1/4"

184 mm

SIMILAR - REPLACE STUDS WITH:

- 152mm 6" STEEL STUDS @ 16' 406mm O/C

FRR	TEST REFERENCE	STC	TEST REF.
1HR	ULC W453	40	RAL-TL11-125

9 1/4"

235 mm

SIMILAR - REPLACE STUDS WITH:

- 152mm 6" STEEL STUDS @ 16' 406mm O/C

FRR	TEST REFERENCE	STC	TEST REF.
1HR	ULC W453	40	RAL-TL11-125

FIRE RATED STEEL COLUMN ENCLOSURE

16mm 5/8" TYPE X GYPSUM BOARD PER ULC/cUL ASSEMBLY

42mm 1 5/8" STEEL STUDS (25Ga)

STRUCTURAL STEEL COLUMN, BASED ON TS8x8x0.25 AND HEAVIER

CORNER BEAD

FRR	TEST REFERENCE	STC
1HR	cUL Design X528	-

NOTE: REFER TO TEST REFERENCE FOR STEEL COLUMN SHAPE & MINIMUM SIZES. TOTAL REQUIRED THICKNESS OF GYPSUM BOARD PANELS, AND CORNER DETAILS.

F - FLOOR TYPES

F1 COMPOSITE STEEL DECK

65mm 2 1/2" CONCRETE 6x6 WELDED WIRE MESH REINFORCING (REFER TO STRUCTURAL)

38mm 1 1/2" STEEL FLOOR DECK (REFER TO STRUCTURAL)

R-VALUE	FRR	TEST REFERENCE	STC & REF.
-	-	-	-

F3 CONCRETE SLAB ON GRADE

153mm 6" FLOOR FINISH (REFER TO INTERIOR DESIGN)

153mm 6" REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL TO CONFIRM DEPTH, REINFORCING & MPa)

50 10MIL POLYETHYLENE VAPOUR RETARDER

127 3" HIGH DENSITY EXTRUDED POLYSTYRENE (XPS) RIGID INSULATION (MIN R15 C1)

127 5" COMPACTED GRANULAR (REFER TO STRUCTURAL)

NOTE: REFER TO GEOTECHNICAL / SOILS REPORT FOR ADDITIONAL REQUIREMENTS & RECOMMENDATIONS

R-VALUE	FRR	TEST REFERENCE	STC & REF.
MIN R15	-	-	-

R - ROOF TYPES

R1 CONVENTIONAL ROOF W/ FULLY ADHERED EPDM ROOFING MEMBRANE

+/-2mm +/-1/16" FULLY ADHERED EPDM ROOFING MEMBRANE

13mm 1/2" PROTECTION BOARD

152mm 6" MIN TAPERED POLYISOCYANURATE RIGID INSULATION (R39C1)

- VAPOUR RETARDER (OVER HEATED SPACES)

38mm 1 1/2" STRUCTURAL STEEL DECK (REFER TO STRUCTURAL STEEL STRUCTURE, REFER TO STRUCTURAL)

R-VALUE	FRR	TEST REFERENCE	STC & REF.
MIN R37	-	-	-

P - PARTITION TYPES SHAFT WALL

P50 1HR SHAFT WALL

3 1/8" 79 mm

16mm 5/8" TYPE X GYPSUM BOARD PER ULC/cUL ASSEMBLY

64mm 2 1/2" C-H STEEL STUDS (25Ga) @ 24" @10mm O/C

25mm 1" FIRE RATED GYPSUM LINER PANEL

NOTE: REFER TO MANUFACTURER SPAN TABLES FOR HEIGHT LIMITATIONS

FRR	TEST REFERENCE	STC	TEST REF.
1HR	ULC W452 SYSTEM A	-	-

WALL & PARTITION TYPE NOTES

GENERAL:

- CONFIRM & COORDINATE ALL STUD WALL VERTICAL SPAN / HEIGHT LIMITATIONS WITH GYPSUM WALL BOARD TRADE
- CONTRACTOR TO COORDINATE LOCATION OF WALL BLOCKING AND SHEET METAL OR PLYWOOD REINFORCING FOR WALL MOUNTED EQUIPMENTS WITH ARCHITECTURAL DRAWINGS.
- COMBUSTIBLE MATERIALS SHALL COMPLY WITH OBC 2012 ARTICLE 3.1.5.12
- EXTEND GYPSUM BOARD 8" ABOVE CEILING ON GROUND FLOOR.
- STUDS TO BE MAX. 16 INCH O.C. UNLESS OTHERWISE NOTED.
- WALLS TO BE CONSTRUCTED AS A GUARDS WHERE FLOOR ELEVATION DIFFERENCE IN LEVEL IS MORE THAN 600MM BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE. (OBC 3.4.6.6 (1)(a)) (TYPICAL AT FLOOR OPENINGS)

WASHROOMS CONTAINING SHOWER:

- PROVIDE MOISTURE, MOLD AND MILDEW RESISTANT GYPSUM BOARD ON WALLS AND CEILING FOR PAINTED SURFACES.
- PROVIDE MOISTURE, MOLD AND MILDEW RESISTANT CEMENT BOARD BACKING FOR ALL TILE.
- WHERE FURRING CHANNELS ARE TO BE USED, PROVIDE GALVANIZED STEEL STUDS.

FIRE RATED ASSEMBLIES:

- PROVIDE FIRE STOP CAULKING AT TOP, BOTTOM AND PERIMETER OF GYPSUM BOARD AT FIRE RATED PARTITIONS IN ACCORDANCE WITH ULC/cUL DESIGN.
- PROVIDE MOISTURE, MOLD & MILDEW RESISTANT GYPSUM BOARD AT ALL WASHROOM SHOWER ENCLOSURES. ENSURE GYPSUM BOARD TYPE COMPLIANT WITH ULC/cUL ASSEMBLY WHERE APPLICABLE.
- PROVIDE ULC/cUL CERTIFIED FIRE STOPPING MATERIAL AT ALL WALL PENETRATIONS TO MAINTAIN CONTINUITY OF FIRE SEPARATION.
- EXTEND GYPSUM BOARD TO UIS OF SLAB C/W PERIMETER SMOKE SEAL CAULKING AT OHR / SMOKE SEAL LOCATIONS, TYPICAL.

SOUND RATED ASSEMBLIES:

- EXTEND GYPSUM BOARD TO UIS OF DECK C/W PERIMETER ACOUSTICAL SEALANT AT STC RATED PARTITIONS.
- PROVIDE CONTINUOUS STC RATED WALLS SEPARATING EITHER OFFICES, PUBLIC WASHROOMS, OR MEETING/CONFERENCE ROOMS FROM PUBLIC AREAS.

**NOT ISSUED FOR
CONSTRUCTION**

No.	NZ	CLIENT REVIEW	24-07-10
	By	Description	Date YY-MM-DD

ISSUANCE SCHEDULE

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ARCHITECT:

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CLIENT:

STARNIGHT IMPORT & EXPORT
368 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

PROJECT

WAREHOUSE & OFFICE
HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0N4

DRAWING TITLE

EXTERIOR WALL,
PARTITION, FLOOR &
ROOF TYPES

BY: AGR | CHECK: NZ | ISSUED FOR: CLIENT REVIEW

PROJECT NO.: A22-018 | SHEET NO.:

SCALE: 1" = 1'-0"

ISSUE DATE: 24-07-10

A010 | 1 SHEET

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PLOT DATE: 2024-07-10 2:51:43 PM

GENERAL NOTES:

- ALL EXISTING PAVEMENT CURBS, SIDEWALKS, DRIVEWAYS AND BOLLEVARDE AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN.
- A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF THE RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
- THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND ANY DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE TOWN BY-LAW AND DESIGN CRITERIA.
- ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AS THE PROPERTY LINE.
- ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
- SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY.
- WHERE POSSIBLE TREES ARE TO BE PROTECTED FROM CONSTRUCTION.
- EXCESS SNOW WILL BE REMOVED BY PRIVATE WALKER SUBJECT TO DEMAND FOR PARKING.
- REBOUNDING SIGN POST MOUNTED ON CURB MANUFACTURE: IMPACT RECOVERY (http://www.impactrecovery.com) STYLE: S1a-R1a Sign Posts SIGN MOUNTING HEIGHT 8 SIGN AS PER TOWN ACCESSIBILITY STANDARDS

PAVEMENT MARKING INDEX:

1	STOP BAR 0.30 m
2	SOLID YELLOW 0.10 m ACCESSIBLE PARKING MARKING

ABBREVIATIONS

C.D. - CURB DEPRESSION
 FH - FIRE HYDRANT
 G.F.A. - GROSS FLOOR AREA
 H.D. - HEAVY DUTY PAVING
 L.D. - LIGHT DUTY PAVING
 LB - LIGHT LANDING
 LS - LIGHT STANDARD
 SF - BARRIER FREE
 BFFE - BASEMENT FFE
 FFE - FINISHED FLOOR ELEVATION
 T.B.D. - TO BE DETERMINED
 T.B.R. - TO BE REMOVED
 SM - SQUARE METERS
 SF - SQUARE FEET
 PROV. - PROVIDED
 REQ'D - REQUIRED
 BS - BUS SHELTER
 EX - EXISTING
 F.R.S. - FIRE ROUTE SIGN
 B - BOLLARD
 FYSB - FRONT YARD SETBACK
 RYSB - REAR YARD SETBACK
 RYSB - REAR YARD BUILDING SETBACK

SIGN INDEX

1	FIRE ROUTE SIGN - CITY STANDARD
2L	NO PARKING ANY TIME - RA-51 30 cm x 30 cm LEFT ARROW
2R	NO PARKING ANY TIME - RA-51 30 cm x 30 cm RIGHT ARROW
3	ACCESSIBLE PARKING - see detail 8/A-101
4	STOP SIGN - R-50 60 cm x 60 cm

DRAWING LEGEND

LOCATION OF BLDG PRINCIPAL ENTRANCES FOR PUBLIC, FIRE FIGHTERS AND BF USE

FREE STANDING SIGNS

TRAFFIC FLOW

SNOW STORAGE AREAS

AREA OF PROPOSED NEW BLDG

HARDSCAPE AREAS PAVERS / STAMPED CONCRETE REFER TO LANDSCAPE DRAWINGS

PATH OF FIRE ROUTE

SOFT LANDSCAPE AREAS REFER TO LANDSCAPE DRAWING

PROPOSED DECORATIVE FENCING SEE LANDSCAPE DWG

OWNERS OPTION FOR HYBRID PARKING STALLS. EV CHARGING STATION C/W SIGN AND - SEE ELECTRICAL. AT A MINIMUM A CONDUIT IS TO BE RUN FOR FUTURE WORK

BIKE RACK - REFER TO LANDSCAPE DWGS

SERVICE EXITS/ ENTRANCE POINTS

OVER-HEAD DOOR (S.C.) SIAMOSE CONNECTION

DESIGNATED BARRIER FREE PARKING SPACE. REFER TO CITY STANDARD FOR PAINTED SYMBOL. SEE DET. 2/A-101

NUMBER OF PARKING SPACES IN A ROW

PROPOSED LOCATION OF PAD MOUNTED TRANSFORMER (CONFORM WITH LOCAL UTILITIES SEE SITE ELECTRICAL PLAN)

EXISTING ELECTRICAL PLAN

LOCATION OF L.S.

EX CHAIN LINK FENCE AT PROPERTY BOUNDARY

PROP. GAS SERVICE

PROP. ELECTRICAL SERVICE

PROP. COMMUNICATIONS (TEL, DATA ETC.)

PROP. SANITARY SERVICE

PROP. STORM SERVICE

PROP. WATER SERVICE

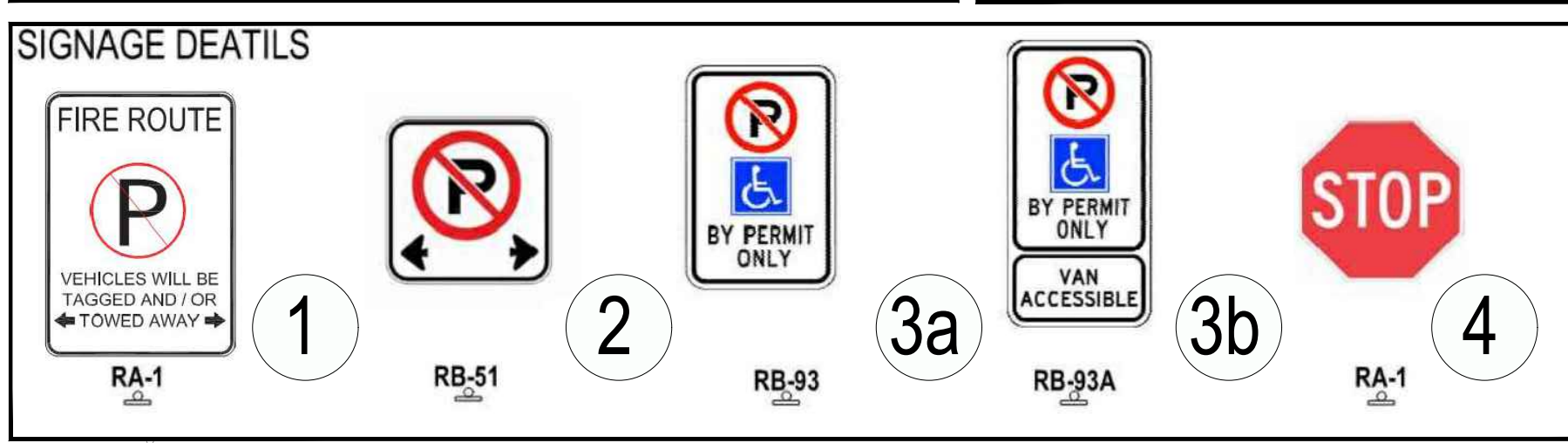
TOWN OF AJAX GENERAL NOTES (3.4.9)

- BOLLEVARDES TO BE GRADED, TOP SOILED 150 MM DEPTH AND SODDED BY OWNER/CONTRACTOR TO THE TOWN'S SATISFACTION.
- ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOLLEVARDE AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN OF AJAX.
- A MINIMUM SETBACK OF 1 METRE FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY THE CONTRACTOR/OWNER TO A SETBACK OF 1 METRE. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
- THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND ANY DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8.
- THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE TOWN OF AJAX BY-LAW AND DESIGN CRITERIA.
- ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE.
- SIDEWALK AND DRIVEWAYS SHALL BE CONSTRUCTED AS PER TOWN OF AJAX DETAIL AS 231 AND AS 342 RESPECTIVELY.
- ALL MUNICIPAL CURBS TO BE CUT BY THE TOWN. CONTACT 905.619.2529 EXT. 224 TO OBTAIN A CURB CUT PERMIT.
- ALL DOWNPOUTS TO BE CONNECTED TO THE STORM DRAINAGE SYSTEM.

CODE SUMMARY (BLDG GFA - SPA & CODE CALC AREA PLANS)

LEVEL	EXCLUSION	M2	SQFT
GROUND FLOOR	OFFICE	274.4	2,953.6
	WAREHOUSE	1,399.0	15,059.2
	SUB-TOTAL	1,763.8	18,985.0
MEZZANINE	EXCLUSION	44.4	478.0
	OFFICE	303.7	3,269.1
	SUB-TOTAL	348.1	3,747.10
TOTAL GFA		2,111.88	22,732.10

*EXCLUDED AREAS INCLUDE GARBAGE ENCLOSURES, ELECTRICAL & MECHANICAL ROOMS, VERTICAL SHAFTS, AND WASHROOMS



CREDIT NOTES:

BASE INFORMATION PROVIDED BY DAVID B SEARLES SURVEYING LTD. FILE DATED FEB 1, 2023 REFERENCE 63-2-22 SAPLVS ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY, OR COMPLETENESS OF THE DATA SUPPLIED AND SUCH DATA IS NOT INCLUDED UNDER SEALS OF CERTIFICATION.

LEGAL LAND DESCRIPTION:

PART OF BLOCK 3 REGISTERED PLAN # 40M-2486 CITY OF AJAX REGION OF DURHAM

SURVEYORS INFO FILE: 63-2-22

David B Searles Surveying Ltd.
 ONTARIO LAND SURVEYORS
 4255 Sherwood Ave, Suite 208
 Mississauga, Ontario, L4Z 1Y5
 P: 905.273.6662 F: 905.896.4410 CONTACT: Andrew Searles

SITE STATISTICS (Ajax Warehouse)

SITE AREA	SM	SF	ACRES	%
SOFT LANDSCAPE	578.7	6,229	0.143	14.2%
LANDSCAPE DECORATIVE PAVING	34.2	368	0.008	0.8%
TOTAL LANDSCAPE AREA	612.9	6,597	0.151	15.0%
ASPHALT	1,325.7	14,269	0.328	32.5%
CONCRETE APRON	271.2	2,919	0.067	6.6%
MISC (CURBING & WALKWAYS)	111.0	1,195	0.027	2.7%
LOT COVERAGE	1,763.8	18,985	0.436	43.2%
A GROUND FLOOR PLAN	1,763.8	18,985	0.436	43.2%
MEZZANINE	348.1	3,747	0.086	8.5%
TOTAL GFA	2,111.9	22,732	0.522	51.7%

BY-LAW - PARKING CALCULATION 5.10.2

Warehouse 1 space per 500 sqm
 Office - 1/26 sqm of GFA
 Manufacturing, Light 1/40 sqm of GFA + parking for Accessory retail
 Retail Warehouse: 1/20 sqm

BUILDING BREAKDOWN	RMS / SM	Per	Ratio	TOTAL
1 AT GRADE (WAREHOUSE) *	1,399	500.0	1.0	2.8
2 GRADE & MEZZ (OFFICE) *	274	28.0	1.0	9.8
3 2ND FLOOR (OFFICE) *	304			10.8
TOTAL PARKING REQUIRED				1977
TOTAL PARKING PROVIDED				24

*EXCLUDED AREAS INCLUDE GARBAGE ENCLOSURES, ELECTRICAL & MECHANICAL ROOMS, VERTICAL SHAFTS, AND WASHROOMS

LOADING 5.13

REQ'D (1,000 TO 2,300 SM)	SM	REQ'D	PROV.	COMPLY
2,111.9	1.0	2	2	YES

ACCESSIBLE PARKING (5.12.2)

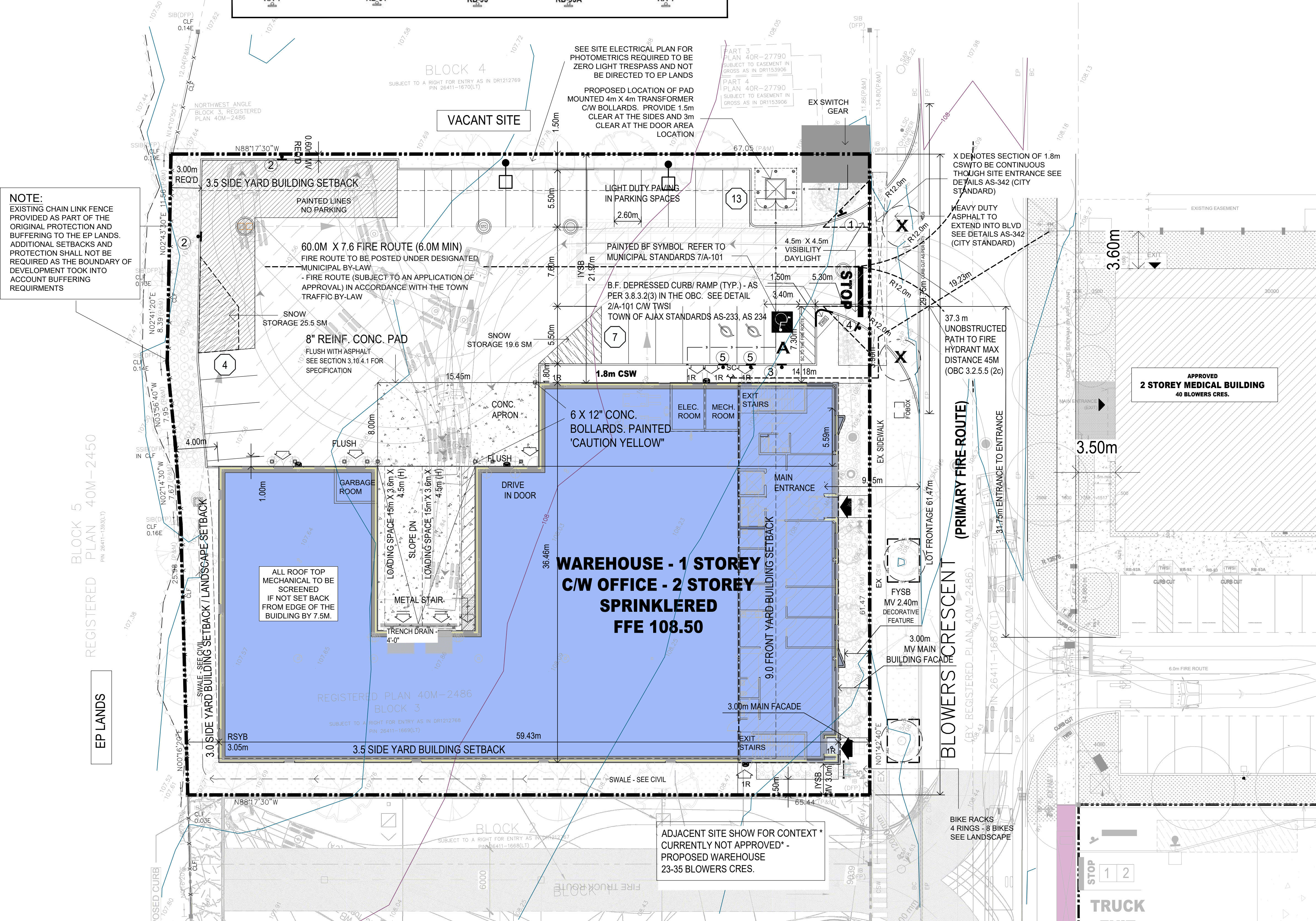
TOTAL REQUIRED (20-200)	TYPE A	TYPE B	TOTAL	COMPLY
1	1	2	3	NO **
TOTAL PROVIDED	1	0	1	

** 2 SPACES WOULD BE 7.7% WHICH IS EXTREMELY HIGH** AODA REQUIRED 4% AND WE ARE 3.8%

ZONING INFORMATION - Land Use By-law 95-2003 Nov., 2023

ZONED: PE - Pre - Prestige Employment Section 6.4 - Zoning Map 25 - Zoning Exception 66

Permitted Uses	YES	NO	
WAREHOUSE	x		
a Min. Lot Frontage	NA	61.47 YES	
b Min. Lot Depth	NA	65.42 YES	
c Min. Lot Area (Exception 66)	2HA	0.41 YES	
SETBACKS Table 6.4.2	REQ'D (S/M)	PROV (S/M)	COMPLY
d FRONT YARD	9	2.4m DEC. FEATURE 3.0m MAIN FACADE	NO
e REAR YARD	3	3.05	YES
f INTERIOR SIDE YARD (Exception 66)	3.5	3.00	NO
g EXTERIOR SIDE YARD	3	NA	YES
BUILDING HEIGHT	REQ'D (S/M)	PROV (S/M)	COMPLY
h Warehouse - EXTERIOR WALL - PARAPET	NA	11.28	YES
LANDSCAPE BUFFERS (4.12)	REQ'D (S/M)	PROV (S/M)	COMPLY
ABUTTING ROAD IN PRESTIGE EMPLOYMENT	3	DEC. FEAT. MAIN FACADE 3.00	YES
ABUTTING ROAD IN PRESTIGE EMPLOYMENT		NORTH 0.6/1.5 EAST 5.30 SOUTH 3.00 WEST 3.00	NO
PARKING AREAS FROM PROPERTY LINE	3	EAST 5.30 SOUTH 3.00 WEST 3.00	YES
LANDSCAPE BUFFERS (4.12)	REQ'D (S/M)	PROV (S/M)	COMPLY
PRESTIGE EMPLOYMENT MAX PARKING IN FRONT YARD	20%	0	YES
LOADING STALL	LOADING SPACED ARE PERMITTED IN THE REAR OR INTERIOR SIDE YARD ONLY	NO. LOADING SPACED. MUST BE INADEQUATELY SCREENED FROM THE STREET	
LOCATION OF LOADING			
PARKING STANDARDS	BY-LAW	COMPLIANT	
PARKING STALL	2.60 m x 5.5m	YES	
BARRIER-FREE 3.12.2	4.5 x 6.0 m	N/A	
BARRIER-FREE - AODA - DROPS	TYPE A 3.4 x 6	YES	
	TYPE B 2.4 x 6	N/A	
A 1.5m ACCESS AISLE CAN BE SHARED			
LOADING STALL	3.6 X 15 X 4.25(H)	YES	
DRIVE ISLE - TWO WAY	6.7 m	YES 7.3m	
FIRE ROUTE O.B.C.	6.0 m	YES	
AREAS OF THE PLAN THAT DO NOT CONFORM TO THE ZONING BY-LAW			



NO.	REV.	DESCRIPTION	DATE
3	DB	RESUBMISSION PRE-CON SPA - PHASE 2	24-06-06
2	DB	REVISED EXHIBIT FOR MV - REMOVED REAR LANDSCAPE BUFFER REDUCTION	24-05-15
1	DB	PRE-CONSULTATION - SPA - PHASE 2	24-04-26
0	NZ	PRE-CONSULTATION - PHASE 1	22-07-27

ISSUE BY: DESCRIPTION DATE Y1-M1-D1

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API
 ARCHITECTS

ARCHITECTS:
 40 ST CLAIR AVE E SUITE 808
 TORONTO, ONTARIO M4V 1M1

SAI
 SAPLVS ARCHITECTS

PROPERTY OWNER:
 2625684 ONTARIO LTD.
 AND 5054870 ONTARIO INC.
 Contact: Sherbuz Butt
 416.850.7857
 358 Ironside Cres.
 Toronto, Ontario, M1X 1G5

STAR
 IMPORT & EXPORT

45 BLOWERS CRESCENT
 Ajax, Ontario, Canada
 Closest Major Intersection - Salem Rd & Roseland Rd E

BLOCK 3 REGISTERED PLAN 40M-2486, TOWN OF AJAX

DRAWING TITLE: **SITE PLAN**

APPLICANT NO.:
 PROJECT NO.:
 SHEET NO.:
 SCALE: 1:200

A-100

4.0

NOTE:
 THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER AND/OR CONSTRUCTOR. CONSTRUCTION IS TO BE REVIEWED & APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED & APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONSTRUCTOR.
 BASIS OF DESIGN MODEL: SCHINDLER 3100 MRL CAPACITY: 2500 LBS. OWNER TO CONFIRM ELEVATOR AND SIZE

NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
2	NZ	CLIENT REVIEW	24-06-19
1	NZ	CLIENT REVIEW	24-07-10

ISSUANCE SCHEDULE

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 OAKVILLE, ONTARIO L6J 7W5



CLIENT:
 STARNIGHT IMPORT & EXPORT
 358 IRONSIDE CRESCENT
 SCARBOROUGH, ON M1X 1G5



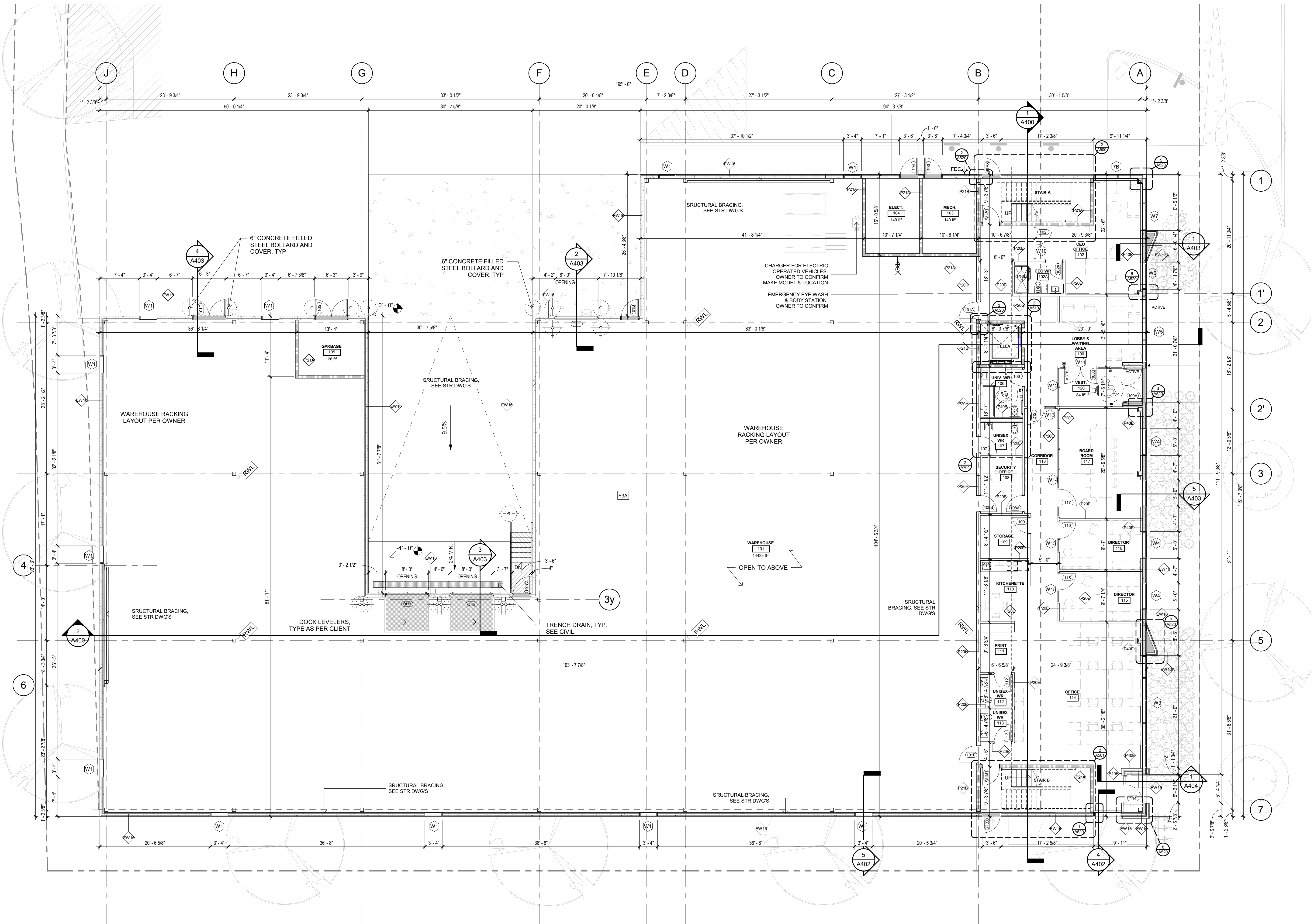
WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CREAS
 AJAX, ON L1Z 0M4

GROUND FLOOR PLAN

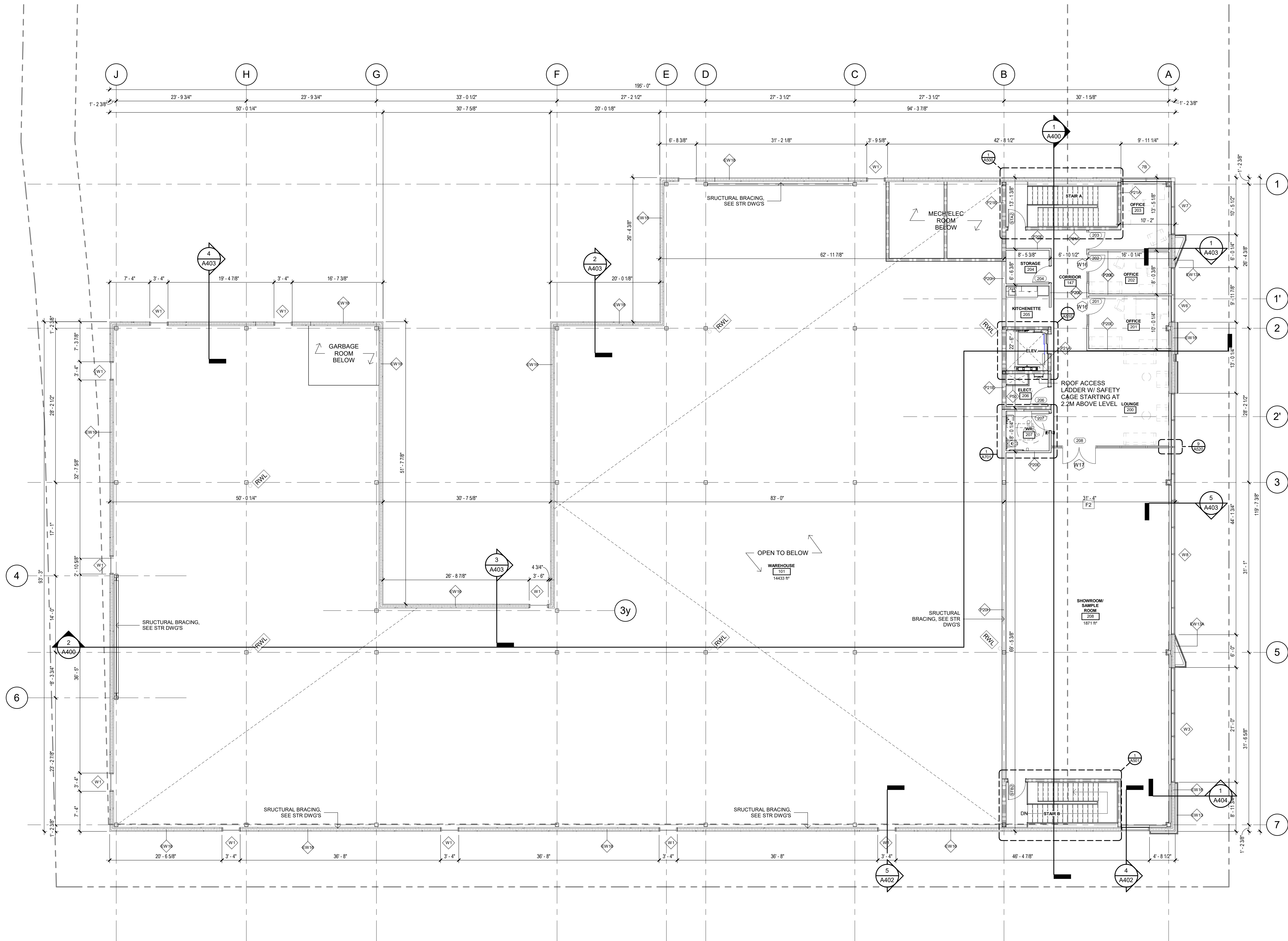
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AGR	NZ	CLIENT REVIEW
PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:		
As indicated		
ISSUE DATE:		
24-06-19		

A201 2
 SHEET
 ISSUE NO.



1 T/O GROUND FLOOR
 A201 1 : 100

PLOT DATE: 2024-07-10 2:51:45 PM



NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
2	NZ	CLIENT REVIEW	24-06-19
1	NZ	CLIENT REVIEW	24-07-10

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P: 905.337.7249



ARCHITECT:

SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5



CLIENT:

STARNIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



PROJECT

WAREHOUSE & OFFICE HEADQUARTERS

**45 BLOWERS CRES
AJAX, ON L1Z 0M4**

DRAWING TITLE

SECOND FLOOR PLAN

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:		
1 : 100		
ISSUE DATE:		
24-06-19		

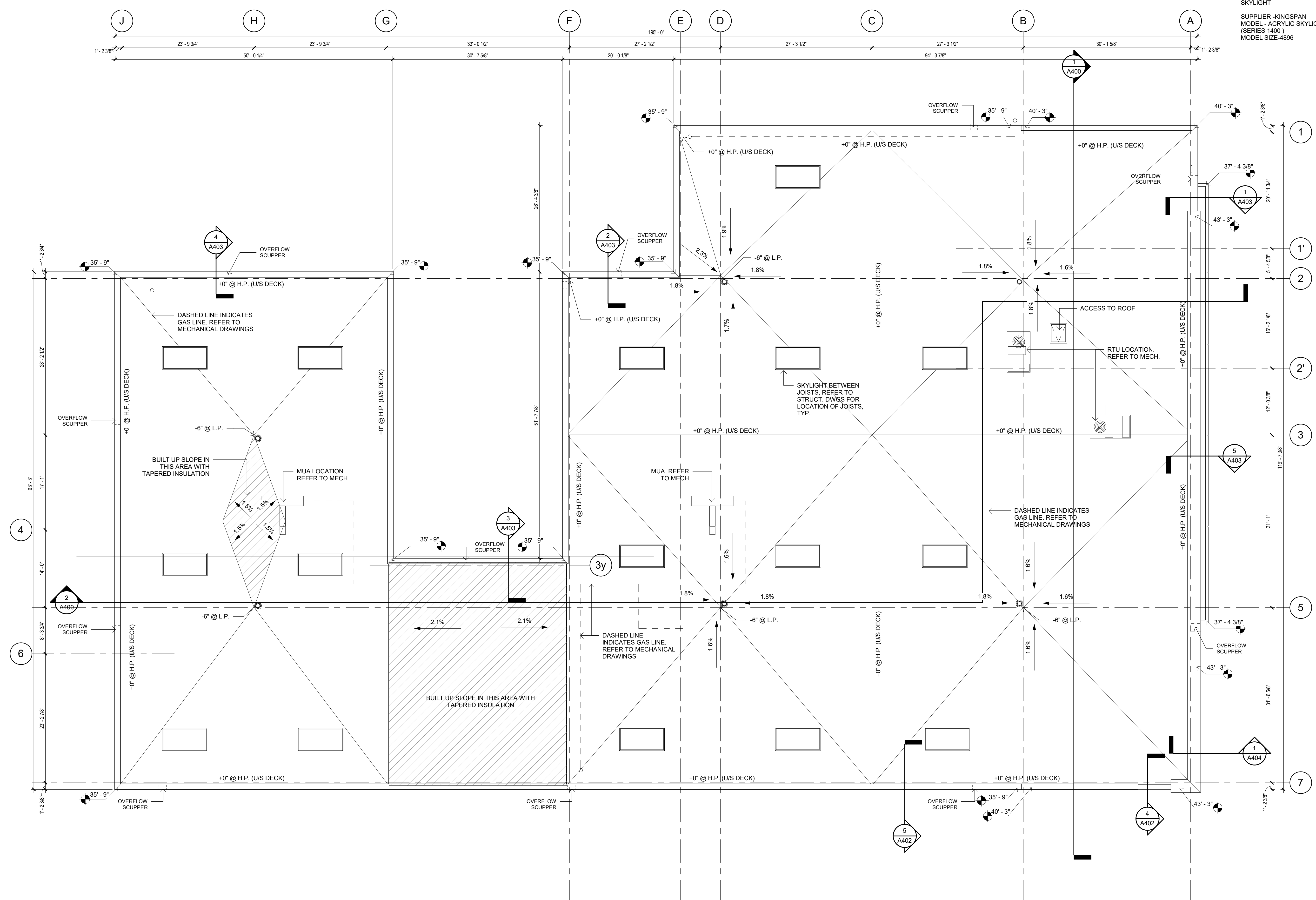
1 T/O SECOND FLOOR - OVERALL PLAN
A202 1 : 100

A202 2
SHEET
ISSUE NO.

PLOT DATE: 2024-07-10 2:51:46 PM

PROVIDE HIGH ALBEDO / LIGHT COLOURED EPDM ROOFING MEMBRANE ON 100% OF ROOD AREA

SKYLIGHT
SUPPLIER - KINGSPAN
MODEL - ACRYLIC SKYLIGHT
(SERIES 1400)
MODEL SIZE - 4896



NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

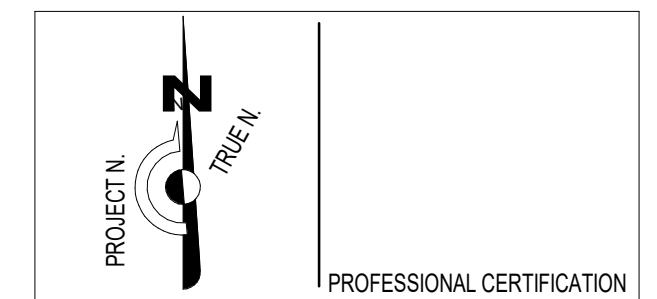
ISSUANCE SCHEDULE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
API CONSULTANTS INC.
1484 CORNWALL ROAD, UNIT 7
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249

ARCHITECT:
SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5

CLIENT:
STARNIGHT IMPORT & EXPORT
368 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0M4

ROOF PLAN

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO.:	SHEET NO.:	
A22-018	1	
SCALE:	ISSUE DATE:	
1:100	24-07-10	

1 ROOF PLAN
A204 1:100

A204 1
SHEET
ISSUE NO.

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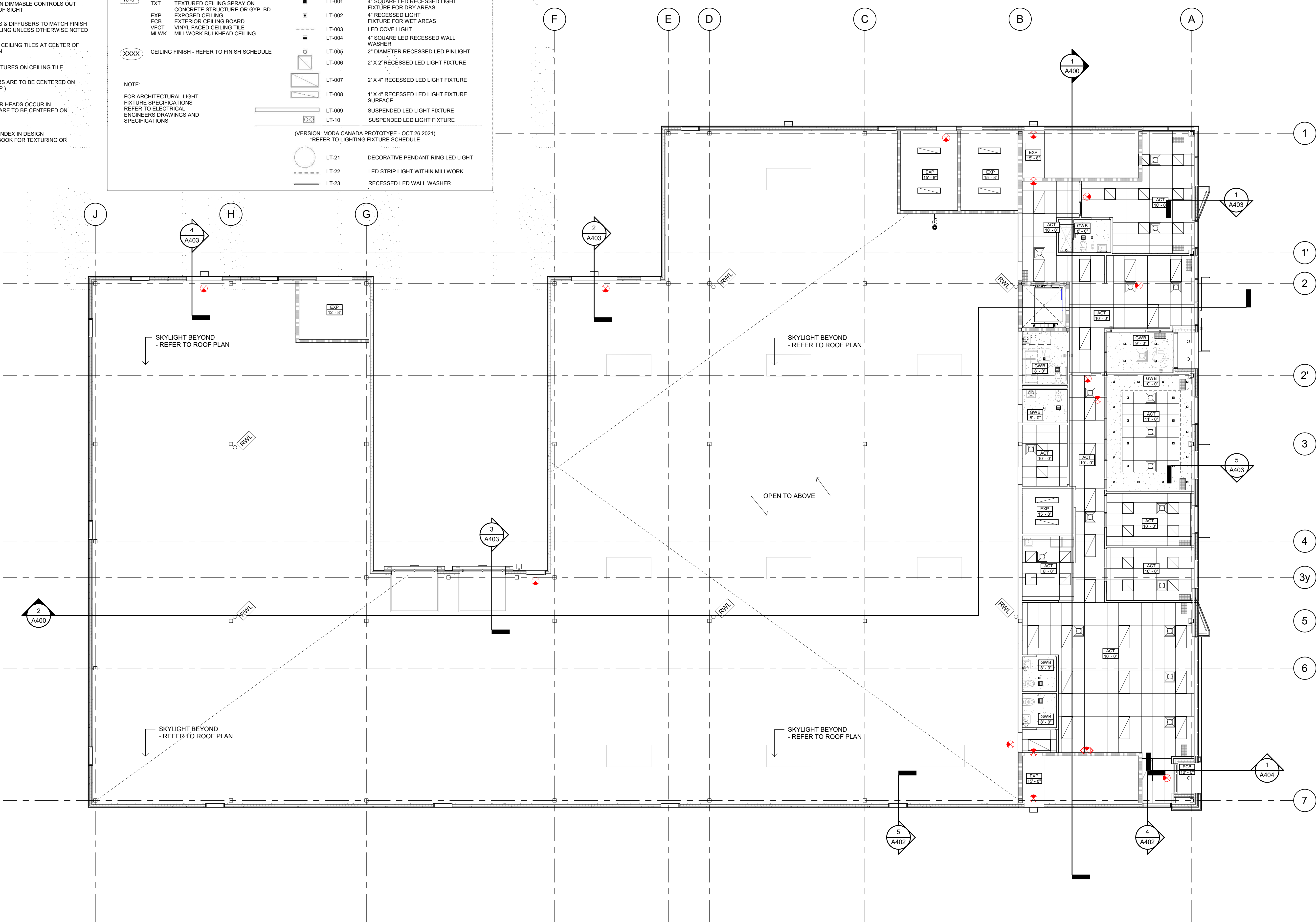
PLOT DATE: 2024-07-10 2:51:47 PM

GENERAL NOTES

- REFER TO SPECIFICATIONS FOR INTERIOR FINISH INDEX
- LIGHTING TO BE ON DIMMABLE CONTROLS OUT OF GUEST'S LINE OF SIGHT
- GRILLS, SPEAKERS & DIFFUSERS TO MATCH FINISH OF ADJACENT CEILING UNLESS OTHERWISE NOTED
- BEGIN LAYOUT OF CEILING TILES AT CENTER OF ROOMS AS SHOWN
- CENTER LIGHT FIXTURES ON CEILING TILE
- SMOKE DETECTORS ARE TO BE CENTERED ON CEILING TILES (TYP.)
- WHERE SPRINKLER HEADS OCCUR IN CORRIDOR, THEY ARE TO BE CENTERED ON CEILING TILES
- REFER TO FINISH INDEX IN DESIGN SPECIFICATIONS BOOK FOR TEXTURING OR PAINTING OF GWB

RCP LEGEND

GB 10'-0"	GB SUSPENDED GYPSUM BOARD CEILING	(VERSION: MODA USA PROTOTYPE-APR 20 2020)	
ACT	SUSPENDED ACOUSTIC CEILING TILE	LT-001	4" SQUARE LED RECESSED LIGHT FIXTURE FOR DRY AREAS
TX	TEXTURED CEILING SPRAY ON CONCRETE STRUCTURE OR GYP. BD.	LT-002	4" RECESSED LIGHT FIXTURE FOR WET AREAS
EXP	EXPOSED CEILING	LT-003	LED COVE LIGHT
ECB	EXTERIOR CEILING BOARD	LT-004	4" SQUARE LED RECESSED WALL WASHER
VFC	VINYL FACED CEILING TILE	LT-005	2" DIAMETER RECESSED LED PINLIGHT
MLWK	MILLWORK BULKHEAD CEILING	LT-006	2' X 2' RECESSED LED LIGHT FIXTURE
XXXX	CEILING FINISH - REFER TO FINISH SCHEDULE	LT-007	2' X 4' RECESSED LED LIGHT FIXTURE
		LT-008	1' X 4' RECESSED LED LIGHT FIXTURE SURFACE
		LT-009	SUSPENDED LED LIGHT FIXTURE
		LT-010	SUSPENDED LED LIGHT FIXTURE
		(VERSION: MODA CANADA PROTOTYPE - OCT 26 2021)	
		*REFER TO LIGHTING FIXTURE SCHEDULE	
		LT-21	DECORATIVE PENDANT RING LED LIGHT
		LT-22	LED STRIP LIGHT WITHIN MILLWORK
		LT-23	RECESSED LED WALL WASHER



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No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

ISSUANCE SCHEDULE

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DEVELOPMENT CONSULTANT:

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ARCHITECT:

SAPLYS ARCHITECTS INC.
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OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARNIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

PROJECT N. 1161 N

PROFESSIONAL CERTIFICATION

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0M4

GROUND FLOOR RCP

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO:	SHEET NO:	
A22-018		
SCALE:		
As indicated		
ISSUE DATE:		
24-07-10		

1 GROUND FLOOR RCP
A210 1 : 100

A210 1
SHEET
ISSUE No.

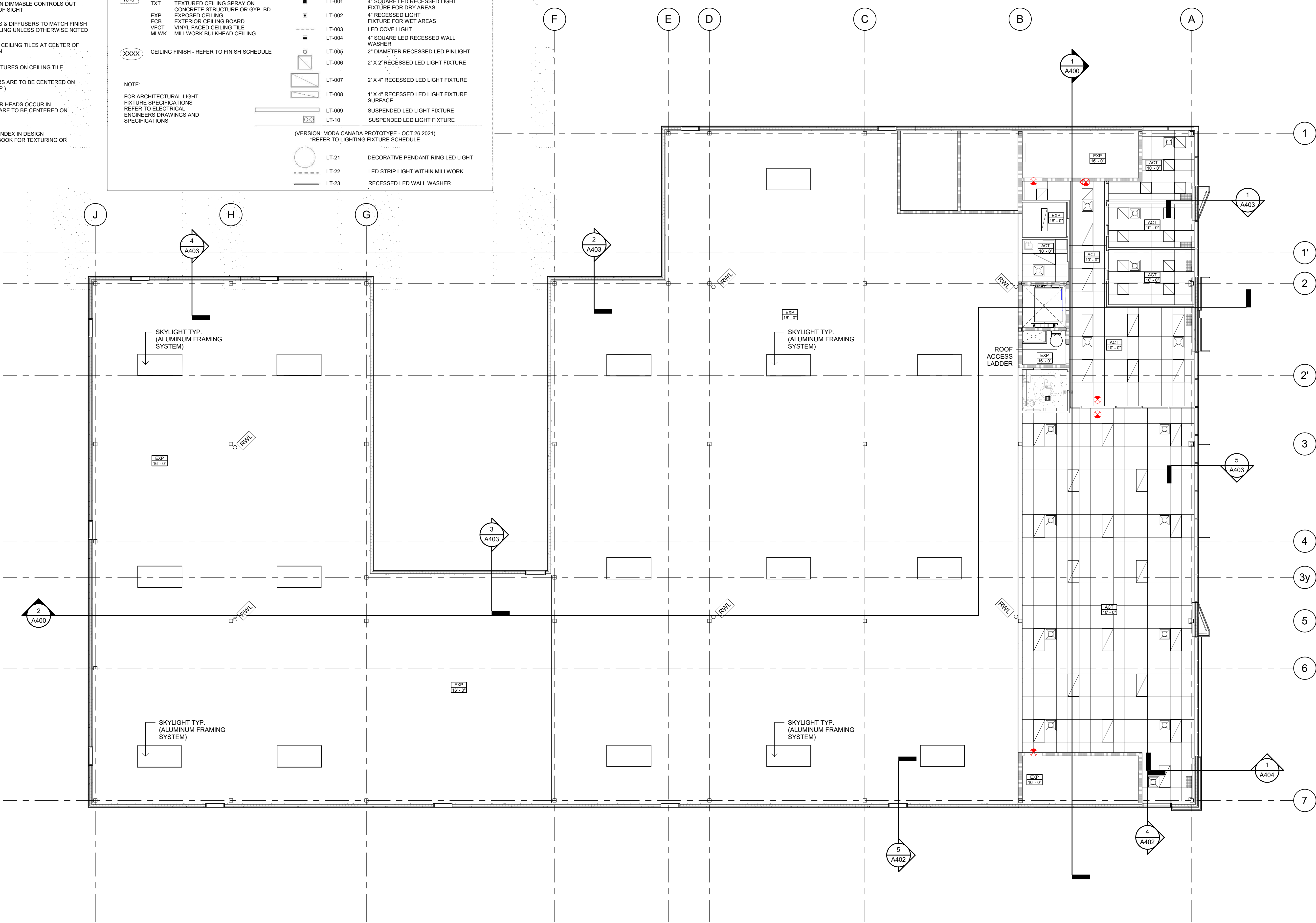
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GENERAL NOTES

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- BEGIN LAYOUT OF CEILING TILES AT CENTER OF ROOMS AS SHOWN
- CENTER LIGHT FIXTURES ON CEILING TILE
- SMOKE DETECTORS ARE TO BE CENTERED ON CEILING TILES (TYP.)
- WHERE SPRINKLER HEADS OCCUR IN CORRIDOR, THEY ARE TO BE CENTERED ON CEILING TILES
- REFER TO FINISH INDEX IN DESIGN SPECIFICATIONS BOOK FOR TEXTURING OR PAINTING OF GWB

RCP LEGEND

GB 10'-0"	GB SUSPENDED GYPSUM BOARD CEILING	(VERSION: MODA USA PROTOTYPE-APR 20 2020)	
ACT	SUSPENDED ACOUSTIC CEILING TILE	LT-001	4" SQUARE LED RECESSED LIGHT FIXTURE FOR DRY AREAS
TX	TEXTURED CEILING SPRAY ON CONCRETE STRUCTURE OR GYP. BD.	LT-002	4" RECESSED LIGHT FIXTURE FOR WET AREAS
EXP	EXPOSED CEILING	LT-003	LED COVE LIGHT
ECB	EXTERIOR CEILING BOARD	LT-004	4" SQUARE LED RECESSED WALL WASHER
VFC	VINYL FACED CEILING TILE	LT-005	2" DIAMETER RECESSED LED PINLIGHT
MLWK	MILLWORK BULKHEAD CEILING	LT-006	2' X 2' RECESSED LED LIGHT FIXTURE
XXXX	CEILING FINISH - REFER TO FINISH SCHEDULE	LT-007	2' X 4' RECESSED LED LIGHT FIXTURE
		LT-008	1' X 4' RECESSED LED LIGHT FIXTURE SURFACE
		LT-009	SUSPENDED LED LIGHT FIXTURE
		LT-010	SUSPENDED LED LIGHT FIXTURE
		(VERSION: MODA CANADA PROTOTYPE - OCT 26 2021) *REFER TO LIGHTING FIXTURE SCHEDULE	
		LT-21	DECORATIVE PENDANT RING LED LIGHT
		LT-22	LED STRIP LIGHT WITHIN MILLWORK
		LT-23	RECESSED LED WALL WASHER



No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

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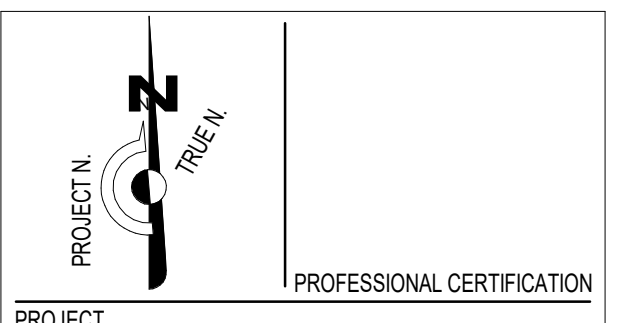
API CONSULTANTS INC.
1484 CORNWALL ROAD, UNIT 7
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249

ARCHITECT:

SAPLYS ARCHITECTS INC.
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OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARNIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



PROJECT

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0N4

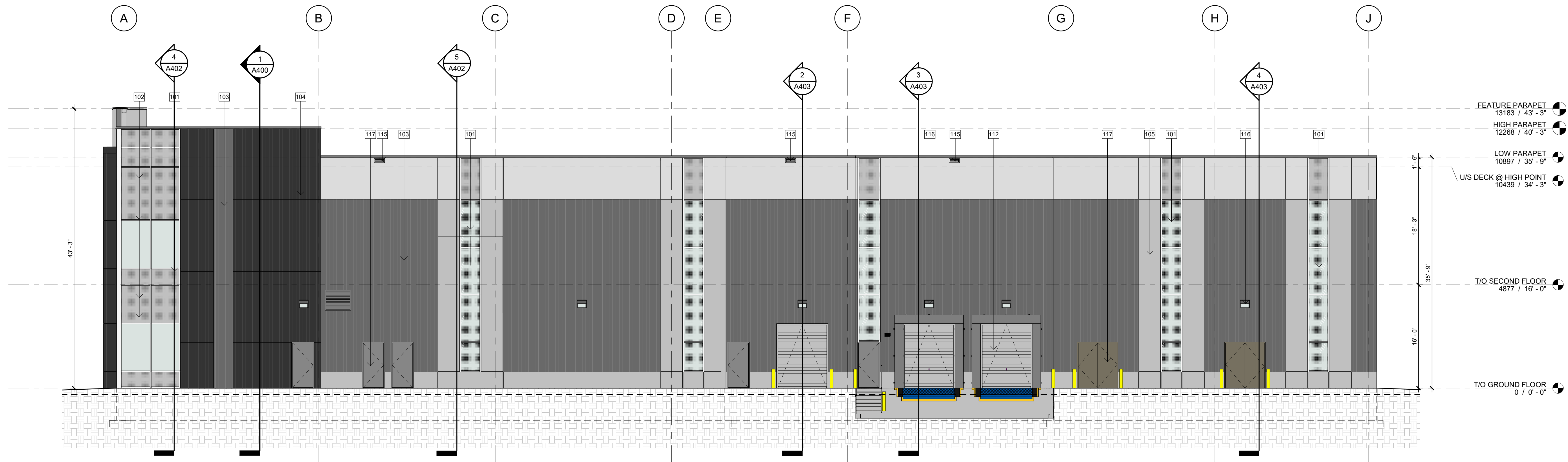
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SECOND FLOOR RCP

BY	CHECK	ISSUED FOR
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PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:		
As indicated		
ISSUE DATE:		
24-07-10		

1 2ND FLOOR RCP
A211 1 : 100

A211 1
SHEET
ISSUE No.



NOT ISSUED FOR CONSTRUCTION

1 NORTH ELEVATION
A301 1:100



2 EAST ELEVATION
A301 1:100

EXTERIOR ELEVATION LEGEND

- 101 GREY TINTED SEALED VISION GLASS UNITS IN PREFINISHED THERMALLY BROKEN ALUMINUM FRAMING. CLEAR ANODIZED EXTERIOR 19MM CAPS AS ILLUSTRATED.
- 102 GREY TINTED SEALED SPANDREL GLASS UNITS WITH INSULATED GALVANIZED METAL BACK PAN IN PREFINISHED THERMALLY BROKEN ALUMINUM FRAMING. MIN. R20. CLEAR ANODIZED EXTERIOR 19MM CAPS AS ILLUSTRATED.
- 103 INSULATED PRECAST CONCRETE SANDWICH PANELS, R-17 MINIMUM. 60MM VERTICAL RIBBED PROFILE. COLOUR: GRAY.
- 104 INSULATED PRECAST CONCRETE SANDWICH PANELS, R-17 MINIMUM. 60MM VERTICAL RIBBED PROFILE. COLOUR: DARK CHARCOAL.
- 105 INSULATED PRECAST CONCRETE SANDWICH PANELS, R-17 MINIMUM. 2.5"W x 1"D VERTICAL AND HORIZONTAL REVEALS AT ILLUSTRATED LOCATIONS. COLOUR: GRAY. MEDIUM SANDBLAST, SMOOTH BROOM FINISH.
- 106 INSULATED PRECAST CONCRETE SANDWICH PANELS, R-17 MINIMUM. 2.5"W x 1"D VERTICAL AND HORIZONTAL REVEALS AT ILLUSTRATED LOCATIONS. COLOUR: LIGHT GRAY. MEDIUM SANDBLAST, SMOOTH BROOM FINISH.
- 107 PREFINISHED ALUMINUM COMPOSITE PANELS, R-25 MINIMUM. VENTED DRY JOINT CONSTRUCTION. COLOUR: DARK GRAY. VERTICAL/HORIZONTAL JOINTS AS ILLUSTRATED.
- 108 PREFINISHED ALUMINUM COMPOSITE PANELS, R-25 MINIMUM. VENTED DRY JOINT CONSTRUCTION. COLOUR: WHITE. VERTICAL/HORIZONTAL JOINTS AS ILLUSTRATED.
- 109 PREFINISHED ALUMINUM COMPOSITE PANELS, R-25 MINIMUM. VENTED DRY JOINT CONSTRUCTION. COLOUR: WHITE. VERTICAL/HORIZONTAL JOINTS AS ILLUSTRATED.
- 110 EXTERIOR ALUMINUM DOOR WITH CLEAR TEMPERED VISION GLASS UNITS IN PREFINISHED THERMALLY BROKEN ALUMINUM ENTRANCE FRAMING.
- 112 OVERHEAD SECTIONAL STEEL DRIVE-IN DOOR WITH VISION PANELS, 8"W x 10"H. ELECTRICALLY OPERATED. INSULATED & PREFINISHED COMPLETE WITH DOCK LEVELER, DOCK SEALS & BUMPERS.
- 115 OVERFLOW ROOF SCUPPER (6"H x 12"W CLEAR OPENING).
- 116 EXTERIOR LIGHTING FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- 117 EXTERIOR INSULATED METAL DOOR. REFER TO DOOR SCHEDULE.

ELEVATION	GLAZING		
	AREA m2	TREATED m2	%
NORTH	66.8	60	90%
EAST	133.3	113.3	85%
SOUTH	47.8	47.8	100%
WEST	20.3	20.3	100%
TOTAL	268.2	241.4	90%

SYMBOL LEGEND	
	BIRD FRIENDLY DESIGN PATTERN, SEE "CSA BIRD FRIENDLY DESIGN STANDARD A460" FOR DETAILS. DOT MARKER PATTERN MIN Ø 4mm, SPACING MAX 50mm BETWEEN PATTERNS.

No.	By	Description	Date YY-MM-DD
1	NZ	CLIENT REVIEW	24-07-10

ISSUANCE SCHEDULE

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ARCHITECT:

SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

PROJECT

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0N4

DRAWING TITLE

EXTERIOR ELEVATION I

BY: AGR | CHECK: NZ | ISSUED FOR: CLIENT REVIEW

PROJECT NO: A22-018 | SHEET NO: 1

SCALE: As indicated

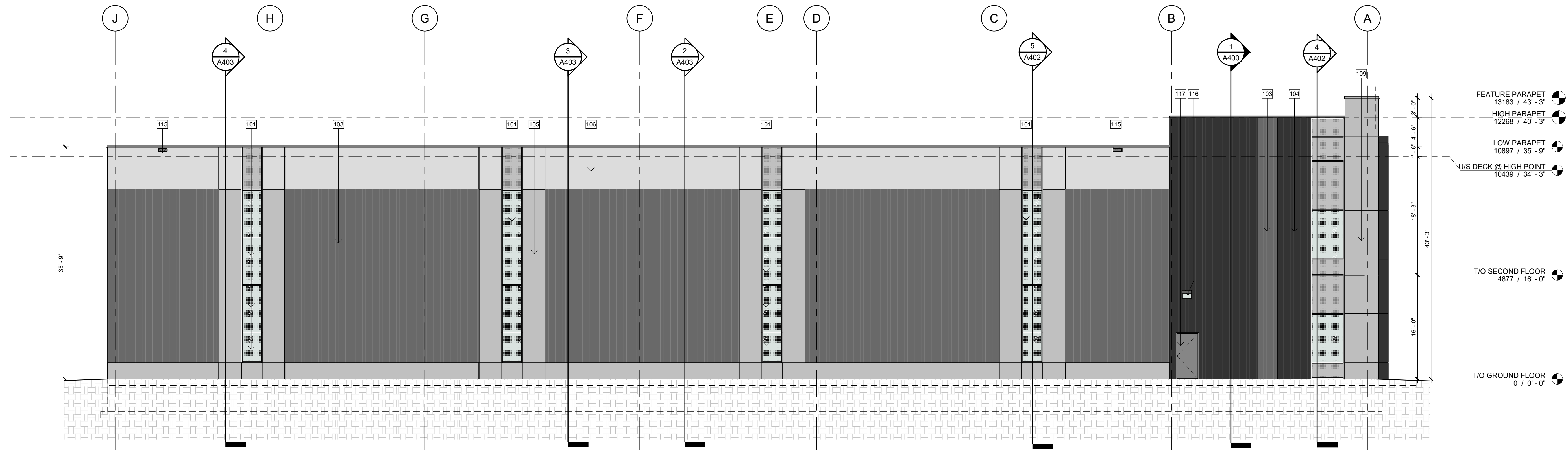
ISSUE DATE: 24-07-10

A301 1 SHEET ISSUE No.

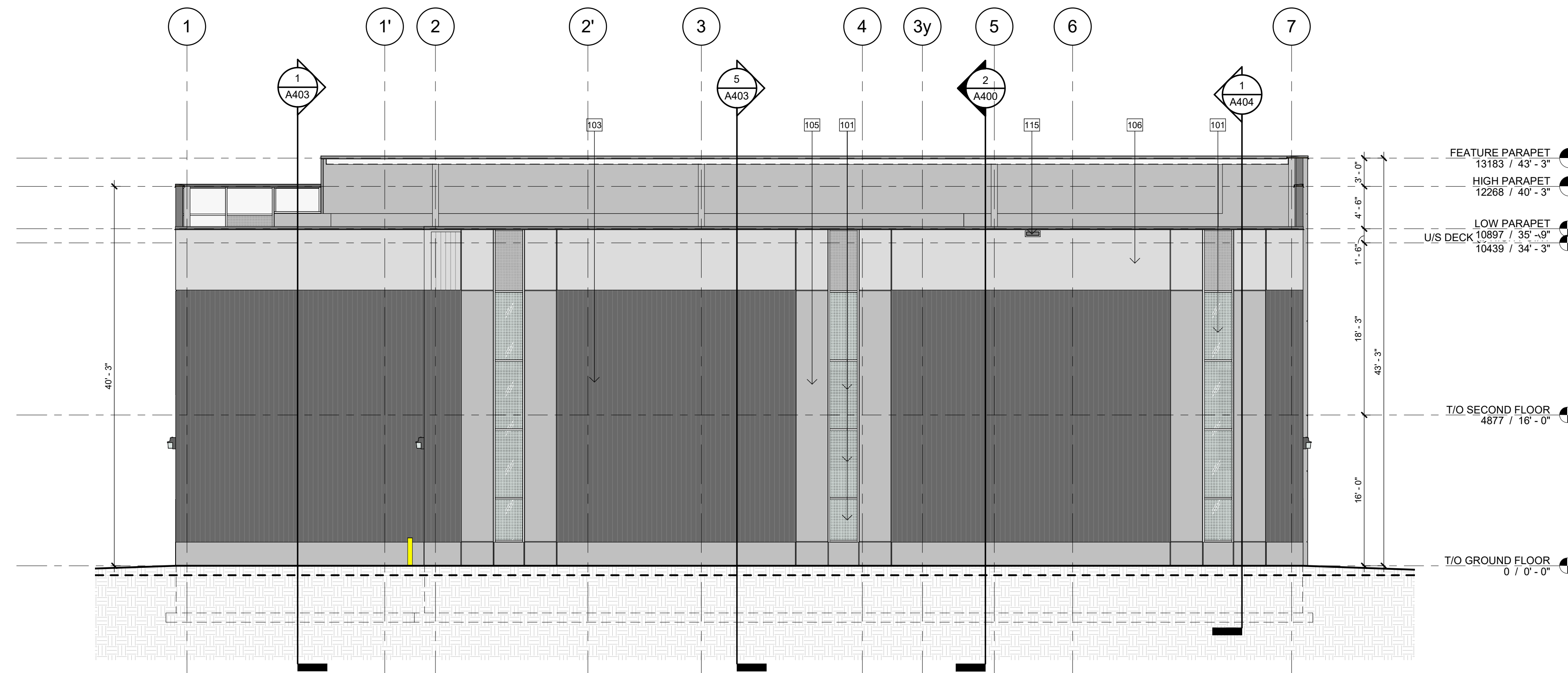
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1 SOUTH ELEVATION
A302 1 : 100



2 WEST ELEVATION
A302 1 : 100

EXTERIOR ELEVATION LEGEND

- 101 GREY TINTED SEALED VISION GLASS UNITS IN PREFINISHED THERMALLY BROKEN ALUMINUM FRAMING. CLEAR ANODIZED EXTERIOR 19MM CAPS AS ILLUSTRATED.
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- 106 INSULATED PRECAST CONCRETE SANDWICH PANELS, R-17 MINIMUM. 2.5"W x 1"D VERTICAL AND HORIZONTAL REVEALS AT ILLUSTRATED LOCATIONS. COLOUR: LIGHT GRAY. MEDIUM SANDBLAST, SMOOTH BROOM FINISH.
- 107 PREFINISHED ALUMINUM COMPOSITE PANELS, R-25 MINIMUM. VENTED DRY JOINT CONSTRUCTION. COLOUR: DARK GRAY. VERTICAL/HORIZONTAL JOINTS AS ILLUSTRATED.
- 108 PREFINISHED ALUMINUM COMPOSITE PANELS, R-25 MINIMUM. VENTED DRY JOINT CONSTRUCTION. COLOUR: DEEP RED. VERTICAL/HORIZONTAL JOINTS AS ILLUSTRATED.
- 109 PREFINISHED ALUMINUM COMPOSITE PANELS, R-25 MINIMUM. VENTED DRY JOINT CONSTRUCTION. COLOUR: WHITE. VERTICAL/HORIZONTAL JOINTS AS ILLUSTRATED.
- 110 EXTERIOR ALUMINUM DOOR WITH CLEAR TEMPERED VISION GLASS UNITS IN PREFINISHED THERMALLY BROKEN ALUMINUM ENTRANCE FRAMING.
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ELEVATION	GLAZING		
	AREA m2	TREATED m2	%
NORTH	66.8	60	90%
EAST	133.3	113.3	85%
SOUTH	47.8	47.8	100%
WEST	20.3	20.3	100%
TOTAL	268.2	241.4	90%

SYMBOL LEGEND

	BIRD FRIENDLY DESIGN PATTERN, SEE "CSA BIRD FRIENDLY DESIGN STANDARD A460" FOR DETAILS. DOT MARKER PATTERN MIN Ø 4mm, SPACING MAX 50mm BETWEEN PATTERNS.
--	--

No.	By	Description	Date YY-MM-DD
1	NZ	CLIENT REVIEW	24-07-10

ISSUANCE SCHEDULE

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P: 905.337.7249

ARCHITECT:

SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARLIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

PROFESSIONAL CERTIFICATION

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0N4

EXTERIOR ELEVATION II

BY: AGR | CHECK: NZ | ISSUED FOR: CLIENT REVIEW

PROJECT NO: A22-018 | SHEET NO: 1

SCALE: As indicated

ISSUE DATE: 24-07-10

A302 1 SHEET ISSUE No.

PLOT DATE: 2024-07-10 2:51:55 PM



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CONSTRUCTION**

No.	By	Description	Date YY-MM-DD
2	NZ	CLIENT REVIEW	24-06-19
1	NZ	CLIENT REVIEW	24-07-10

ISSUANCE SCHEDULE

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OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249



ARCHITECT:
SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5



CLIENT:
STARNIGHT IMPORT & EXPORT
368 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



PROFESSIONAL CERTIFICATION

PROJECT
**WAREHOUSE & OFFICE
HEADQUARTERS**

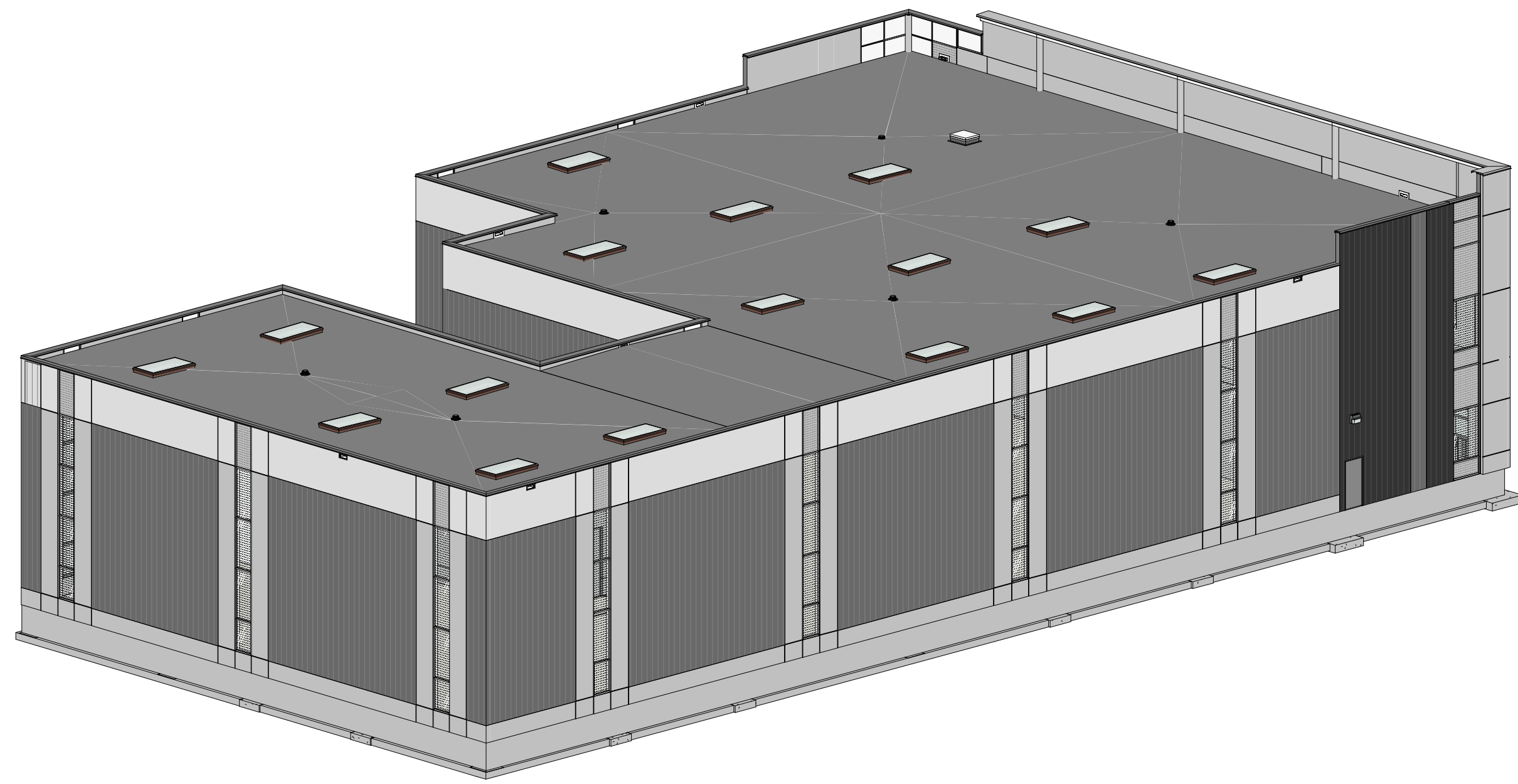
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AJAX, ON L1Z 0N4**

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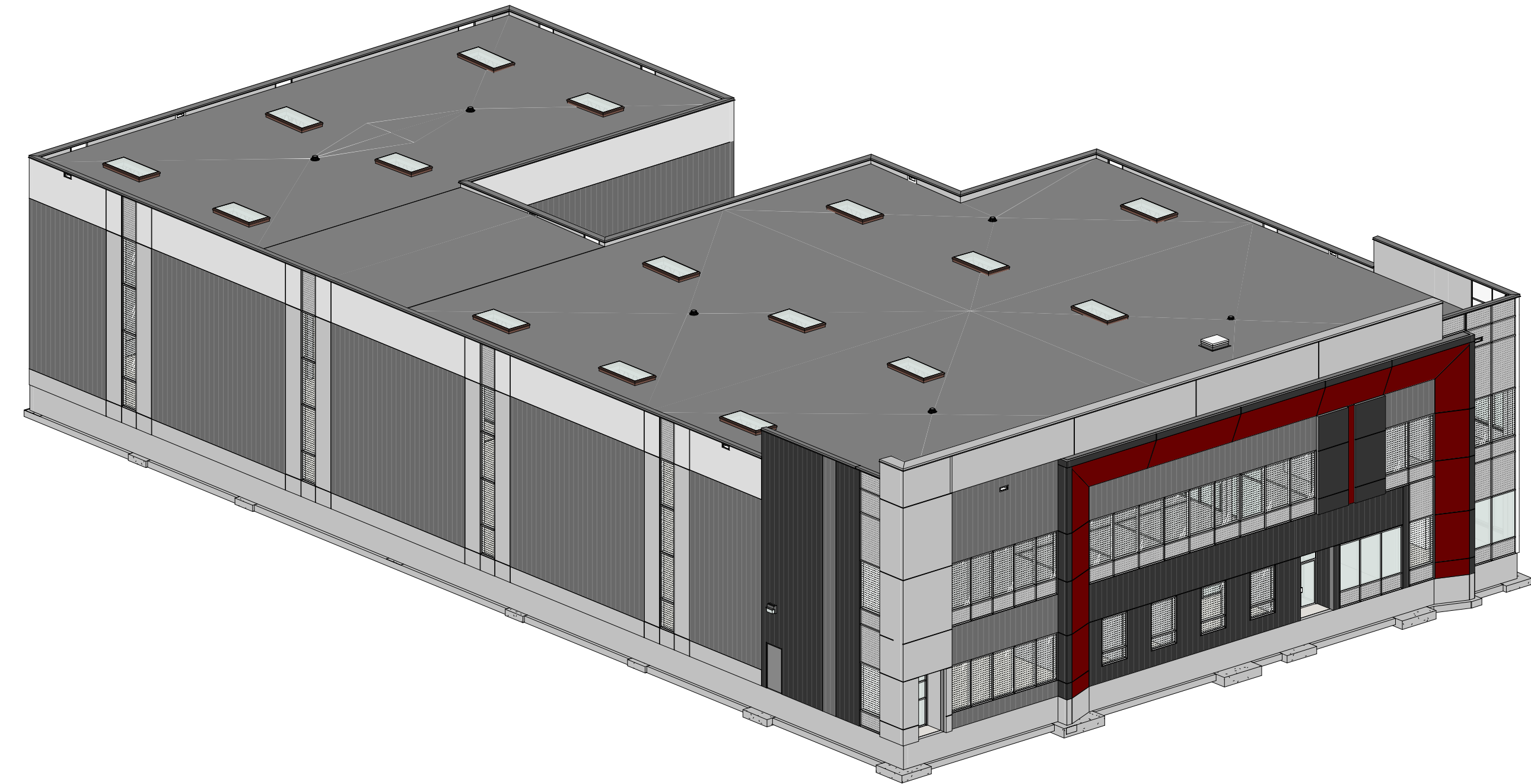
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AGR	NZ	CLIENT REVIEW
PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:		
1 : 21		
ISSUE DATE:		
24-06-19		

A304 | 2
SHEET
ISSUE No.

PLOT DATE: 2024-07-10 2:51:56 PM



1
A305
SOUTHWEST VIEW



2
A305
SOUTHEAST VIEW FROM BLOWERS CRES

**NOT ISSUED FOR
CONSTRUCTION**

No.	By	Description	Date YY-MM-DD
1	NZ	CLIENT REVIEW	24-07-10

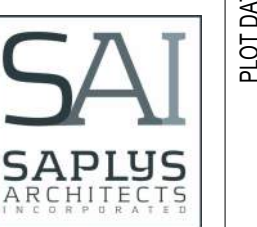
ISSUANCE SCHEDULE

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CLIENT:
STARNIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



PROFESSIONAL CERTIFICATION

PROJECT
**WAREHOUSE & OFFICE
HEADQUARTERS**

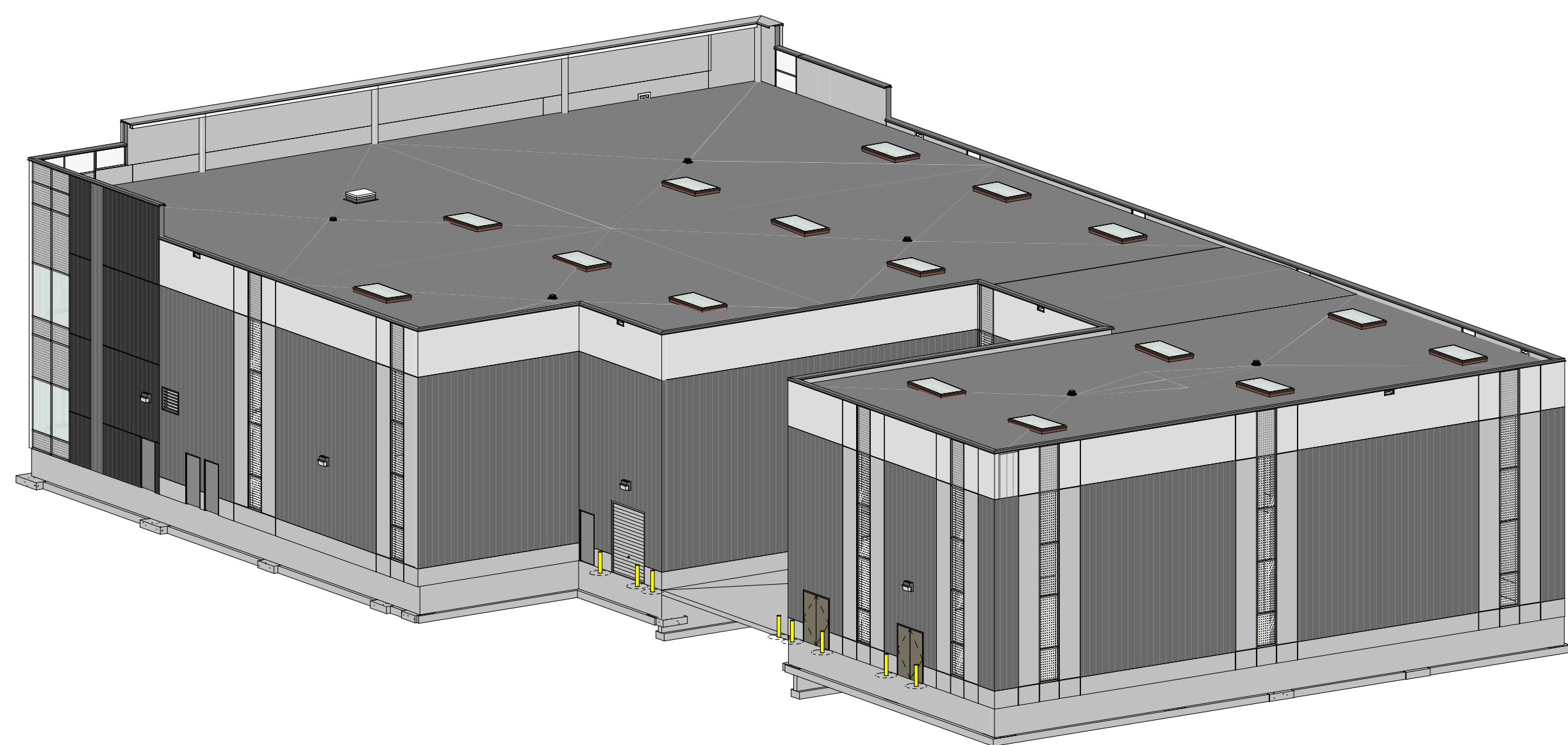
45 BLOWERS CRES
AJAX, ON L1Z 0N4

DRAWING TITLE
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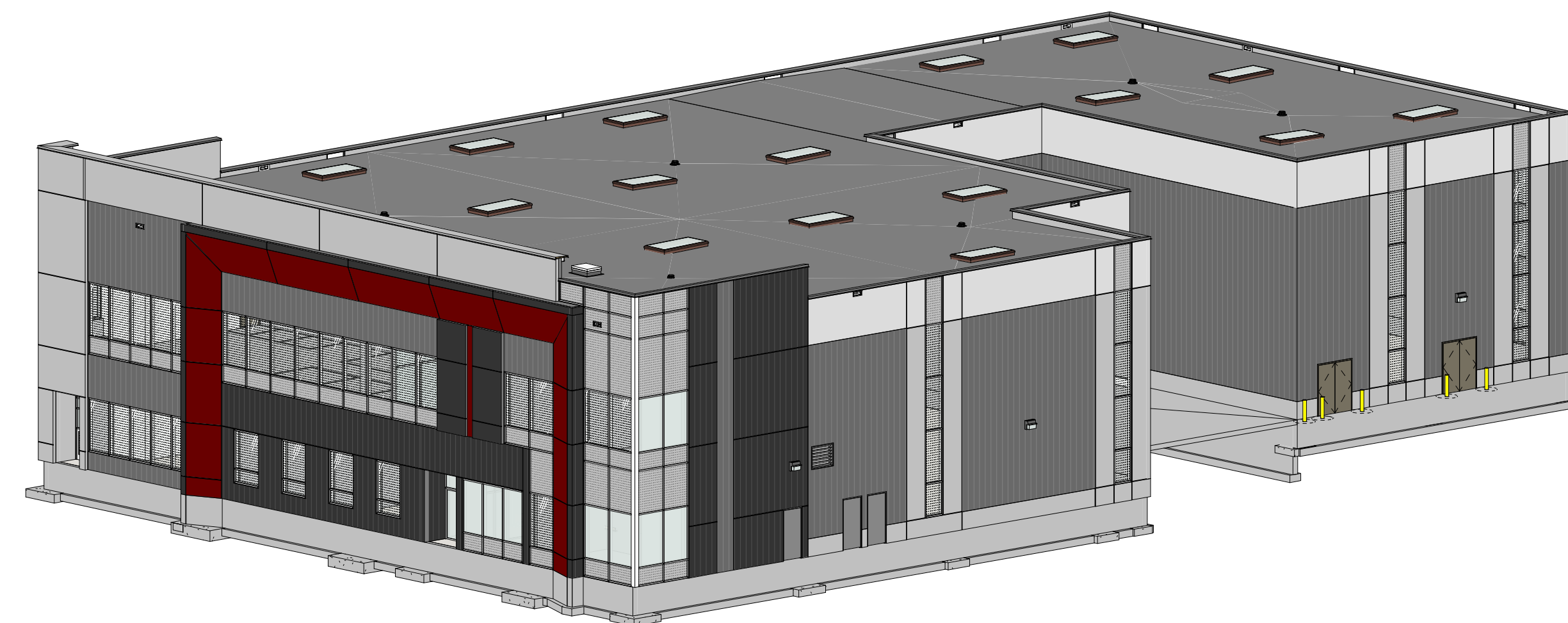
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PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:		
ISSUE DATE:		
24-07-10		

A305 | 1
SHEET
ISSUE No.

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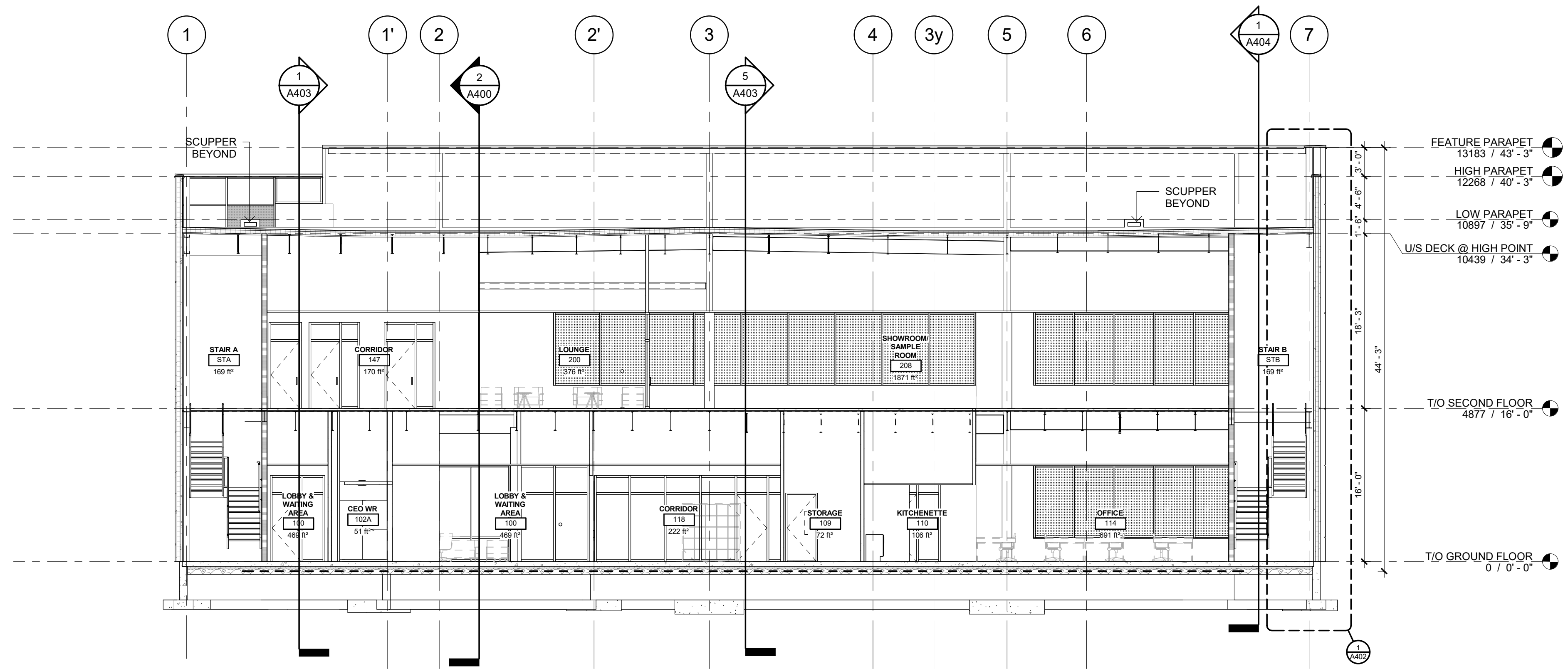


4
A305
NORTHWEST VIEW



3
A305
NORTHEAST VIEW FROM BLOWERS CRES

PLOT DATE: 2024-07-10 2:52:04 PM



1 TRANSVERSAL SECTION
1 : 100

NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

ISSUANCE SCHEDULE

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OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249



ARCHITECT:
SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5



CLIENT:
STARNIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



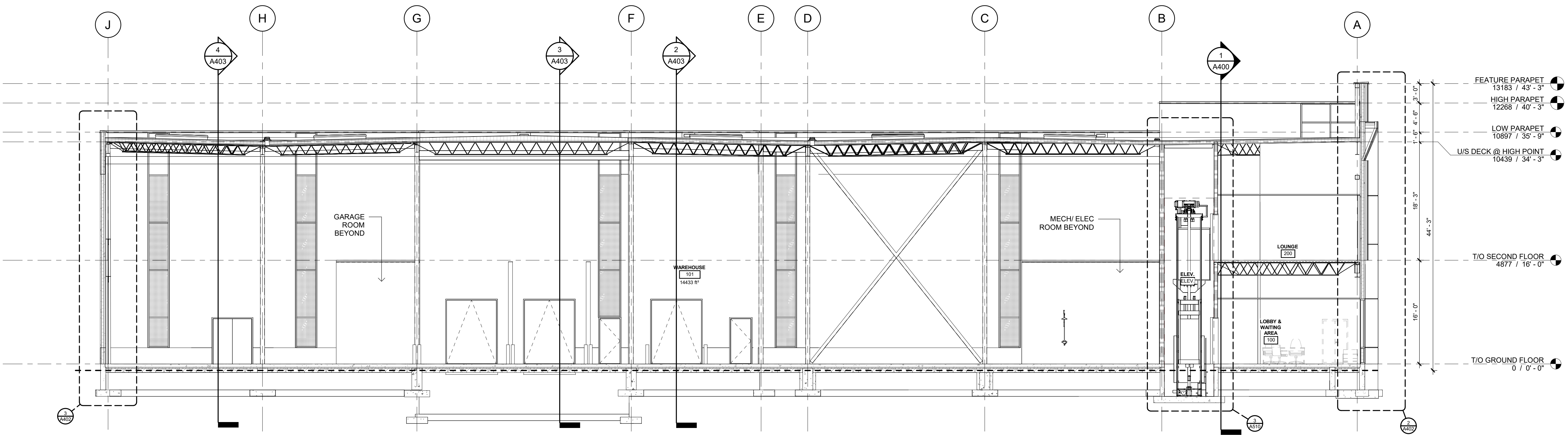
PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0M4

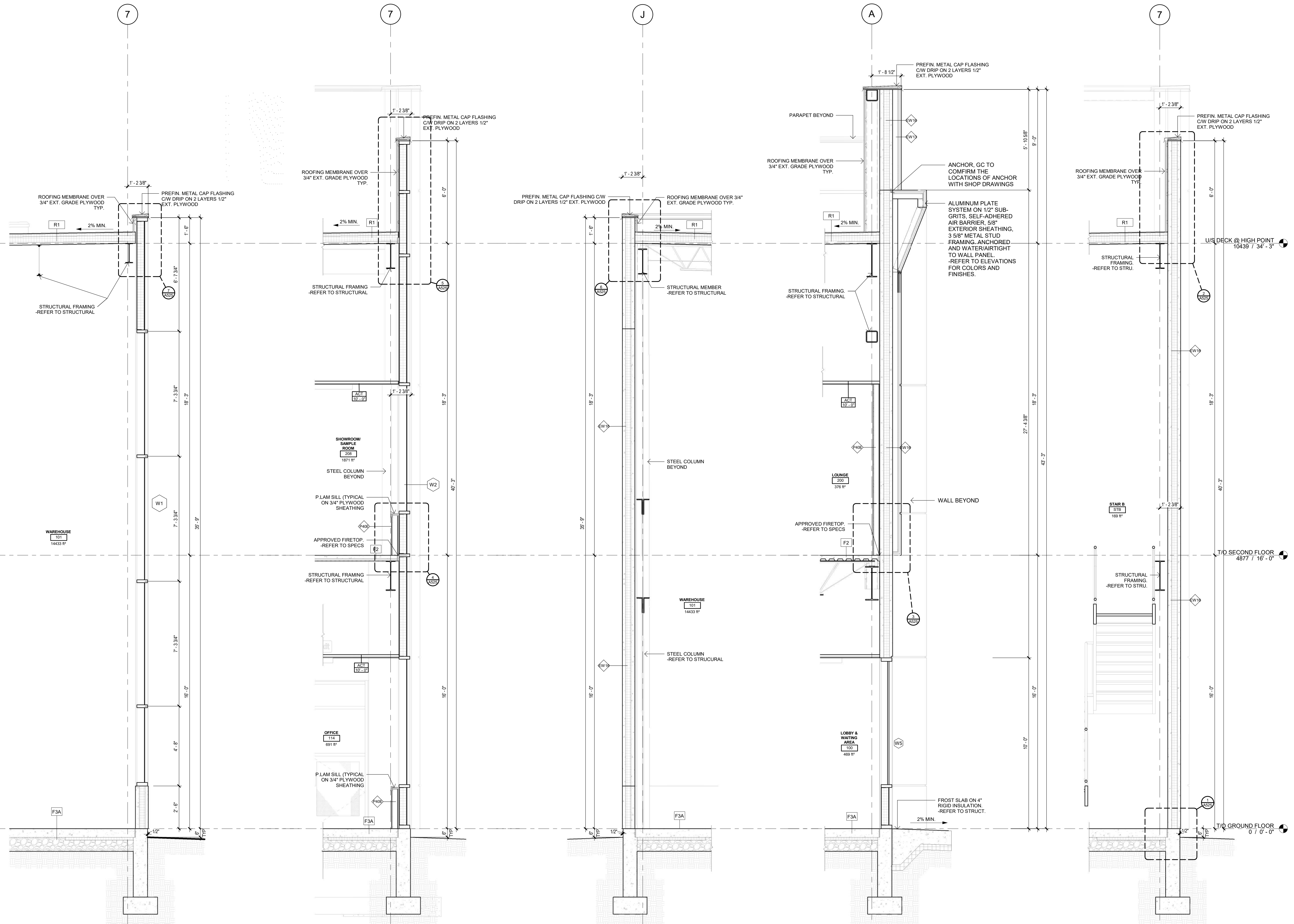
DRAWING TITLE
BUILDING SECTIONS

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:	A400 1	
1 : 100	SHEET	
ISSUE DATE:	ISSUE No.	
24-07-10	24-07-10	

2 LONGITUDINAL SECTION
1 : 100



PLOT DATE: 2024-07-10 2:52:06 PM



No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

ISSUANCE SCHEDULE

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DEVELOPMENT CONSULTANT:
 API CONSULTANTS INC.
 1484 CORNWALL ROAD, UNIT 7
 OAKVILLE, ONTARIO L6J 7W5
 P: 905.337.7249



ARCHITECT:
 SAPLYS ARCHITECTS INC.
 1484 CORNWALL ROAD, UNIT 8
 OAKVILLE, ONTARIO L6J 7W5



CLIENT:
 STARNIGHT IMPORT & EXPORT
 358 IRONSIDE CRESCENT
 SCARBOROUGH, ON M1X 1G5



PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
 AJAX, ON L1Z 0M4

DRAWING TITLE
WALL SECTIONS

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO.:	SHEET NO.:	
A22-018	1	
SCALE:	1 : 30	
ISSUE DATE:	24-07-10	

A402 1
 SHEET
 ISSUE NO.

5 Wall Section 5
 A402 1 : 30

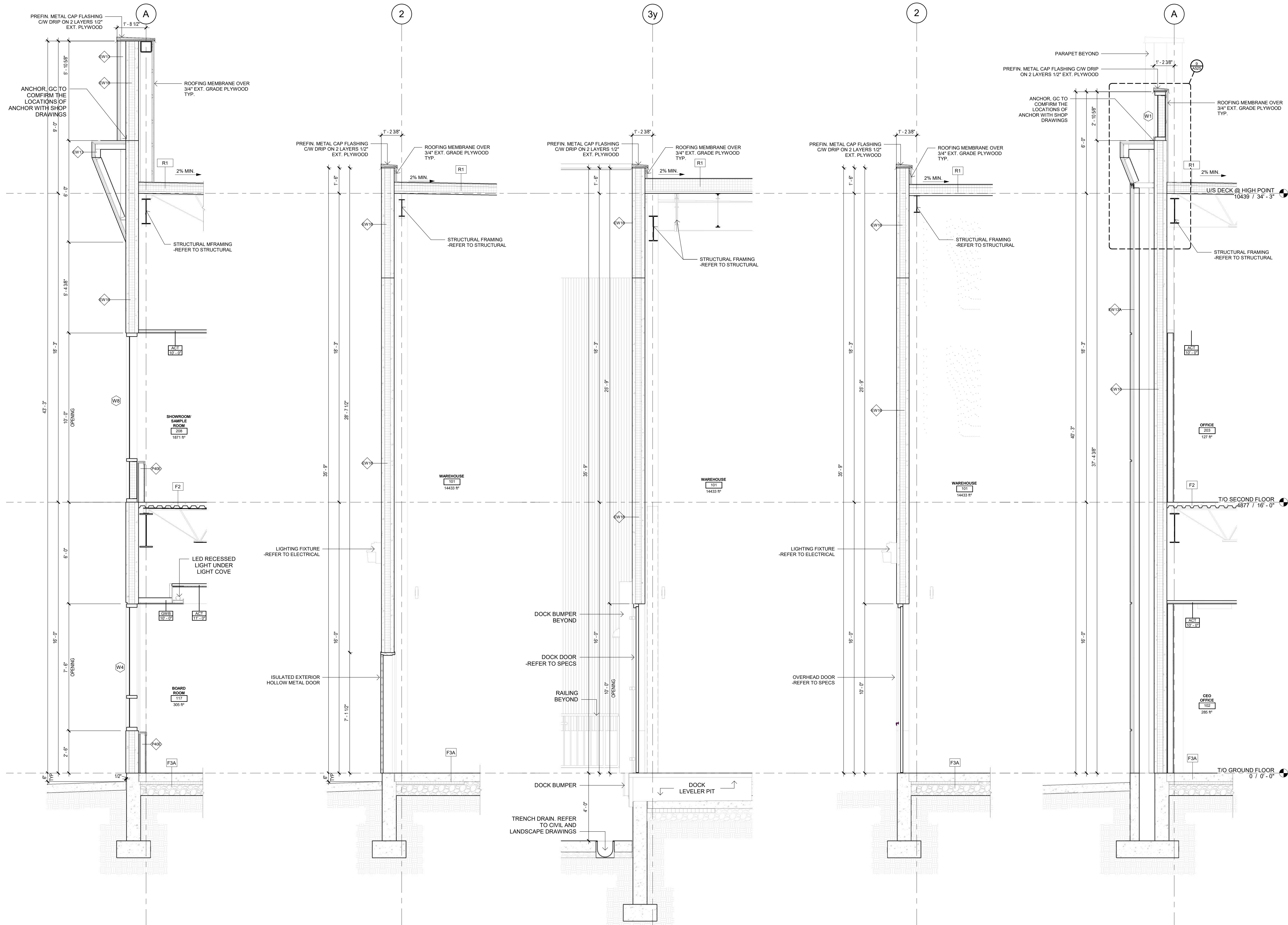
4 Wall Section 3
 A402 1 : 30

3 Wall Section 4
 A402 1 : 30

2 Wall Section 2
 A402 1 : 30

1 Wall Section 1
 A402 1 : 30

PLOT DATE: 2024-07-10 2:52:07 PM



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No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

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1484 CORNWALL ROAD, UNIT 7
OAKVILLE, ONTARIO L6J 7W5
P: 905.337.7249

ARCHITECT:

SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

PROFESSIONAL CERTIFICATION

PROJECT

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0M4

DRAWING TITLE

WALL SECTIONS

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO.	SHEET NO.	
A22-018		
SCALE:		
1:30		
ISSUE DATE:		
24-07-10		

A403 1
SHEET
ISSUE No.

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5 Wall Section 10
A403 1:30

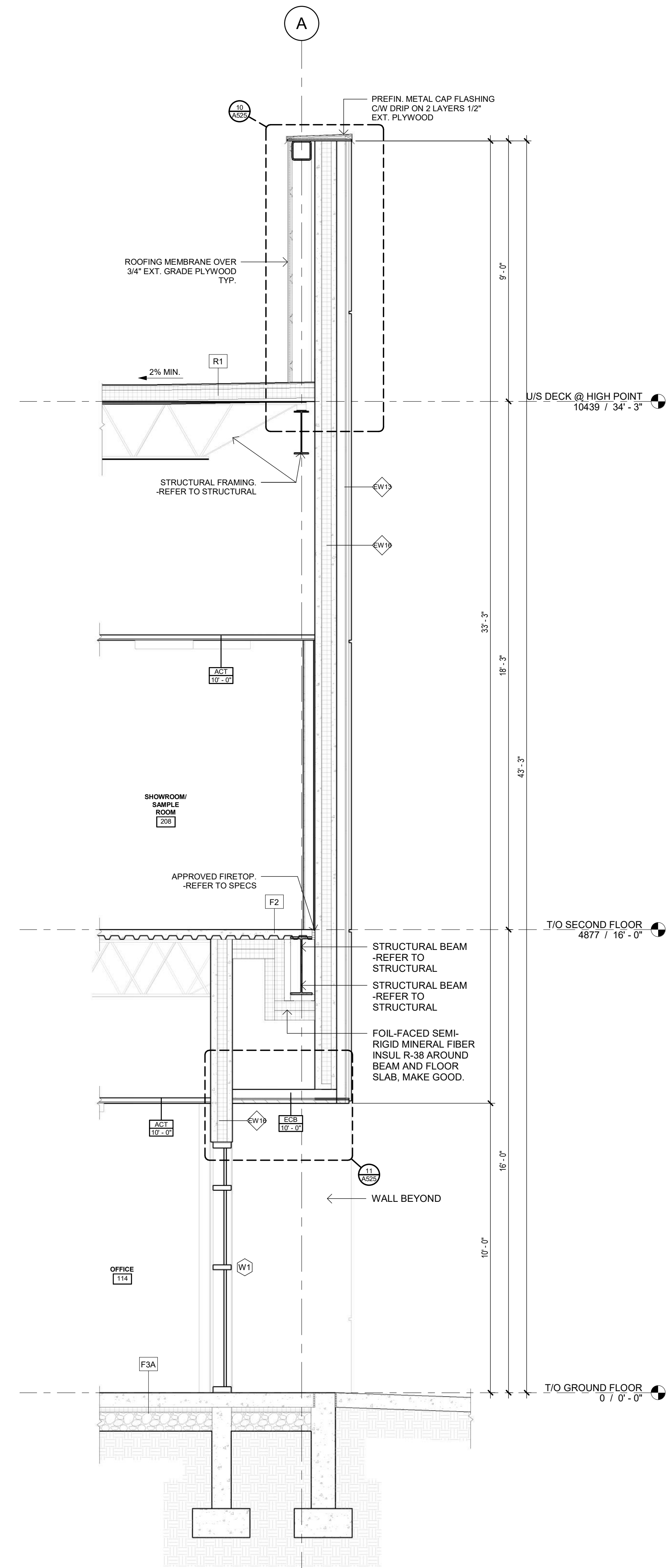
4 Wall Section 9
A403 1:30

3 Wall Section 8
A403 1:30

2 Wall Section 7
A403 1:30

1 Wall Section 6
A403 1:30

PLOT DATE: 2024-07-10 2:52:08 PM



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No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

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P: 905.337.7249

ARCHITECT:

SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARNIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



PROJECT

WAREHOUSE & OFFICE HEADQUARTERS

DRAWING TITLE

**45 BLOWERS CRES
AJAX, ON L1Z 0M4**

1

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW

PROJECT NO.: **A22-018**
SHEET NO.: **1**

SCALE: **1 : 30**
ISSUE DATE: **24-07-10**

A404 1 SHEET ISSUE No.

1 Wall Sections 11
A404 1 : 30

PLOT DATE: 2024-07-10 2:52:09 PM

- STAIR NOTES:**
- FLOOR DATUMS ON DRAWINGS ARE TO TOP OF FINISHED FLOOR(S). CONTRACTOR IS RESPONSIBLE FOR ACCOUNTING FOR CAMBERS IN STRUCTURAL FLOOR COMPONENTS THAT REQUIRE LEVELING TOPTINGS THAT MAY AFFECT STAIRS, STAIR LANDINGS, DOORS, FINISHES AND THEIR INSTALLATION IN NEW CONSTRUCTION, ADDITIONS AND / OR RENOVATIONS.
 - PROVIDE MIN 2'-12" (60mm) TALL, COLOUR CONTRASTING & RAISED 1/2"(0.7mm) SIGNAGE AT EACH SIDE OF DOORS TO EXIT STAIR SHAFTS, MOUNTED 4'-11" (1500mm) AFF & INDICATING BOTH FLOOR NUMBERING & STAIR LETTER DESIGNATION IN UPPER CASE PER OBC 3.4.6.19.

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No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10
YY-MM-DD			

ISSUANCE SCHEDULE

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P: 905.337.7249



ARCHITECT:

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1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5



CLIENT:

STARNIGHT IMPORT & EXPORT
368 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



PROFESSIONAL CERTIFICATION

PROJECT

WAREHOUSE & OFFICE HEADQUARTERS

**45 BLOWERS CRES
AJAX, ON L1Z 0M4**

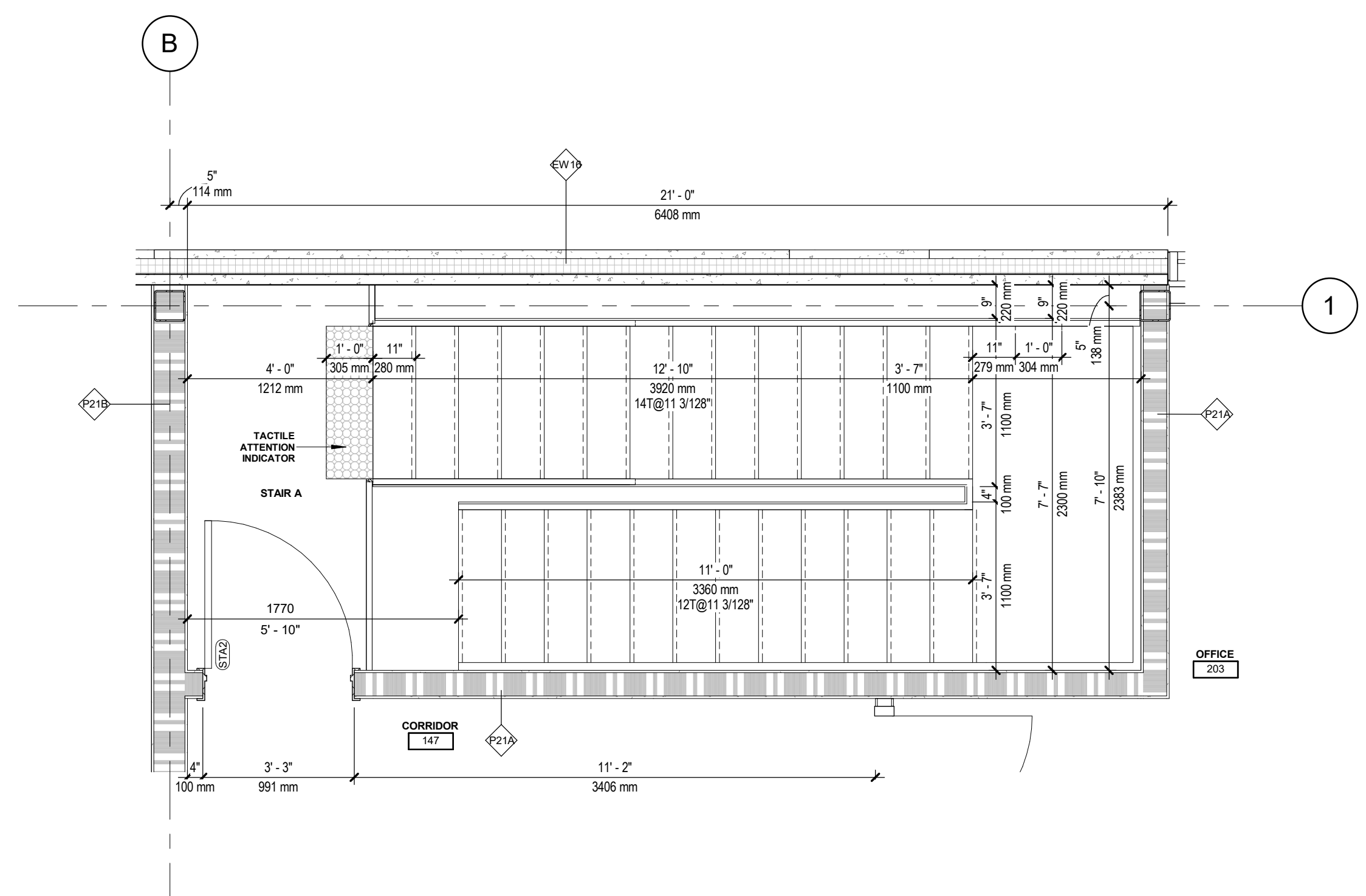
DRAWING TITLE

**STAIR A PLANS,
SECTION & DETAILS**

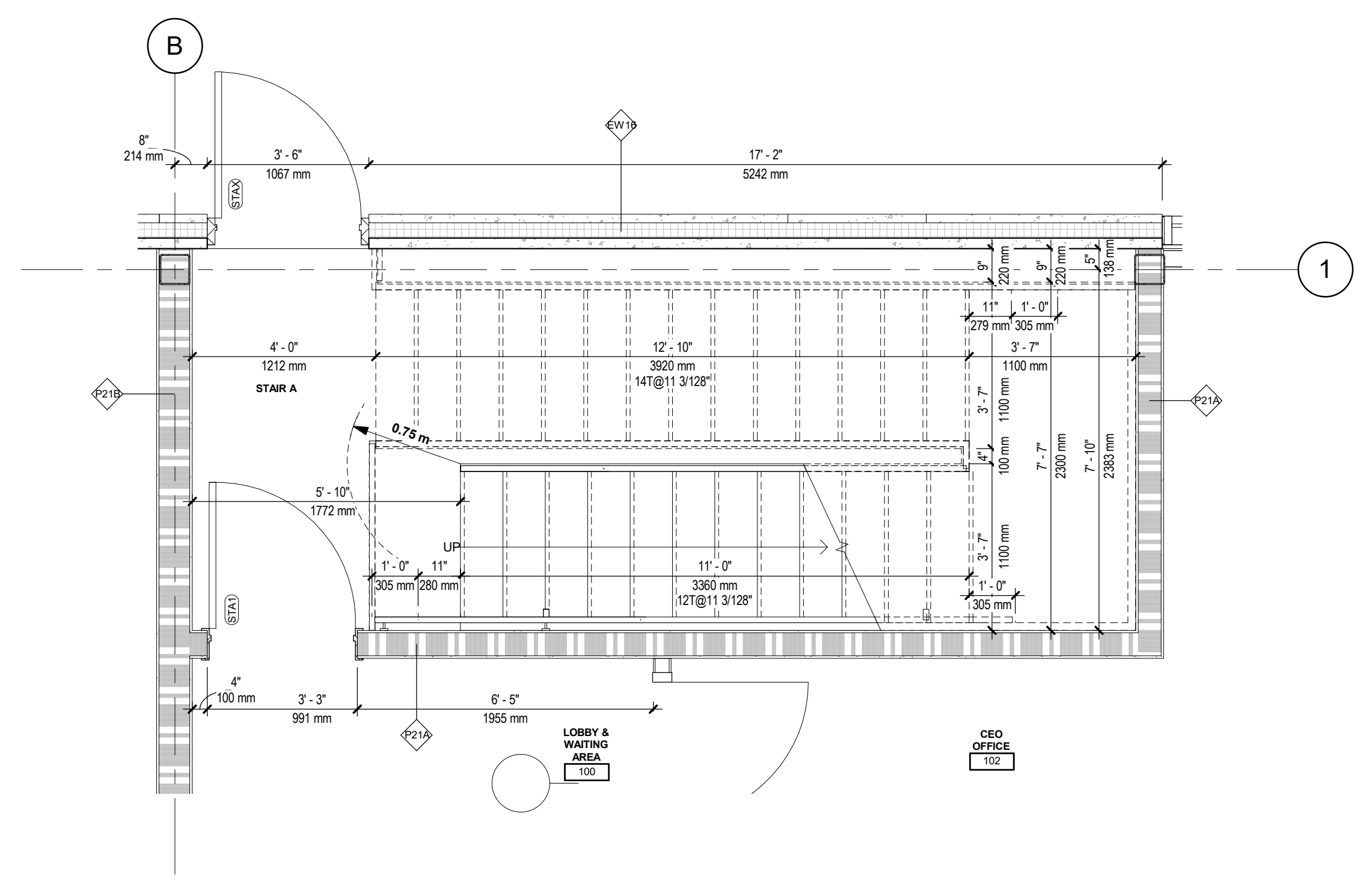
BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO:	SHEET NO.:	
A22-018		
SCALE:		
As indicated		
ISSUE DATE:		
24-07-10		

A500 1
SHEET
ISSUE No.

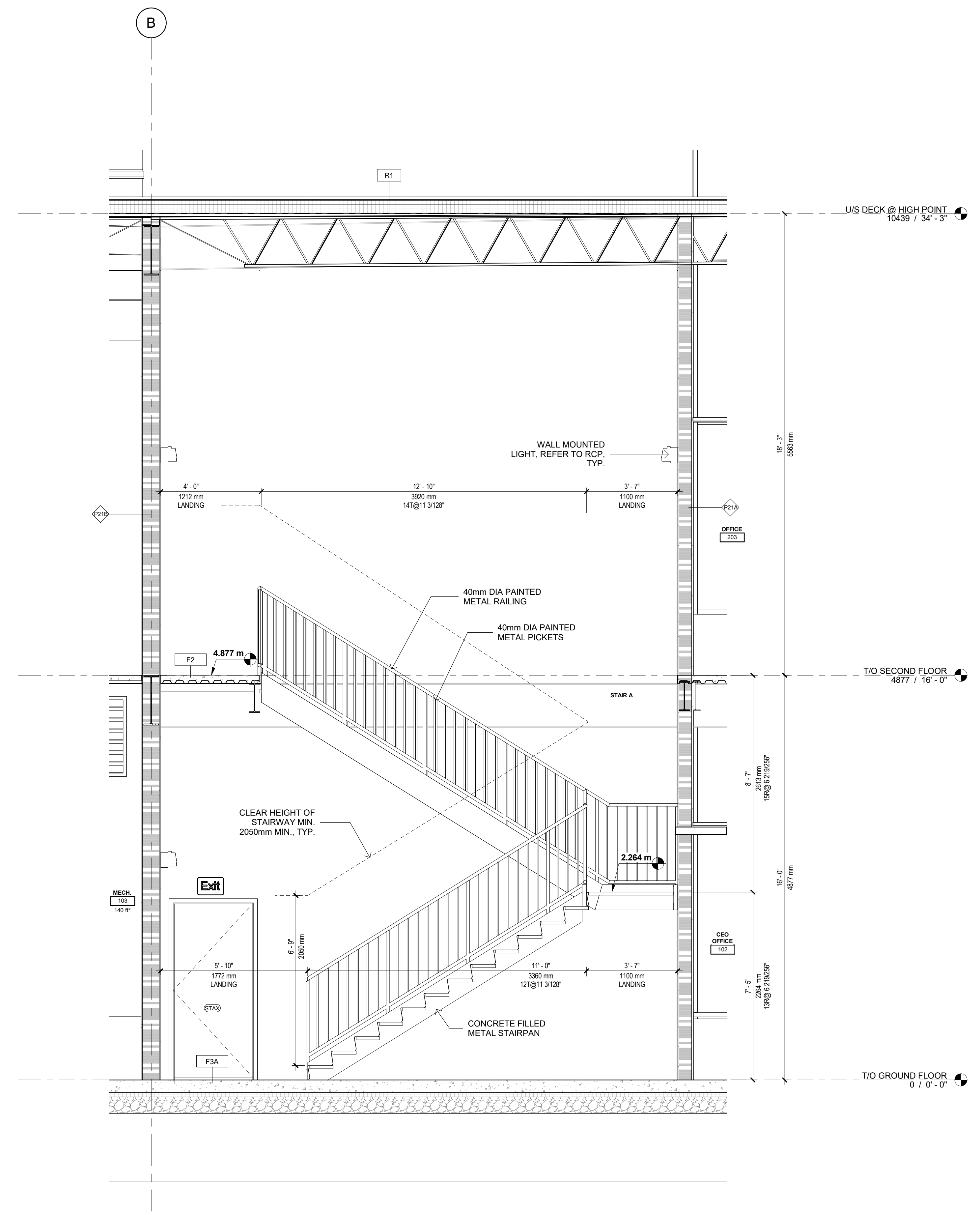
© SAPLYS ARCHITECTS INC.



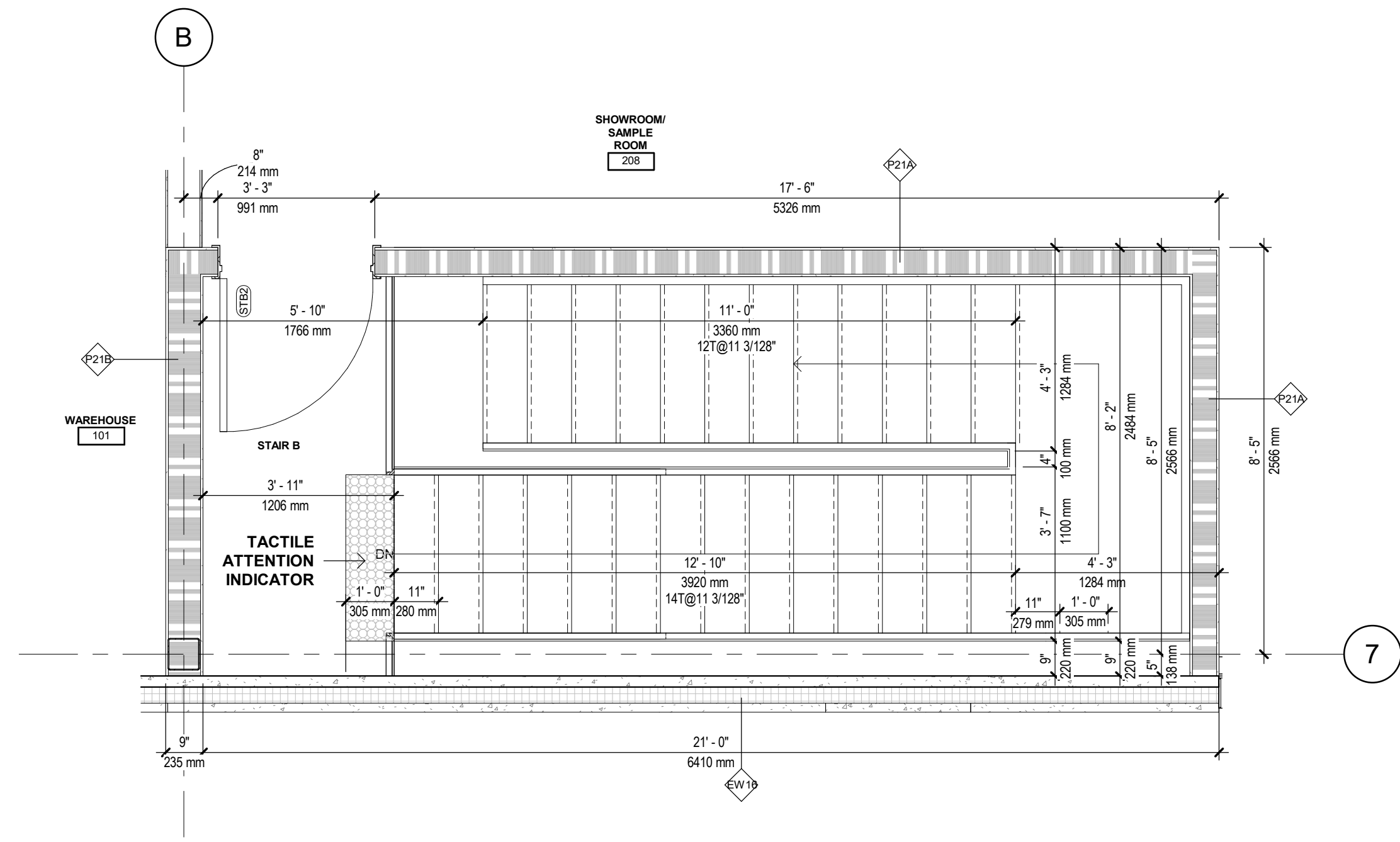
1 SECOND FLOOR PLAN -STAIR A
A500 1:30



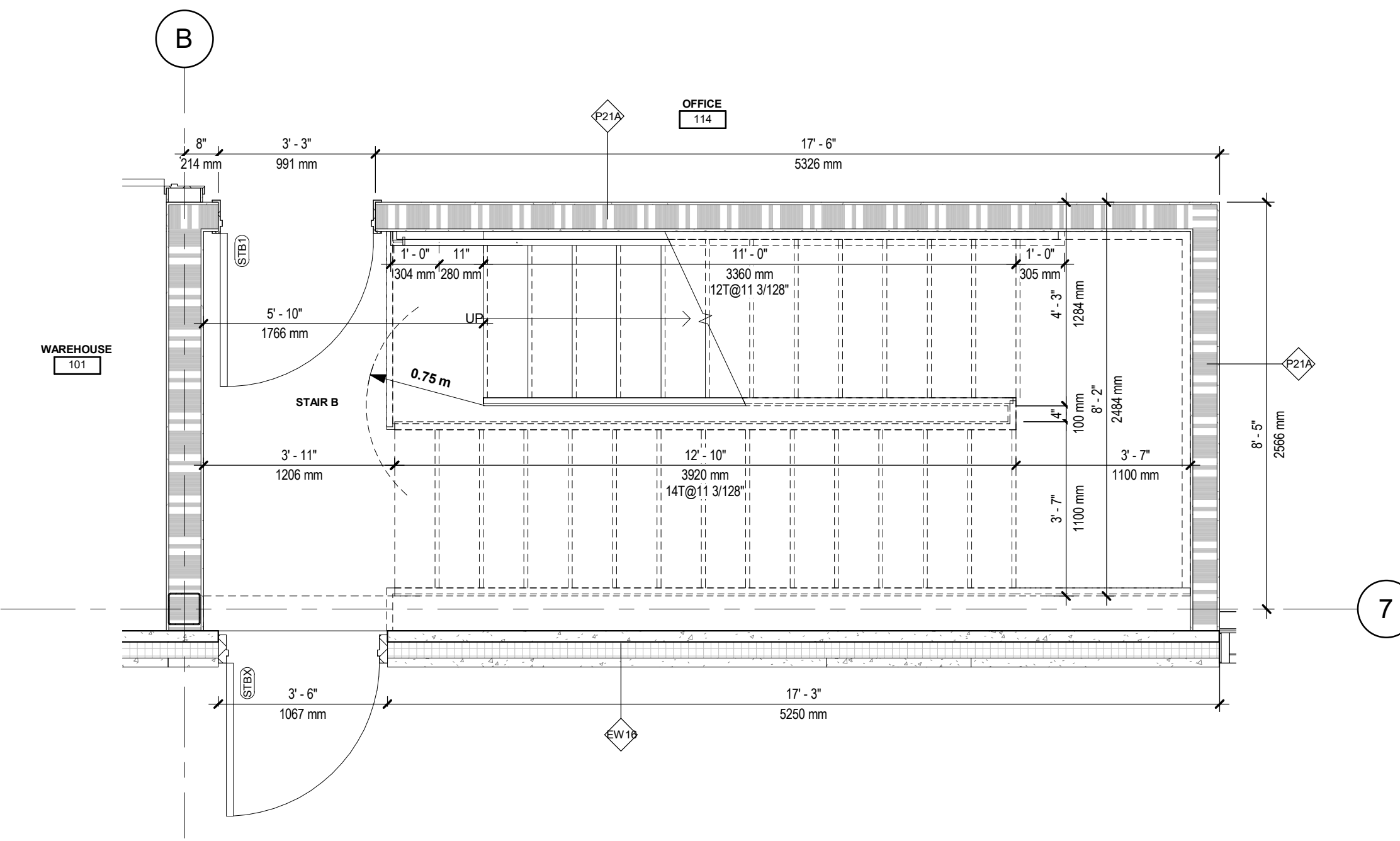
2 GROUND FLOOR PLAN STAIR A
A500 1:30



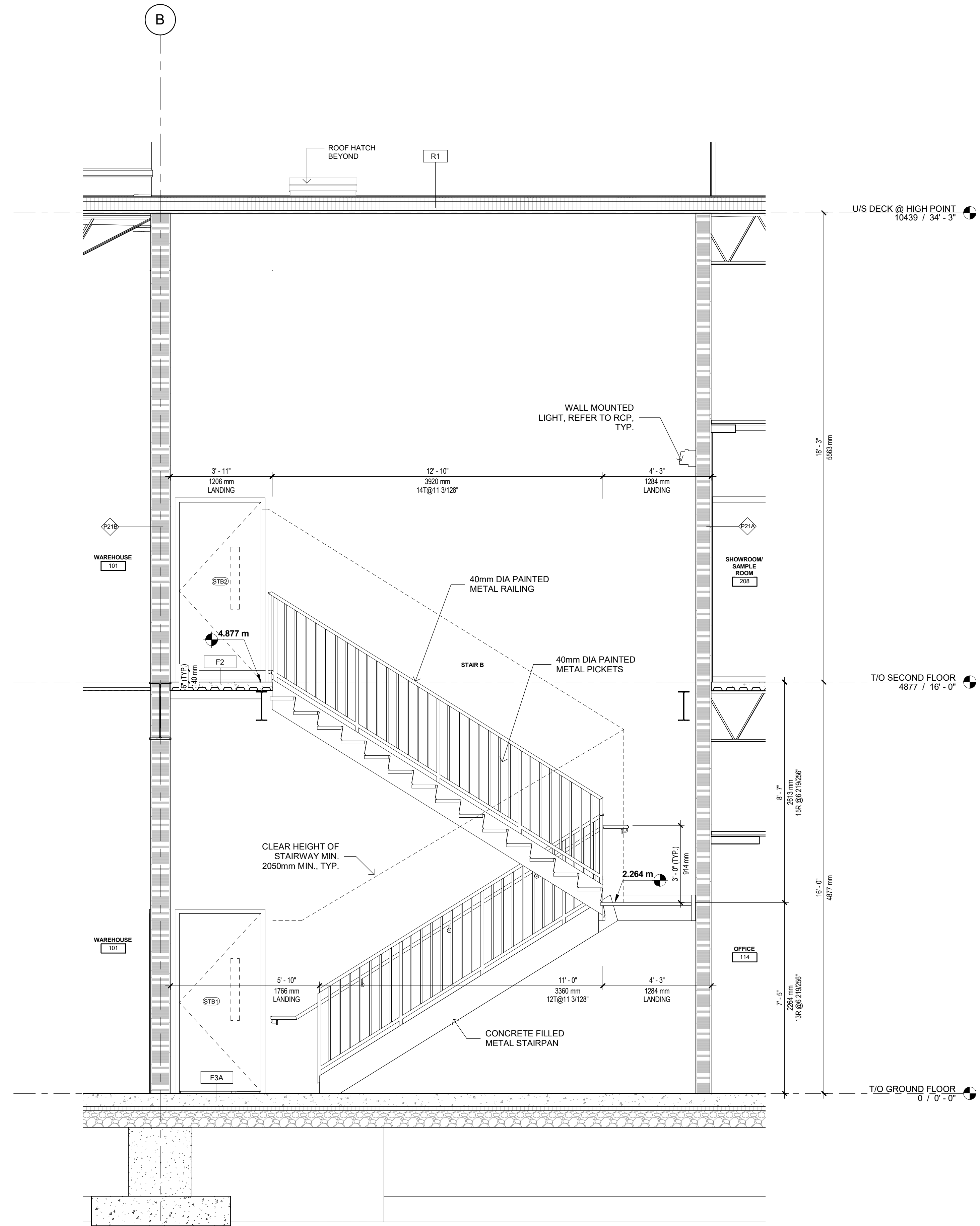
3 STA SECTION
A500 1:30



1 SECOND FLOOR PLAN -STAIR B
A501 1 : 30



2 GROUND FLOOR PLAN STAIR B
A501 1 : 30



3 STB SECTION
A501 1 : 30

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No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

ISSUANCE SCHEDULE

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ARCHITECT:

SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARNIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

PROFESSIONAL CERTIFICATION

PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0N4

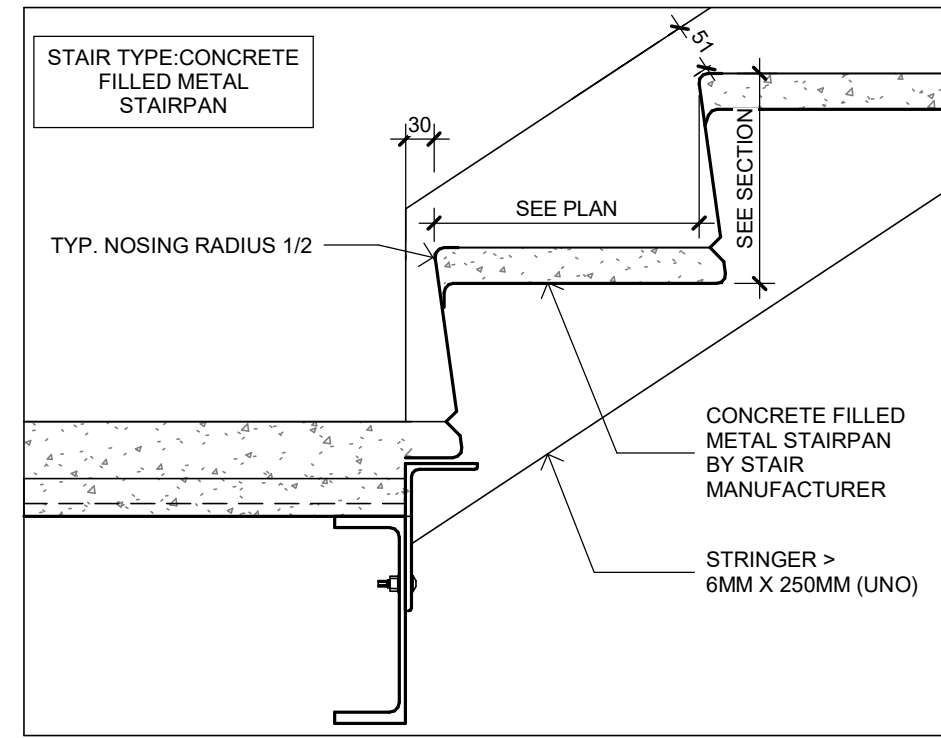
DRAWING TITLE
STAIR B PLANS, SECTION & DETAILS

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:		
1 : 30		
ISSUE DATE:		
24-07-10		

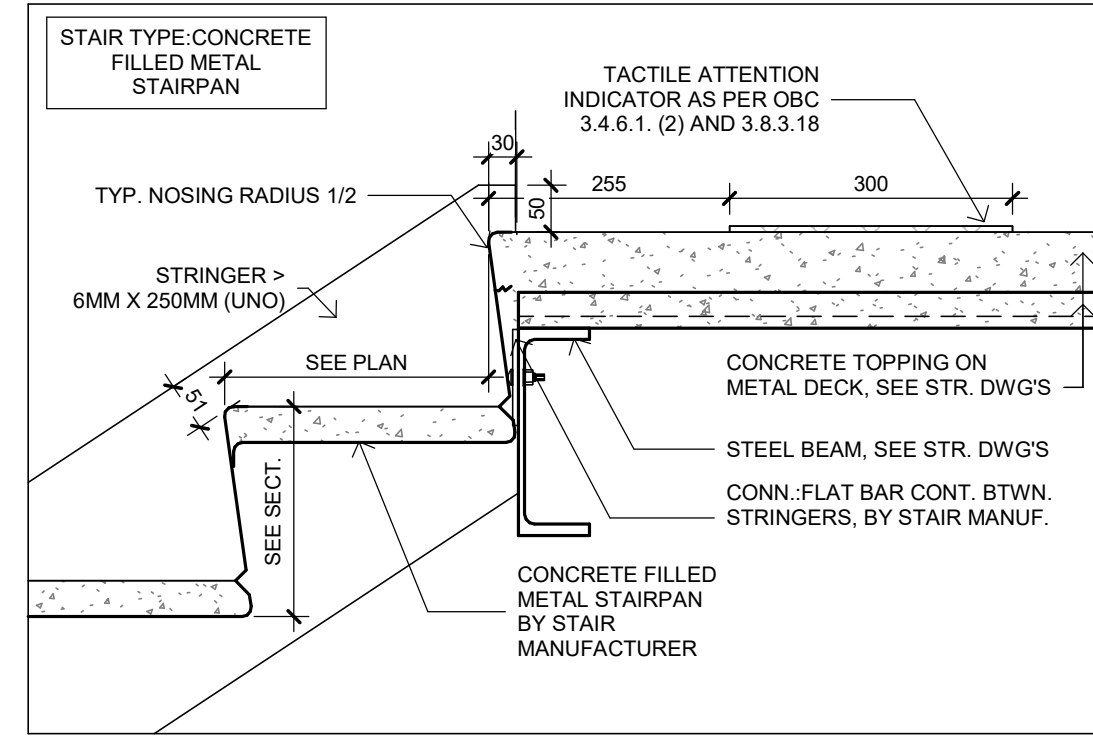
A501 | 1
SHEET
ISSUE NO.

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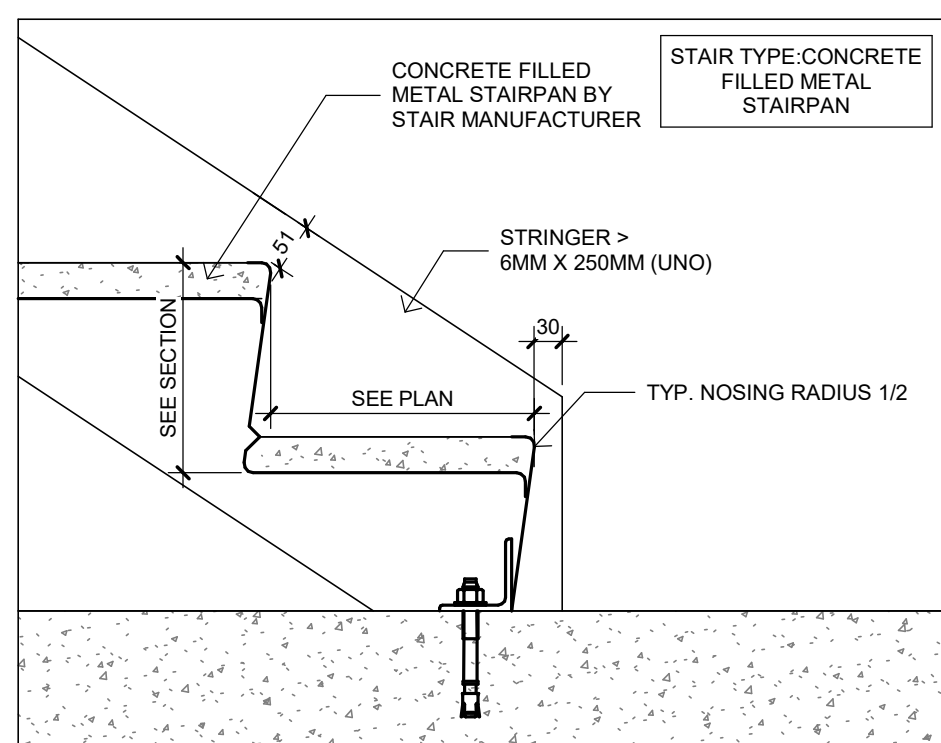
PLOT DATE: 2024-07-10 2:57:41 PM



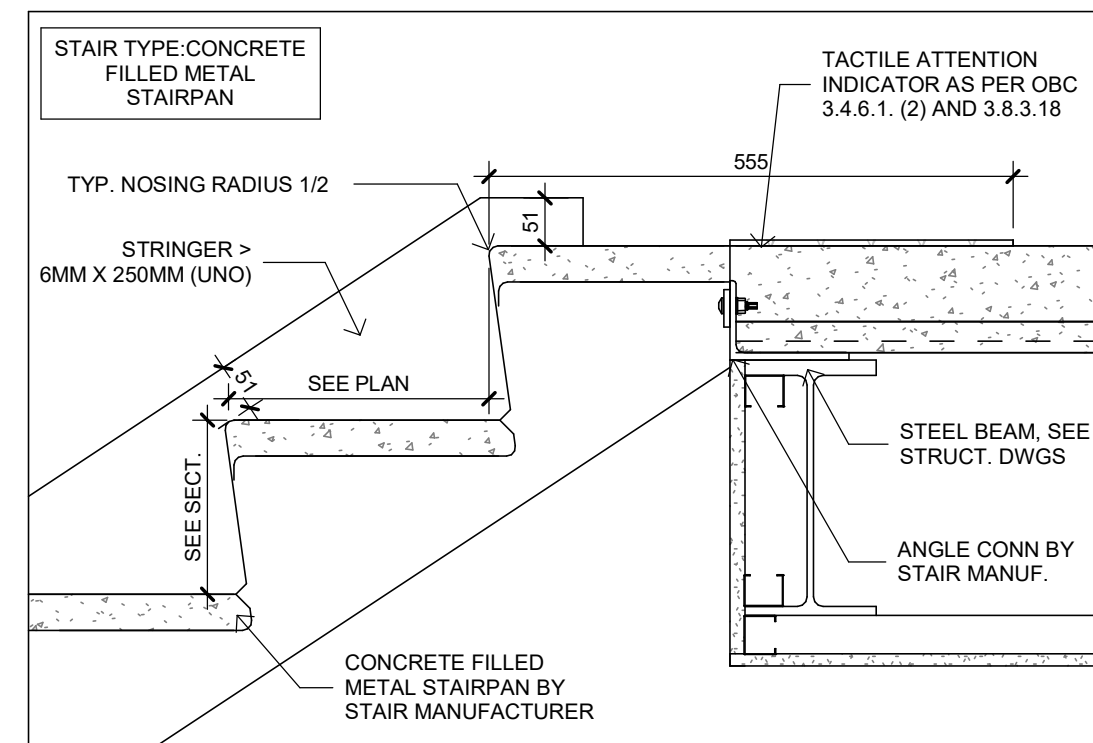
2 DETAIL @BOTTOM OF LANDING
A502 1 1/2" = 1'-0"



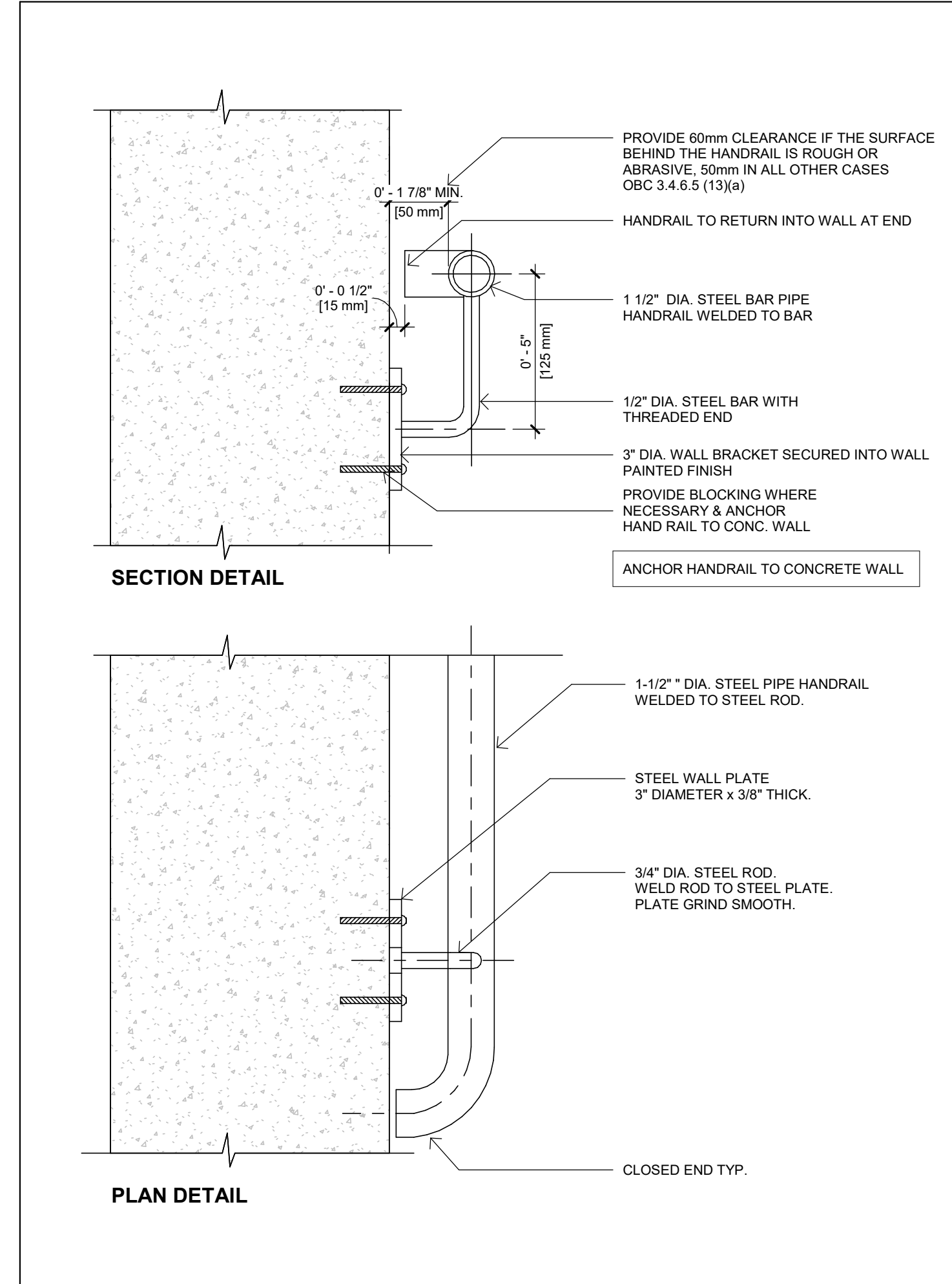
5 DETAIL @TOP OF LANDING
A502 1 1/2" = 1'-0"



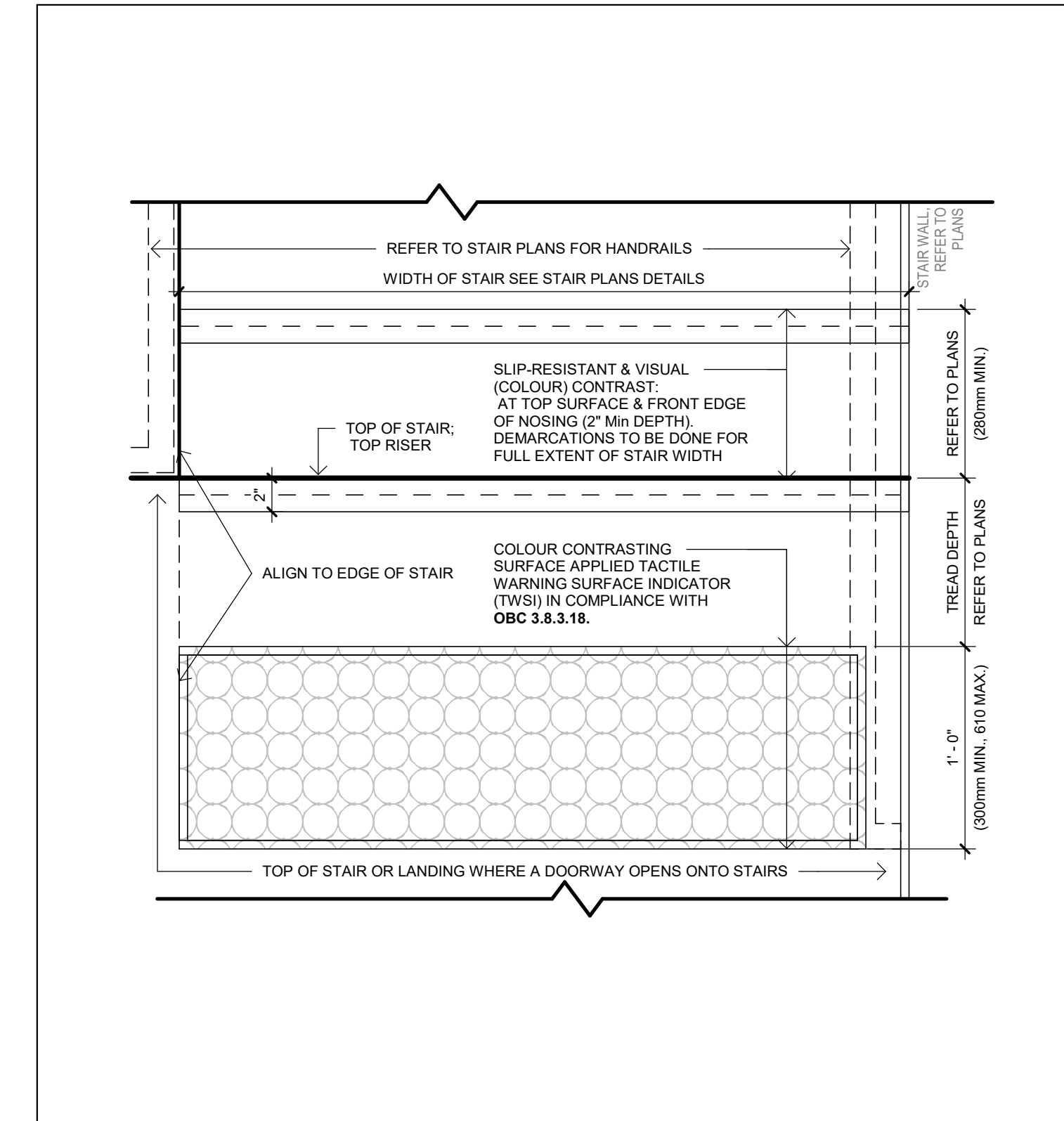
3 DETAIL @BOTTOM OF STAIR
A502 1 1/2" = 1'-0"



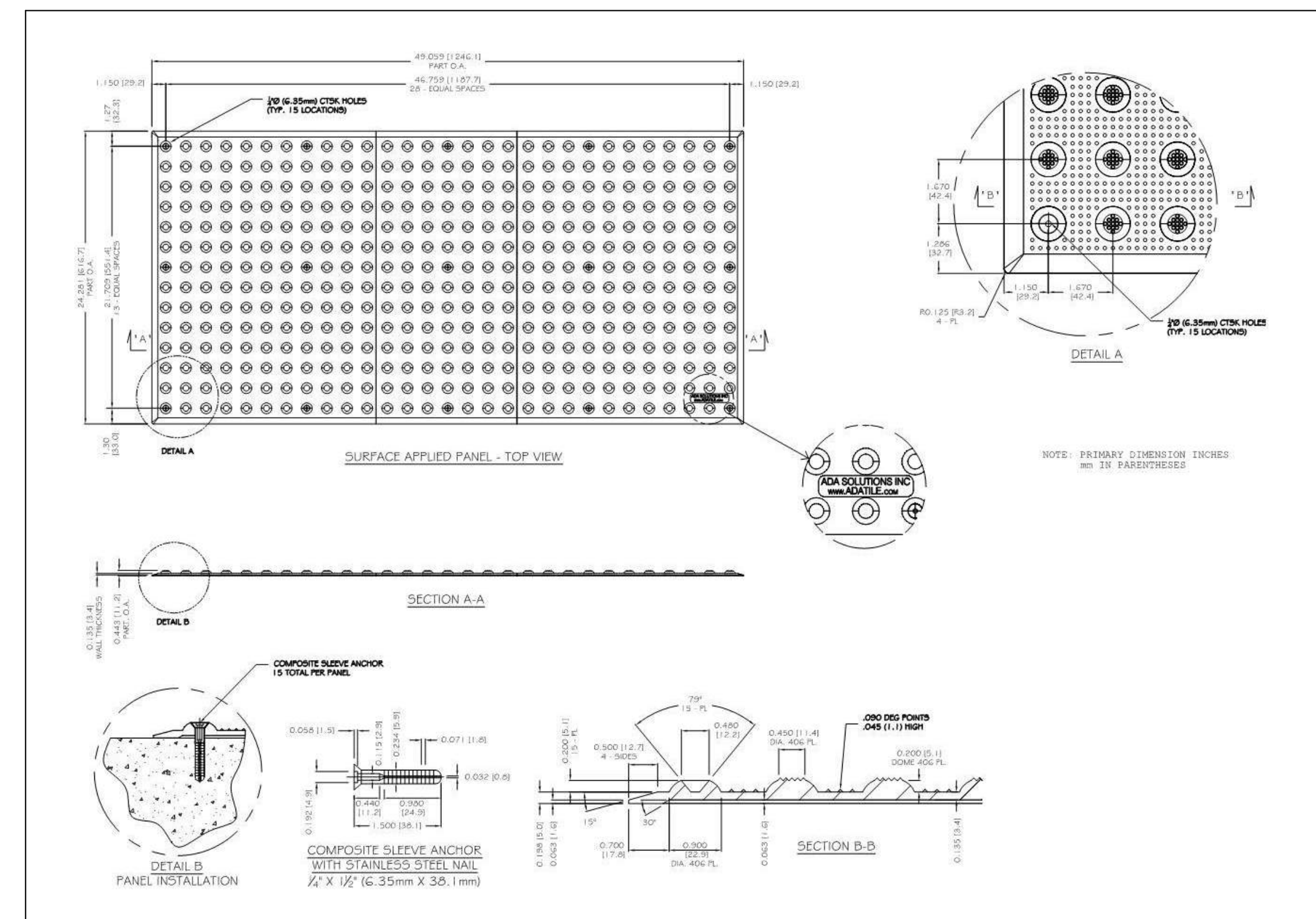
6 DETAIL @TOP OF STAIR
A502 1 1/2" = 1'-0"



4 STAIR HANDRAIL @ CONC. WALL TYP.
A502 3" = 1'-0"



1 STAIR PLAN DETAIL @ LANDING (TYPICAL)
A502 1 1/2" = 1'-0"



DETECTABLE WARNING SURFACE DETAIL

NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

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ARCHITECT:

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OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARNIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

PROFESSIONAL CERTIFICATION

PROJECT

WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0M4

DRAWING TITLE

TYPICAL STAIR DETAILS

BY [CHECK] ISSUED FOR [CLIENT REVIEW]

PROJECT NO. A22-018 SHEET NO. 1

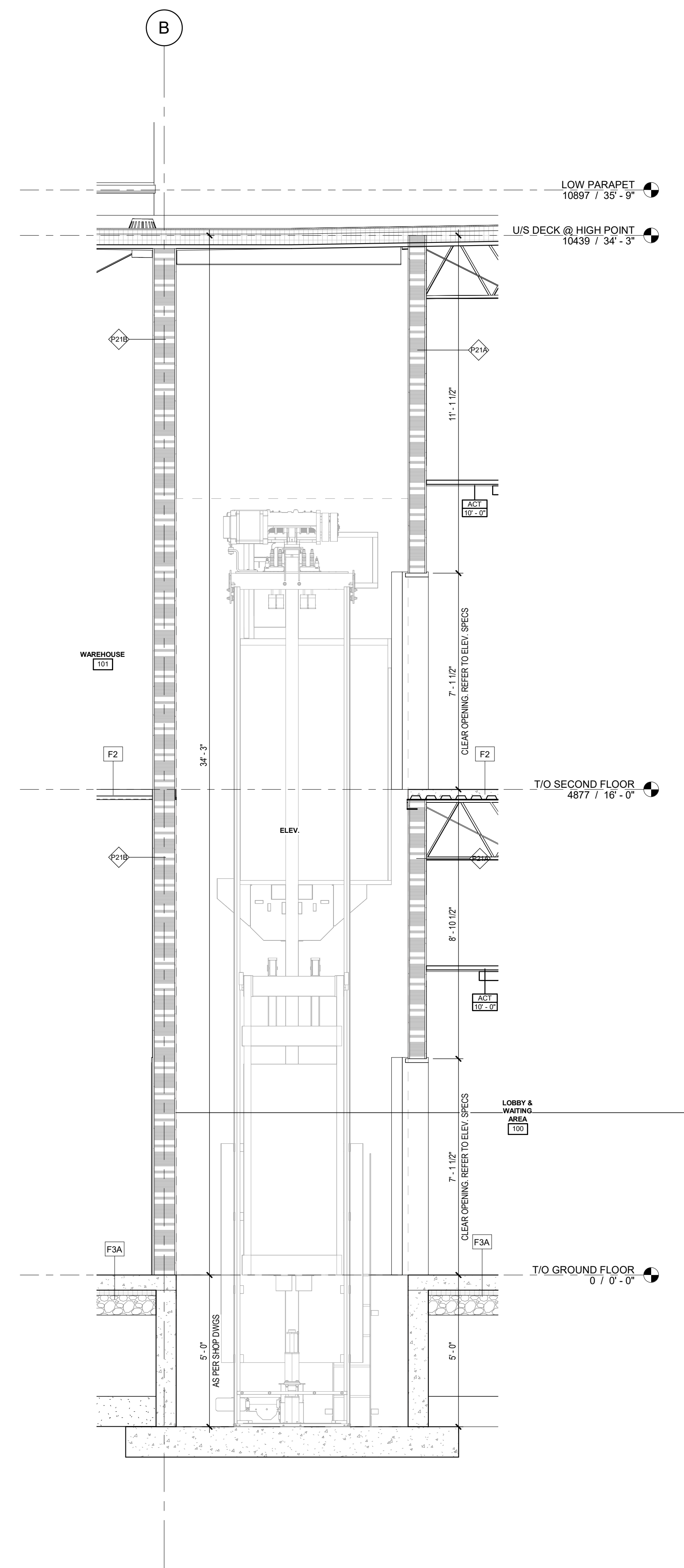
SCALE: As indicated

ISSUE DATE: 24-07-10

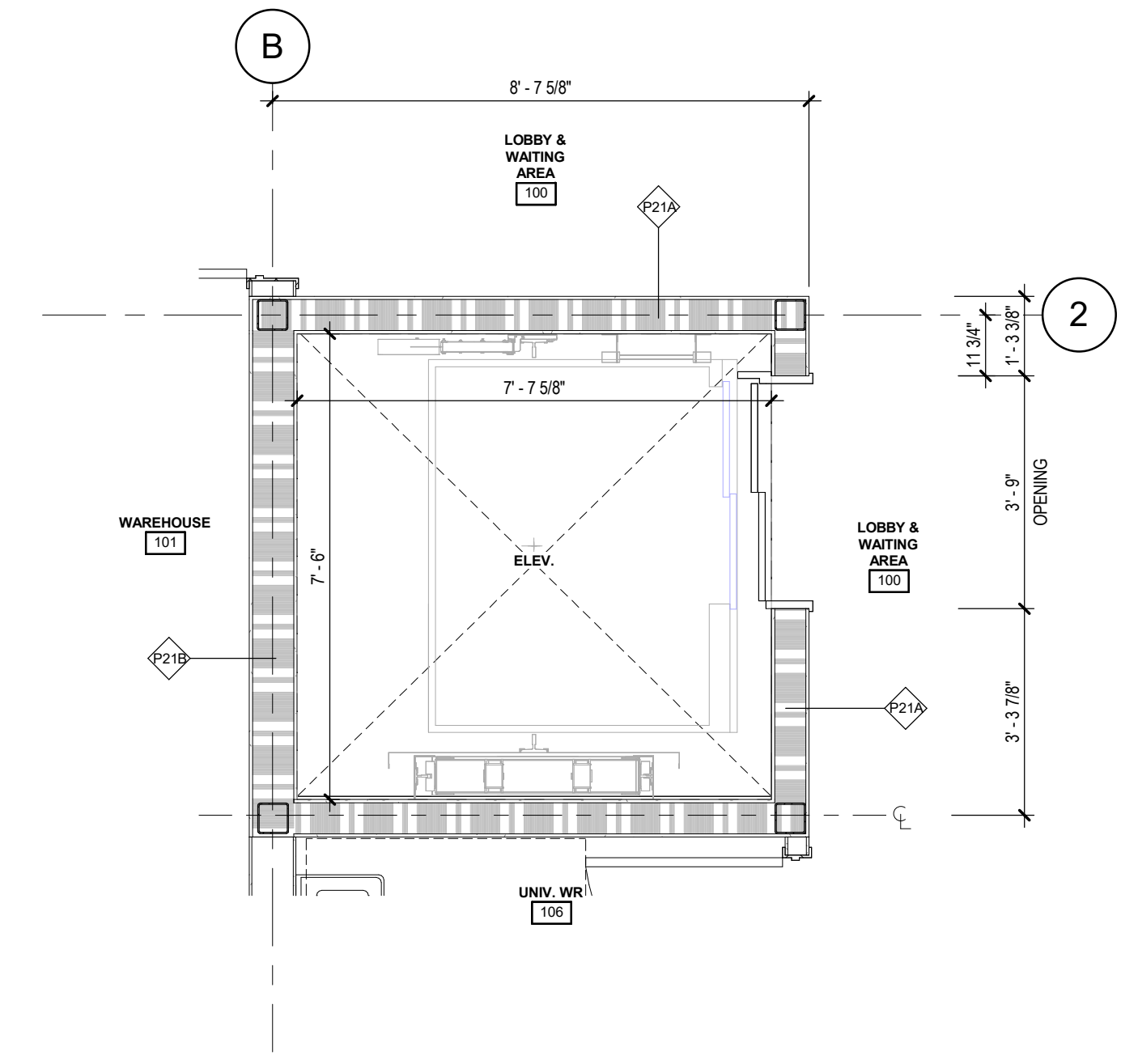
A502 1 SHEET ISSUE No.

PLOT DATE: 2024-07-10 2:52:12 PM

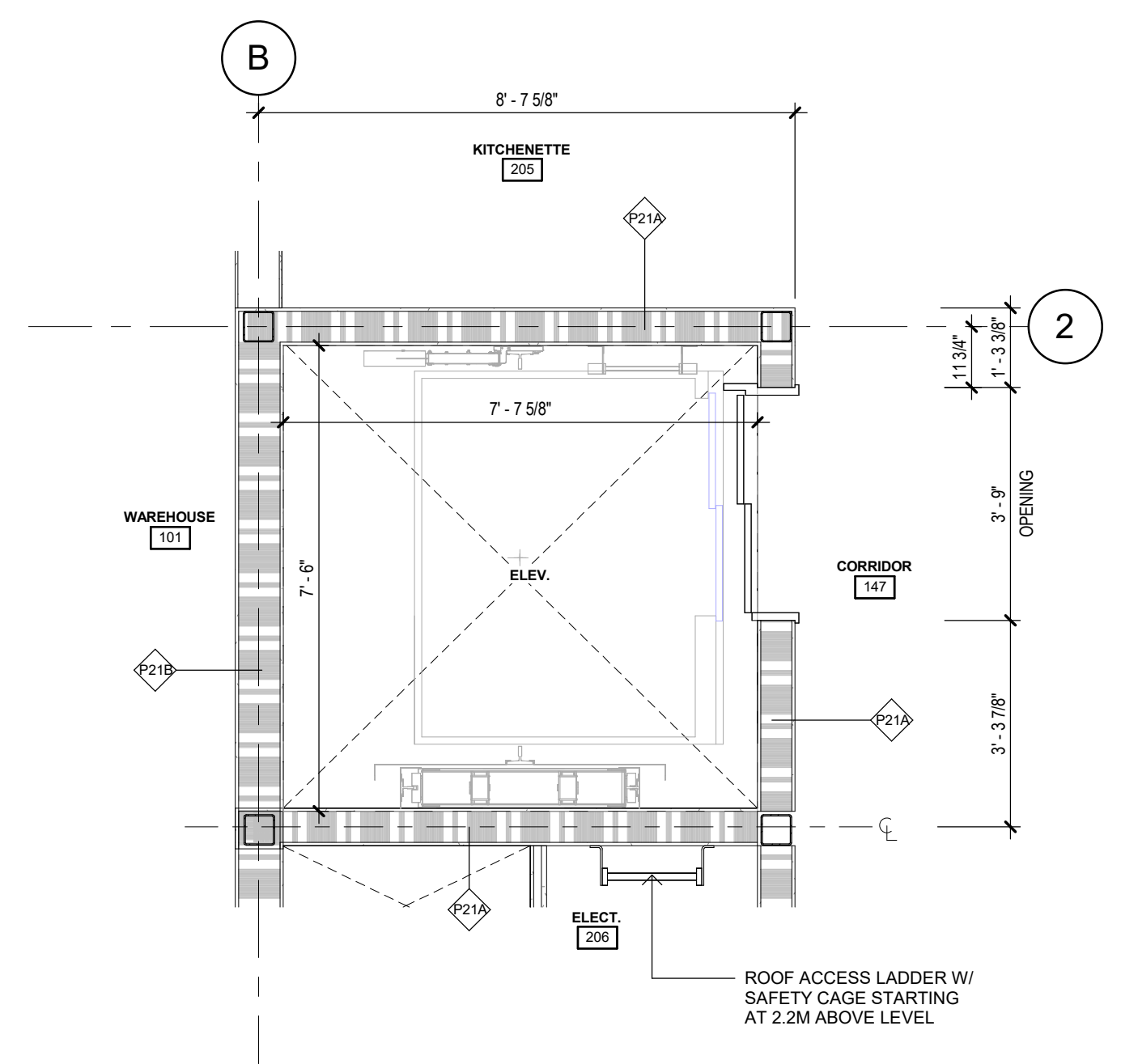
NOTE:
 THE ELEVATOR HOISTWAY DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION PURPOSES ONLY. DIMENSIONS SHOWN DO NOT REPRESENT THE SIZE TO BE CONSTRUCTED UNTIL VERIFIED BY THE OWNER AND/OR CONSTRUCTOR. CONSTRUCTION IS TO BE REVIEWED & APPROVED ELEVATOR SHOP DRAWINGS. ANY RESULTING COSTS DUE TO CONSTRUCTION WITHOUT REVIEWED & APPROVED SHOP DRAWINGS SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONSTRUCTOR.
 BASIS OF DESIGN MODEL: SCHINDLER 3100
 MRL CAPACITY: 2500 LBS. OWNER TO CONFIRM ELEVATOR AND SIZE



3 ELEVATOR SECTION
 A510 1 : 30



2 ELEVATOR - ENLARGED @ GROUND
 A510 1 : 30



1 ELEVATOR - ENLARGED @ SECOND FLOOR
 A510 1 : 30

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No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

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CLIENT:
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 SCARBOROUGH, ON M1X 1G5



PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

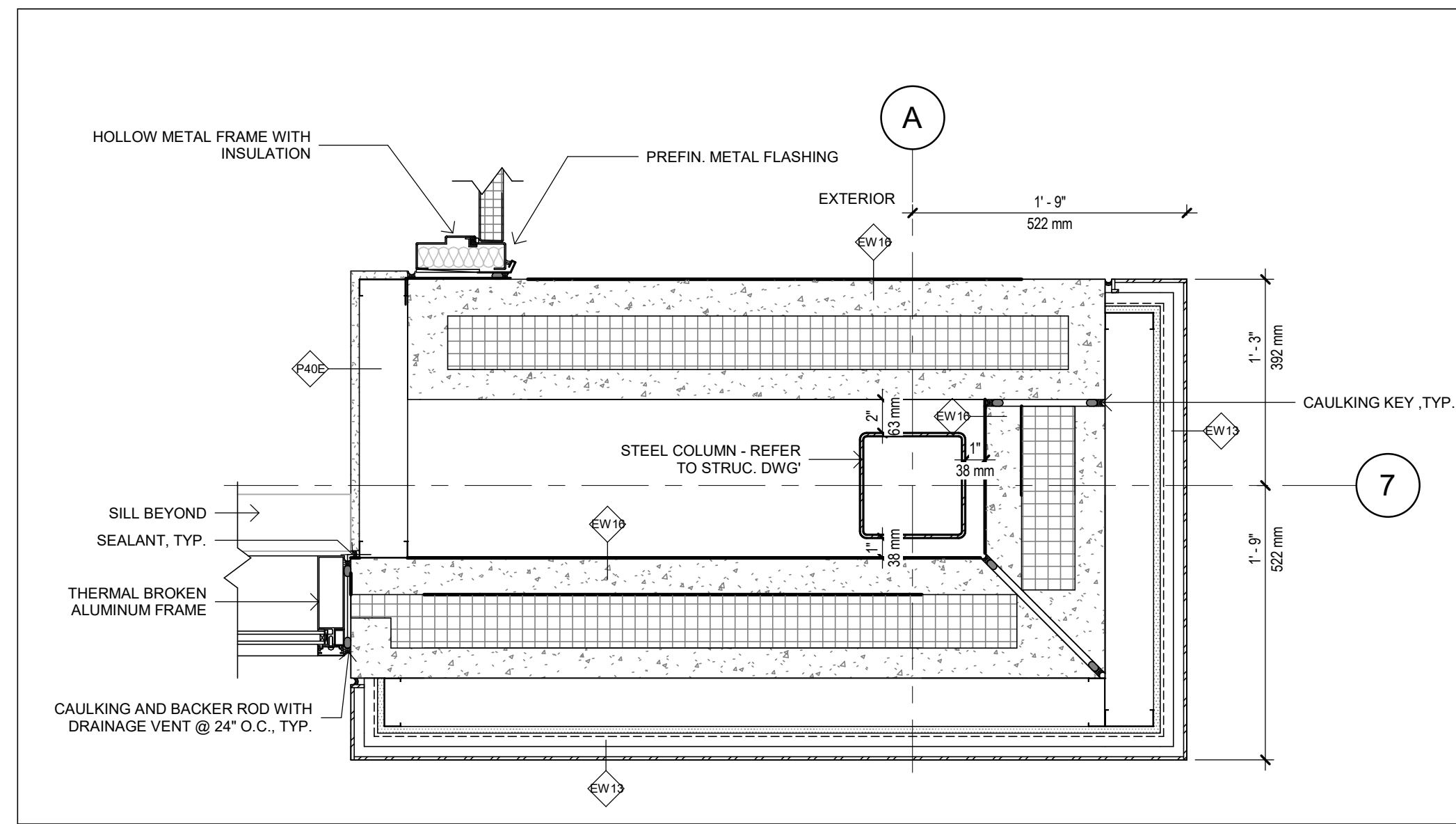
45 BLOWERS CRES
 AJAX, ON L1Z 0N4

DRAWING TITLE
ELEVATOR PLAN, SECTION & DETAILS

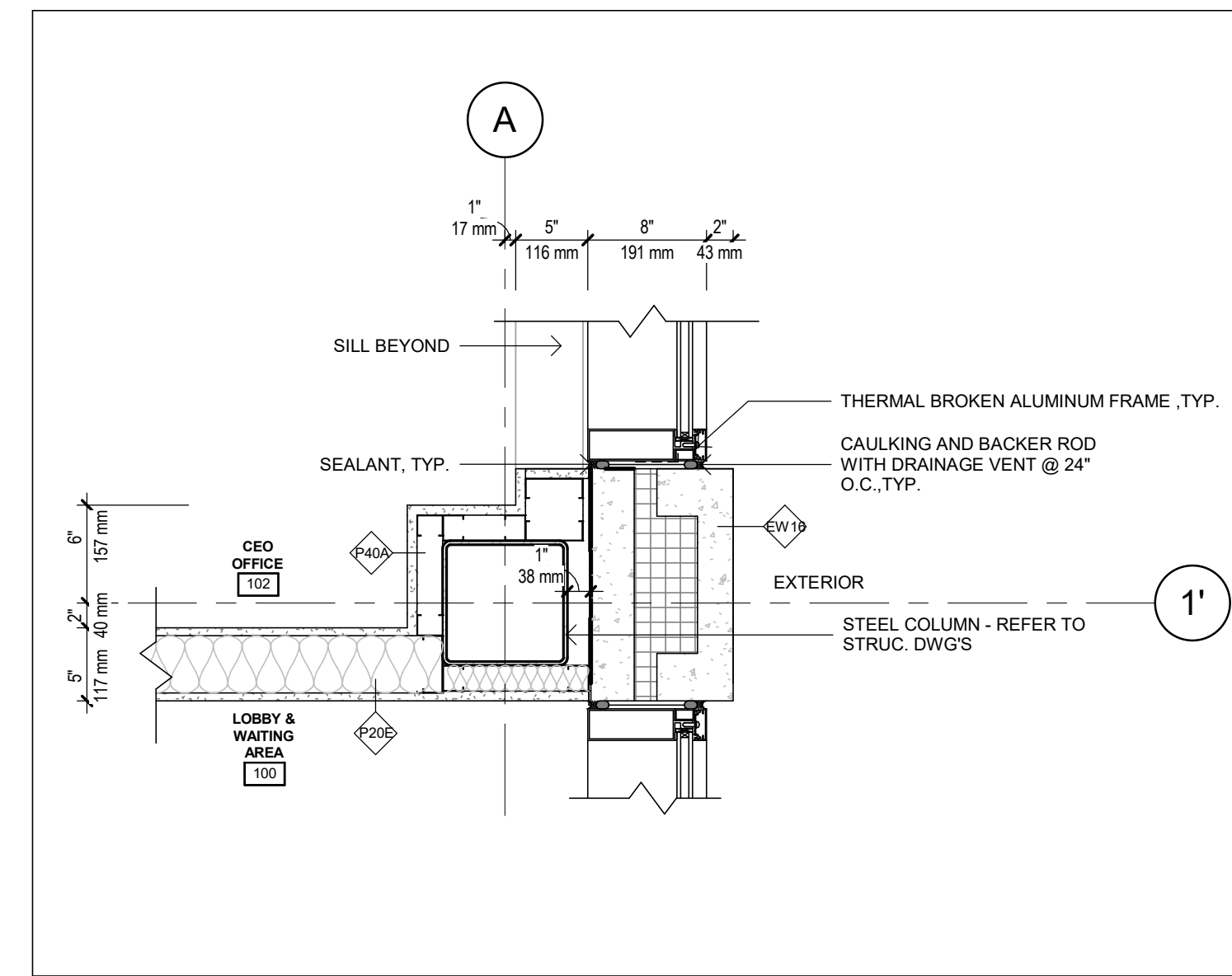
BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO:	SHEET NO.:	
A22-018		
SCALE:		
As indicated		
ISSUE DATE:		
24-07-10		

A510 1
 SHEET
 ISSUE No.

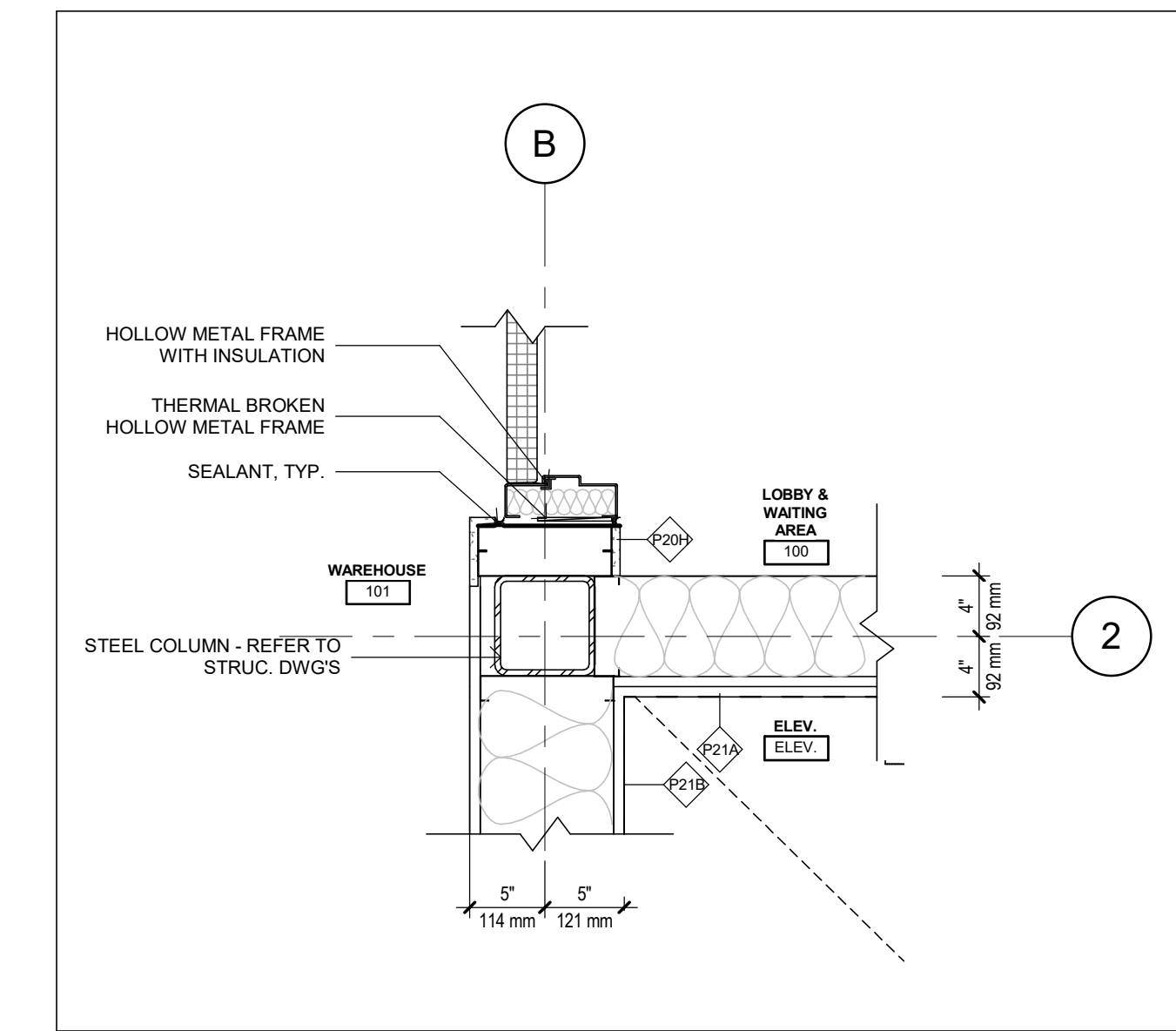
PLOT DATE: 2024-07-10 2:52:13 PM



8 PLAN DETAIL @ EXIT FROM OFFICE
 A520 1:10

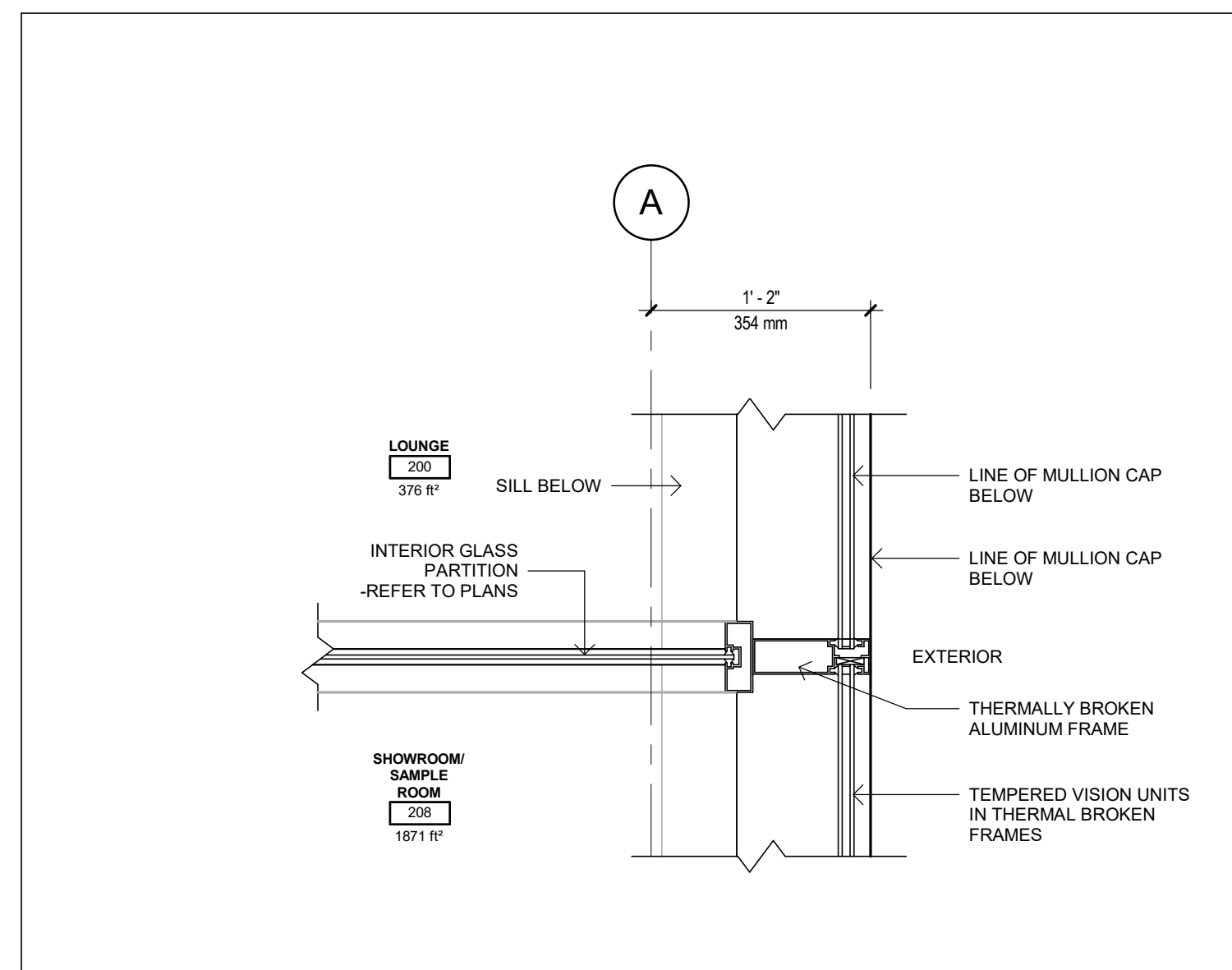


6 PLAN DETAIL @ LOBBY & WAITING AREA
 A520 1:10

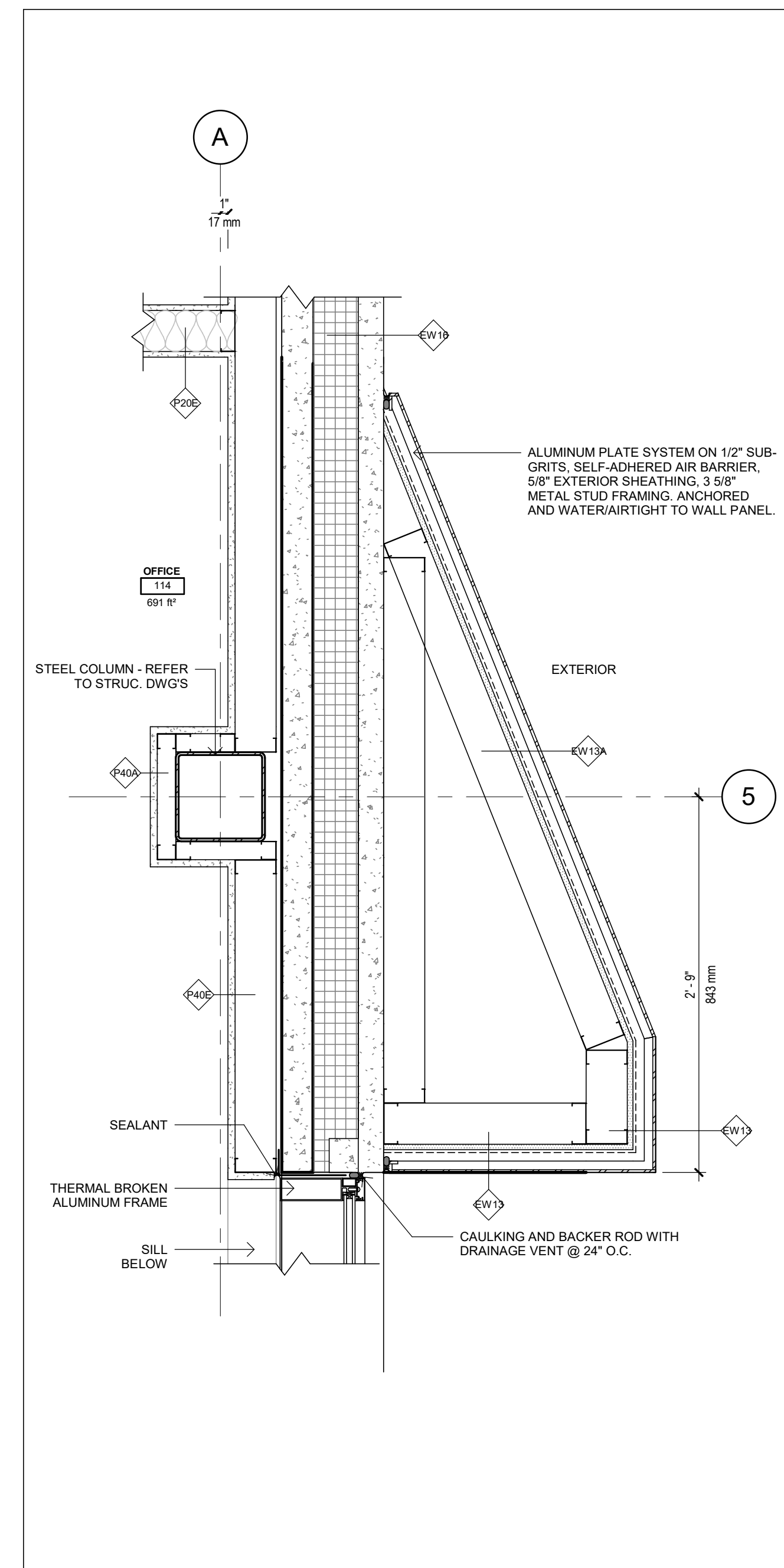


3 PLAN DETAIL @ ELEVATOR
 A520 1:10

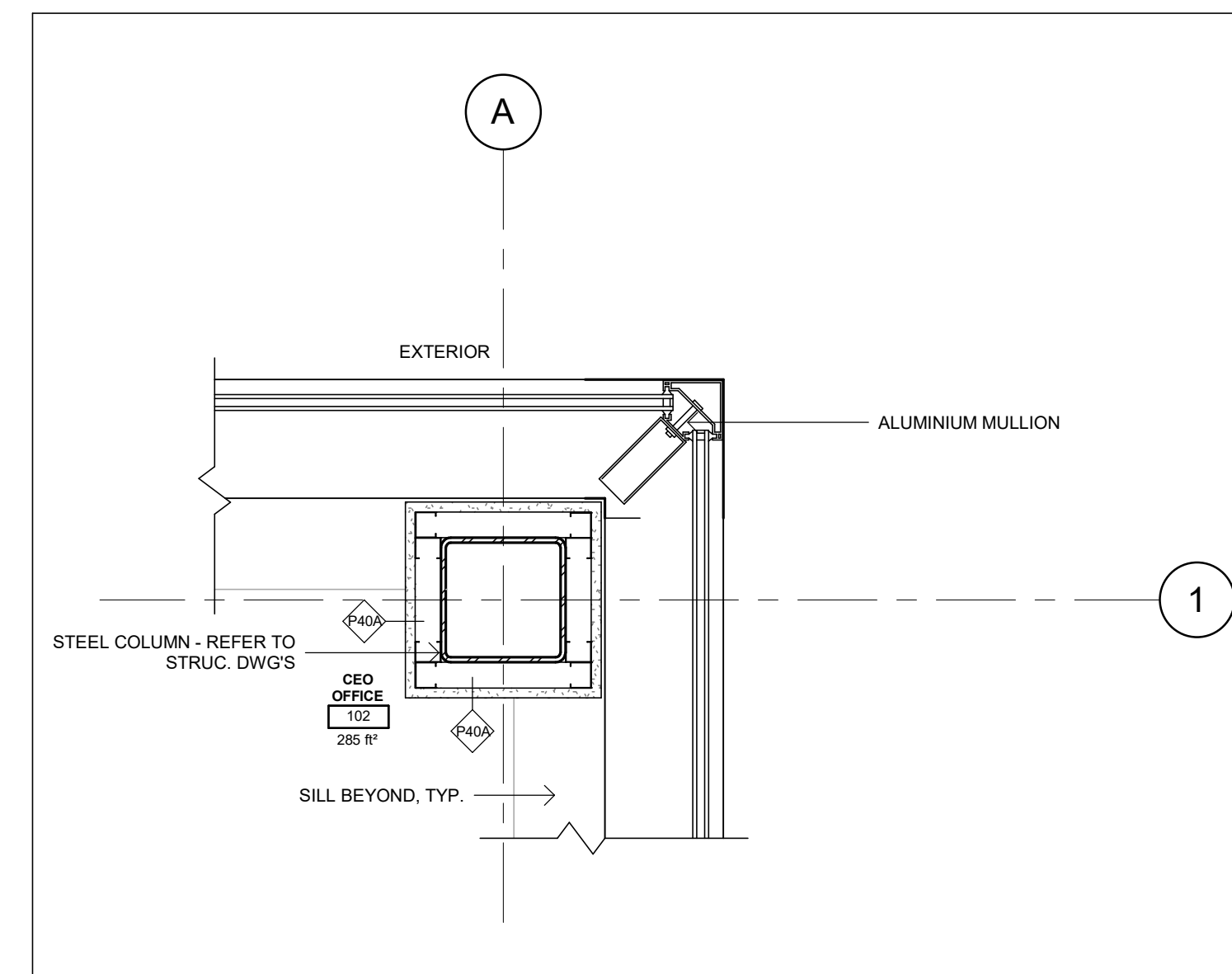
NOT ISSUED FOR CONSTRUCTION



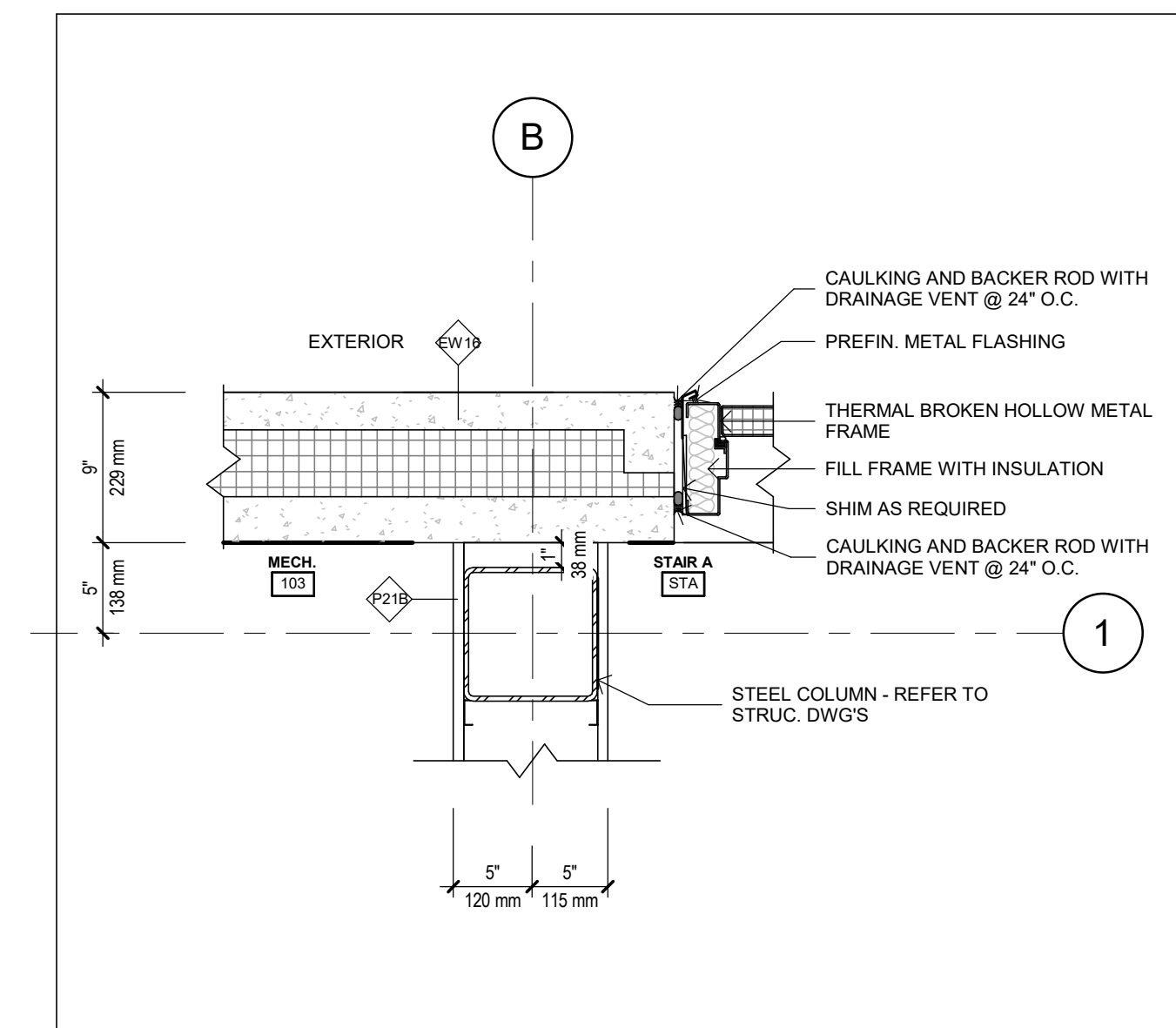
9 PLAN DETAIL @ SECOND FLOOR
 A520 1:10



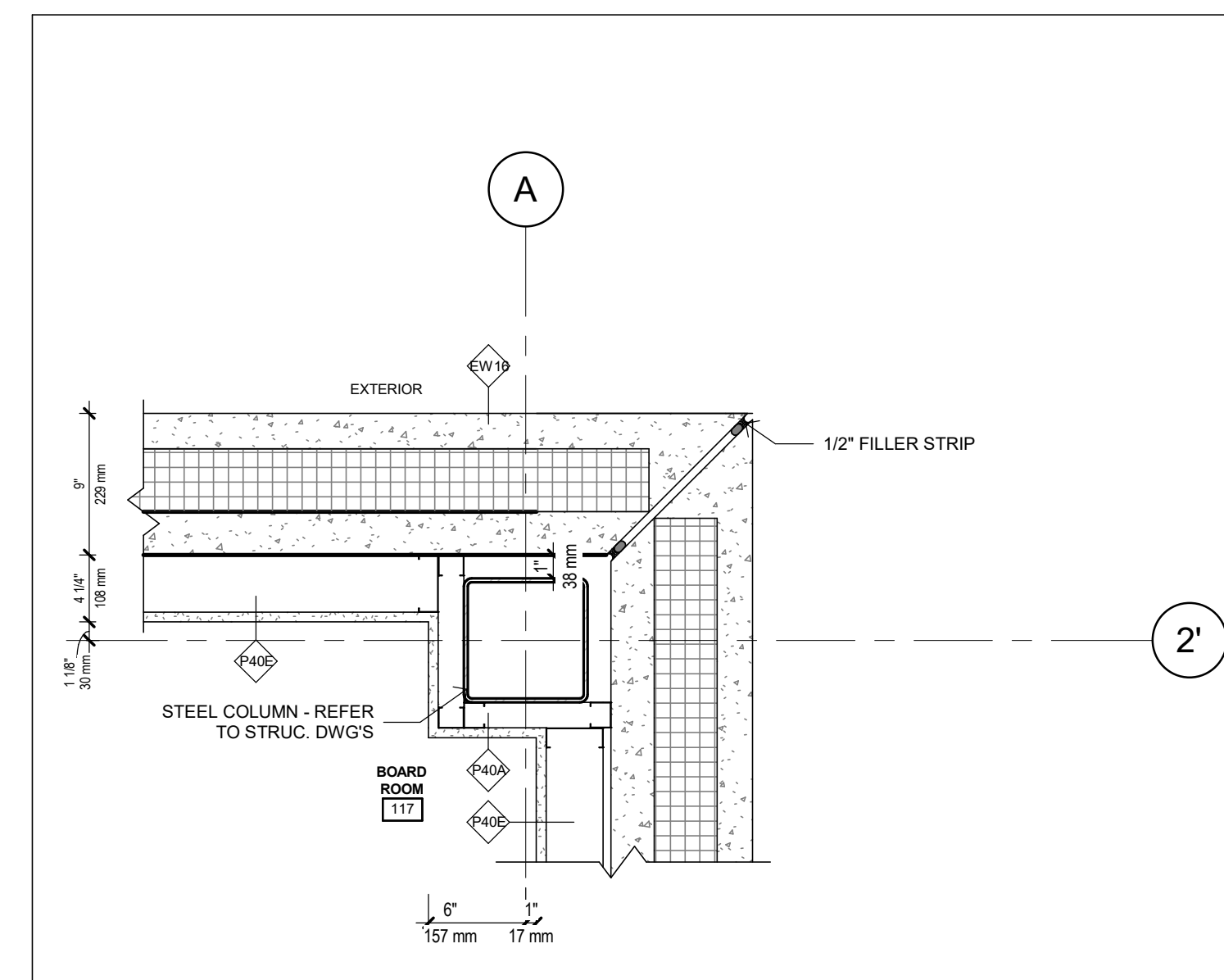
7 PLAN DETAIL @ OFFICE
 A520 1:10



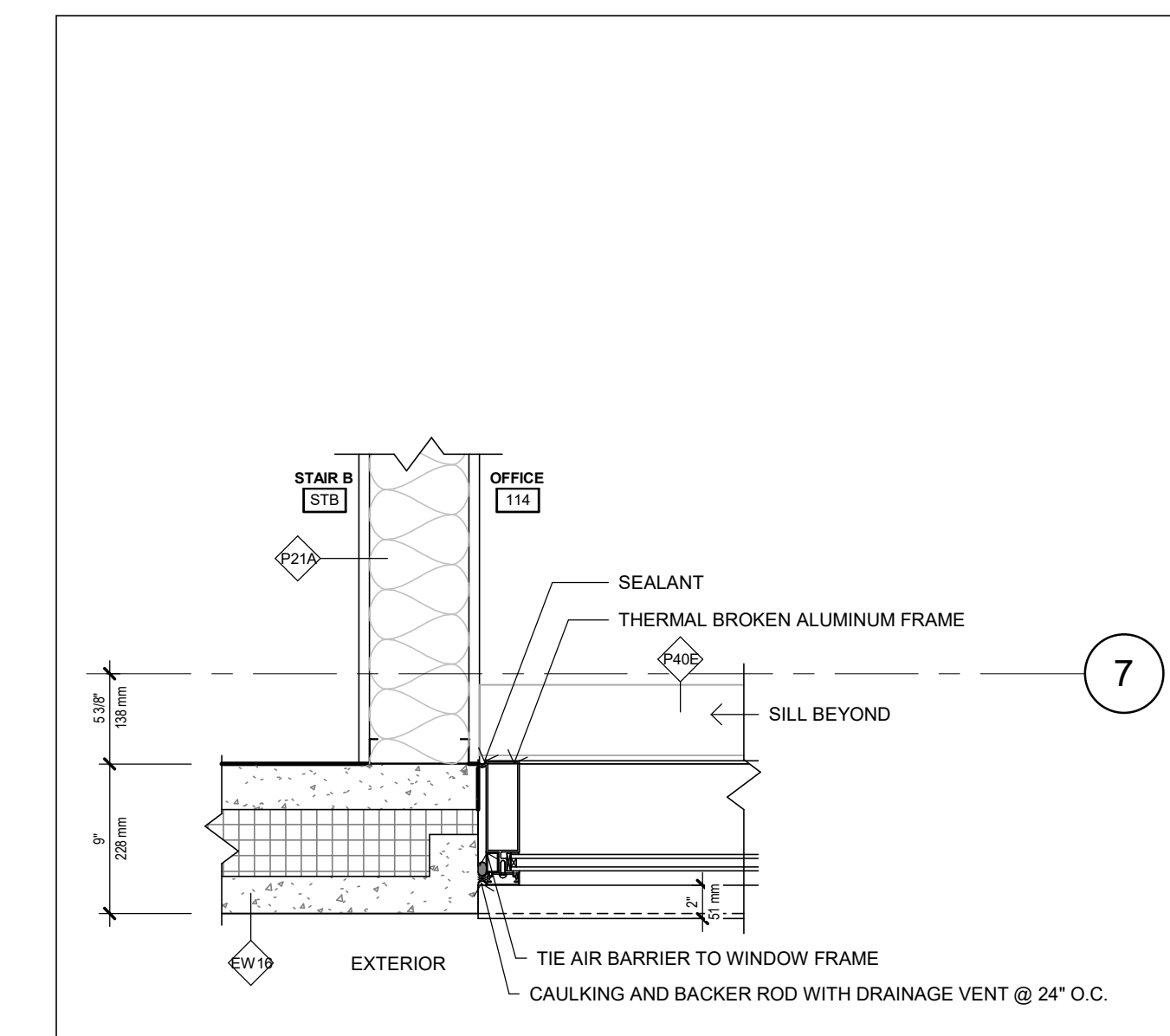
5 PLAN DETAIL @ CEO OFFICE
 A520 1:10



2 PLAN DETAIL @ STAIRCASE A
 A520 1:10



4 PLAN DETAIL @ BOARD ROOM
 A520 1:10



1 PLAN DETAIL @ STAIRCASE B
 A520 1:10

No.	By	Description	Date
1	NZ	CLIENT REVIEW	24-07-10

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 P: 905.337.7249

ARCHITECT:
 SAPIUS ARCHITECTS INC.
 1484 CORNWALL ROAD, UNIT 8
 OAKVILLE, ONTARIO L6J 7W5

CLIENT:
 STARNIGHT IMPORT & EXPORT
 358 IRONSIDE CRESCENT
 SCARBOROUGH, ON M1X 1G5

PROJECT
 WAREHOUSE & OFFICE HEADQUARTERS

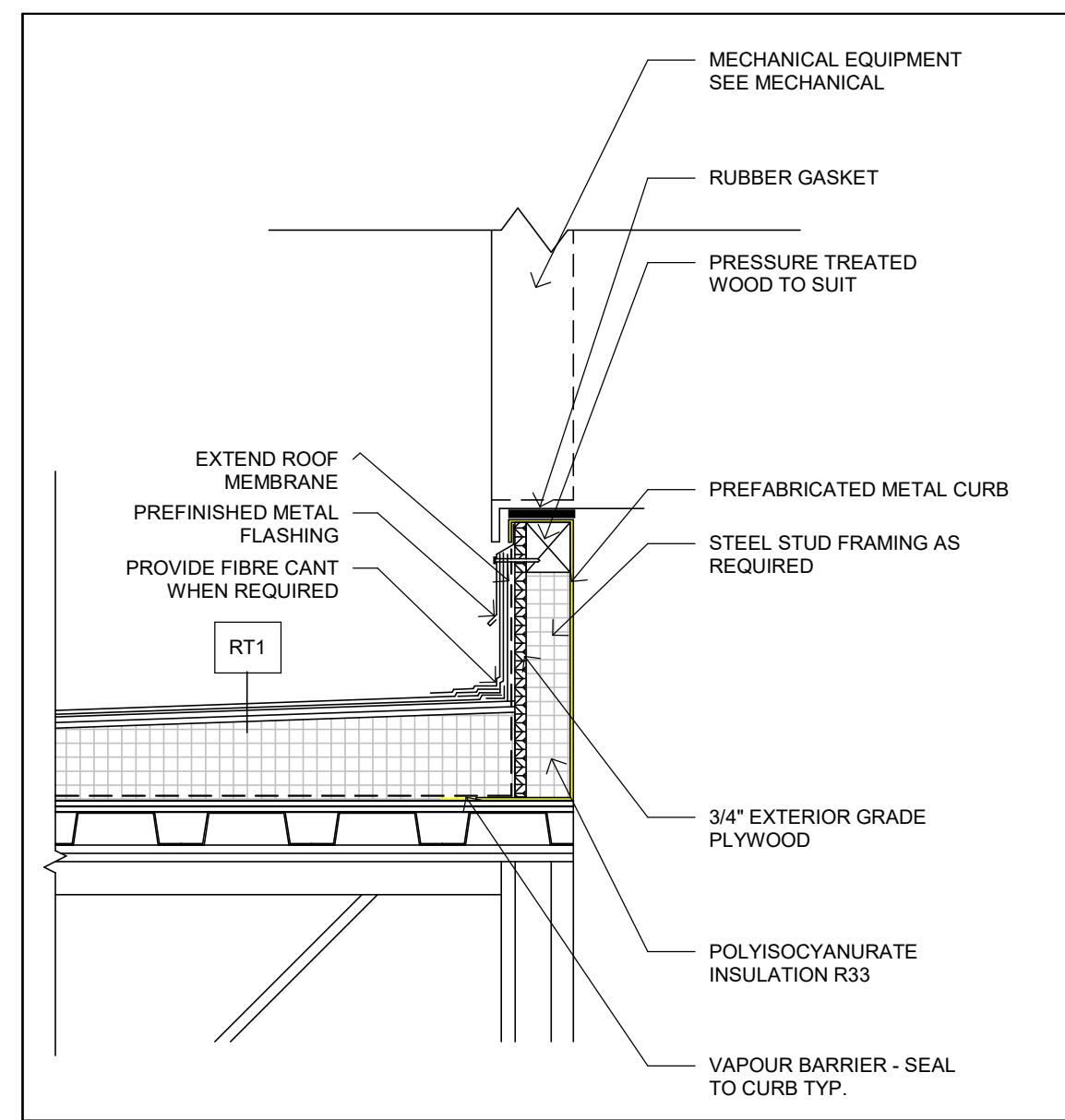
45 BLOWERS CRES
 AJAX, ON L1Z 0N4

DRAWING TITLE
 PLAN DETAILS

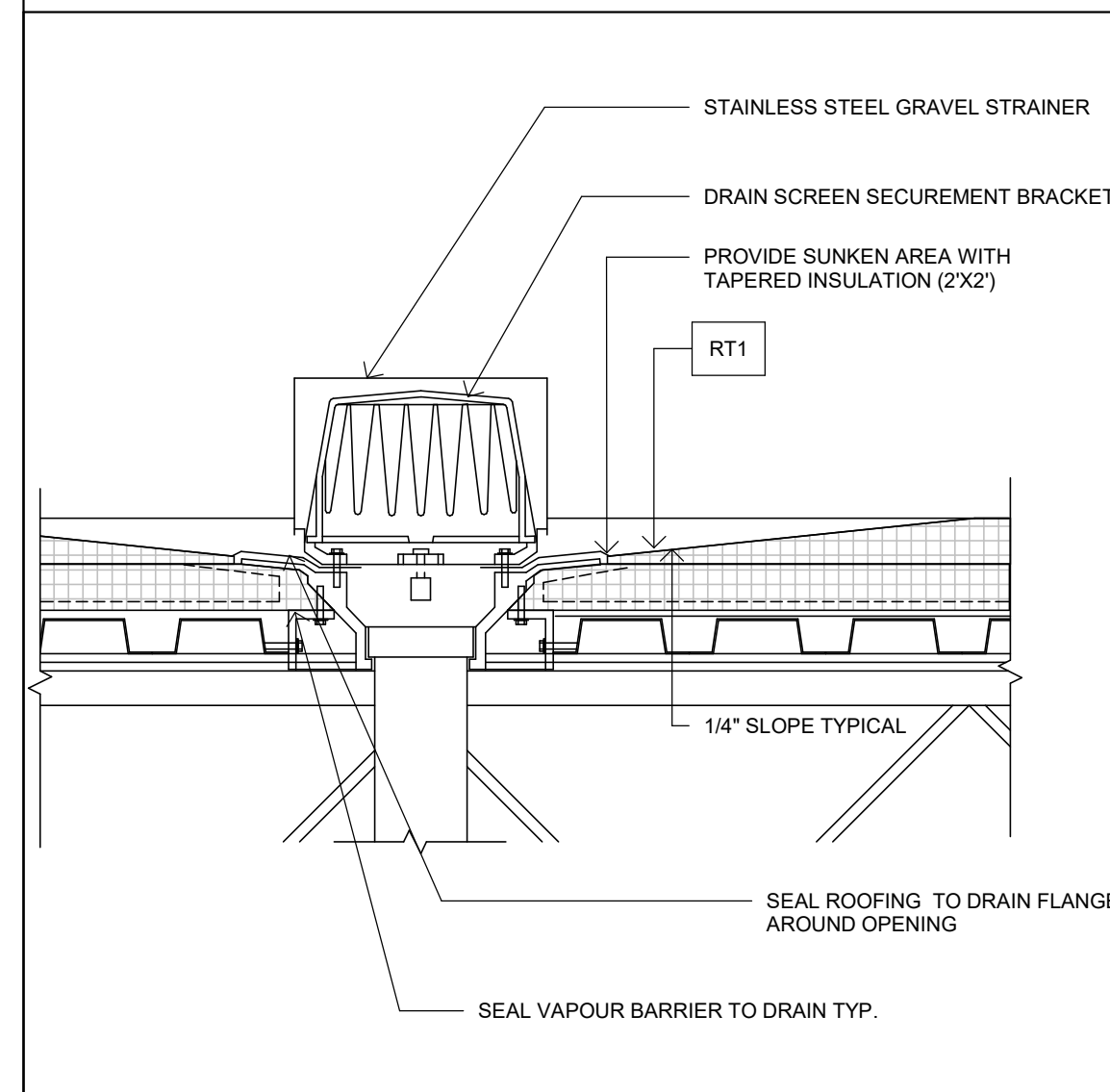
BY [CHECK] ISSUED FOR
 AGR NZ CLIENT REVIEW
 PROJECT NO.: A22-018
 SCALE: 1:10
 ISSUE DATE: 24-07-10

A520 1
 SHEET ISSUE No.

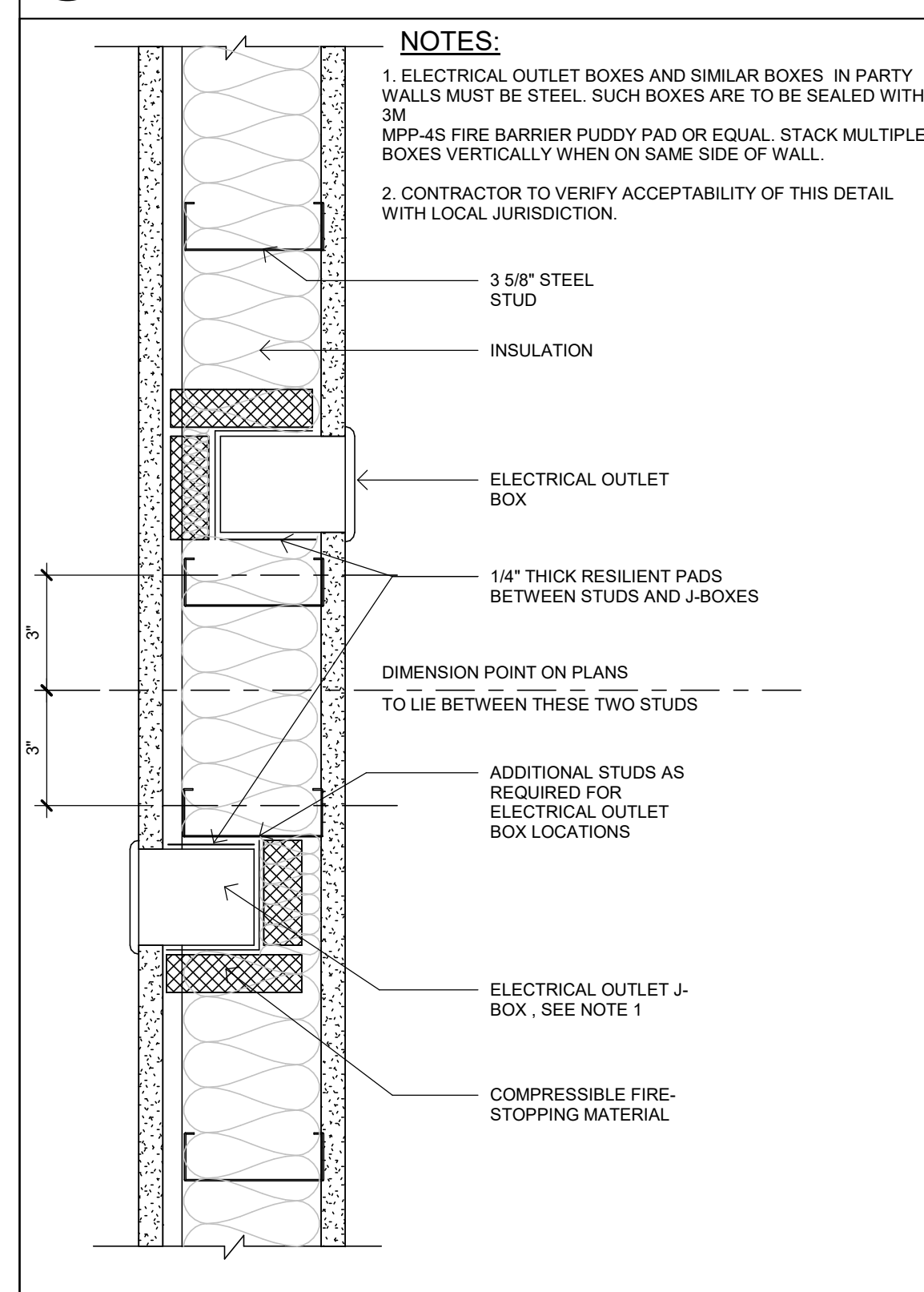
PLOT DATE: 2024-07-10 2:52:15 PM



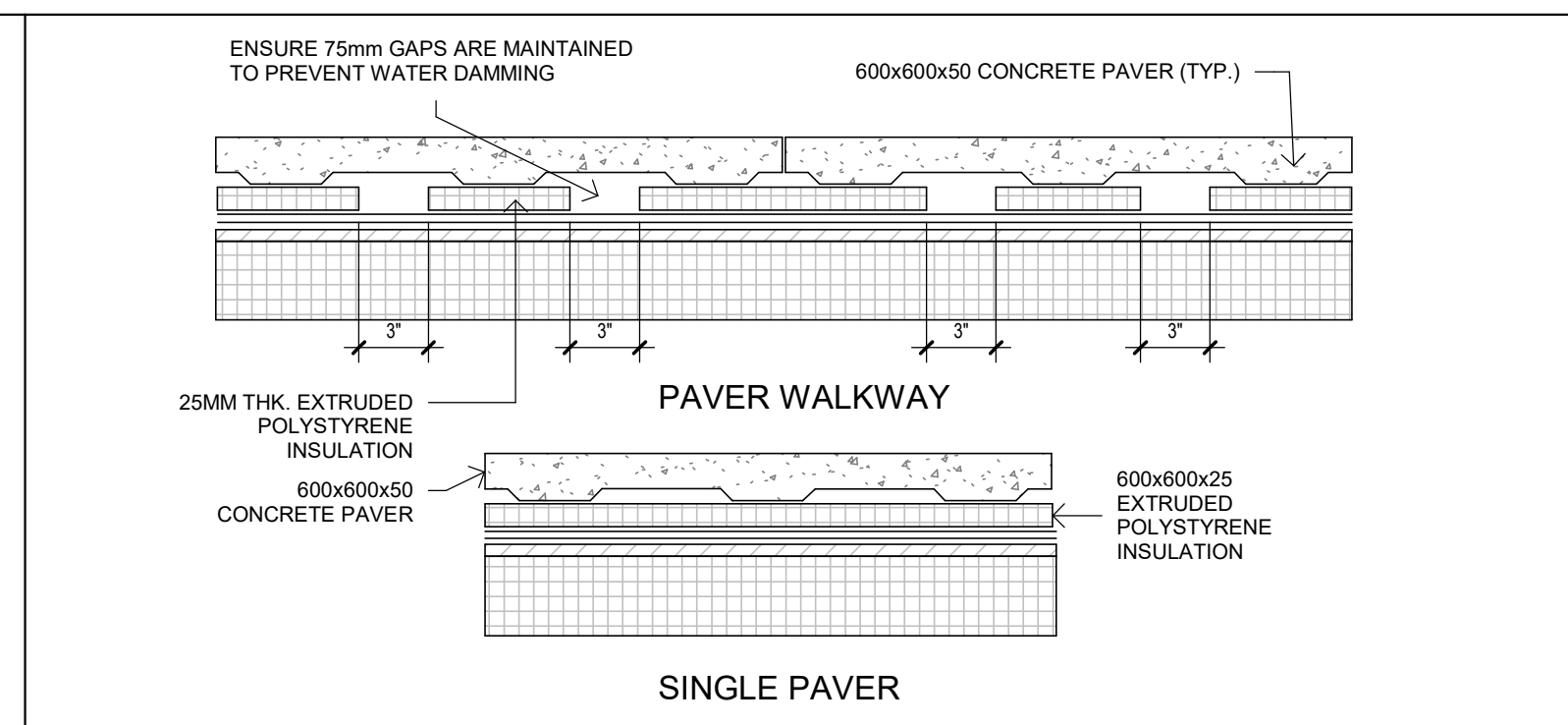
4 MECHANICAL CURB DETAIL
A524 1 1/2" = 1'-0"



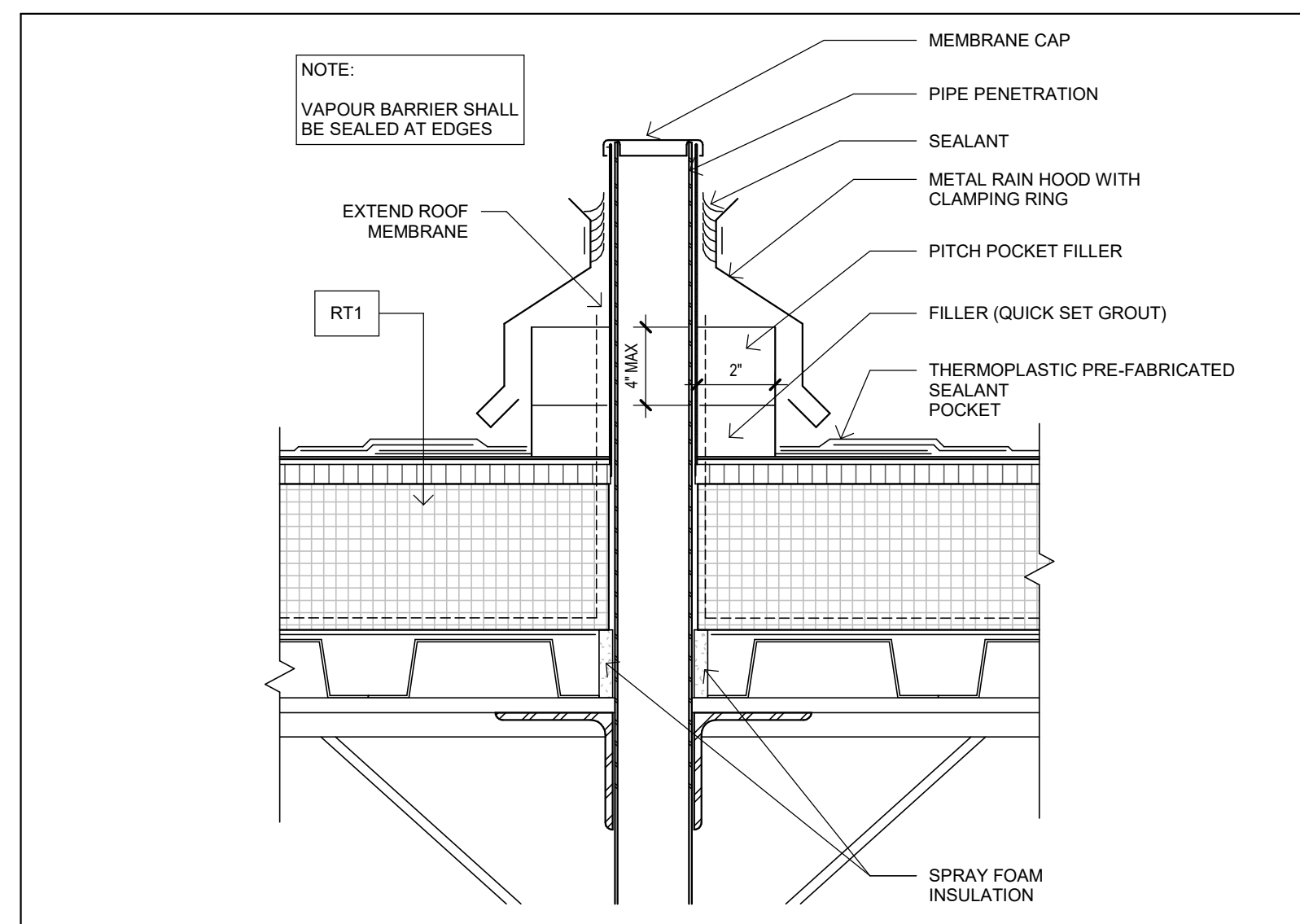
7 ROOF DRAIN DETAIL
A524 1 1/2" = 1'-0"



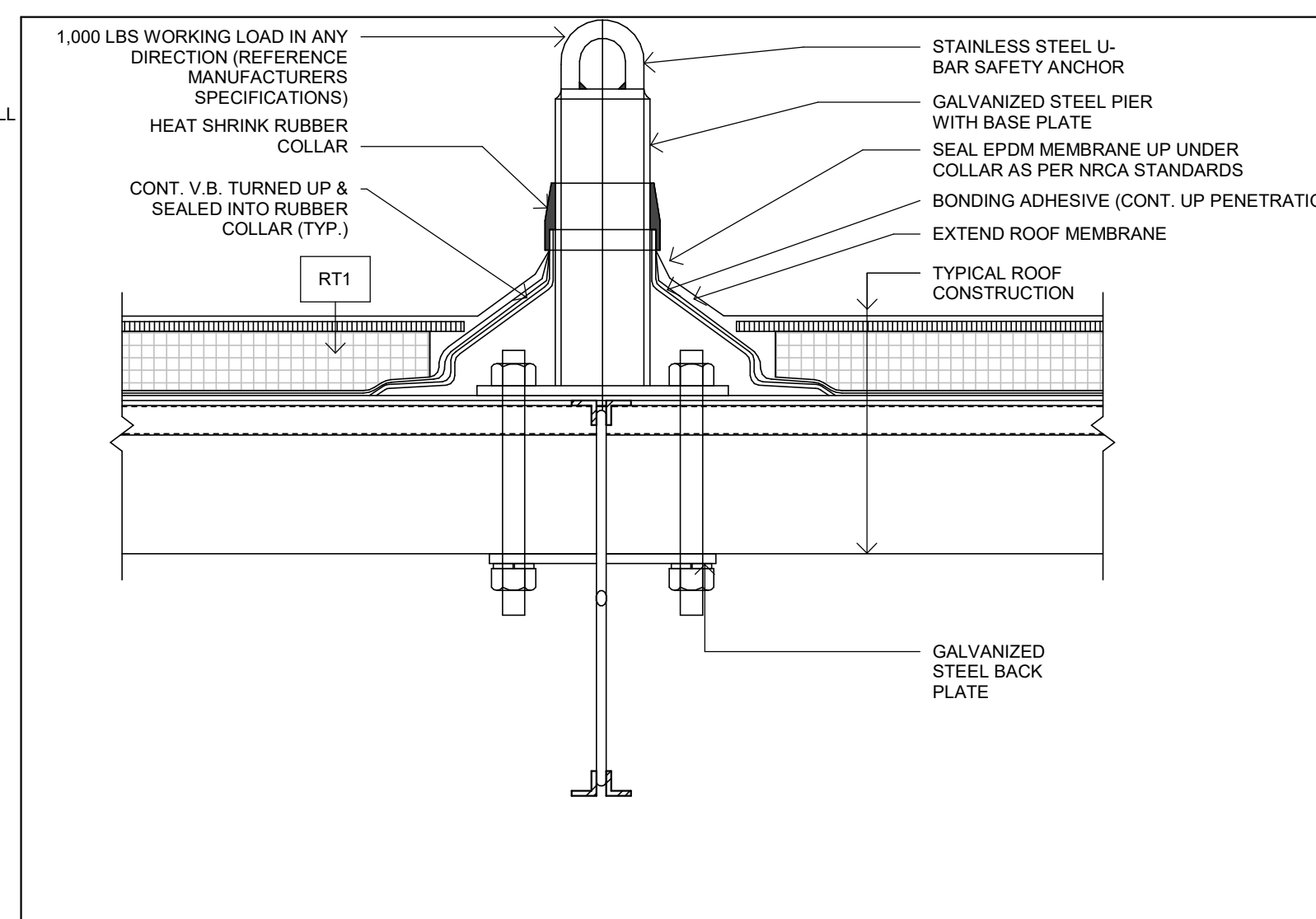
5 TYP. ELECTRICAL OUTLET DETAIL
A524 3" = 1'-0"



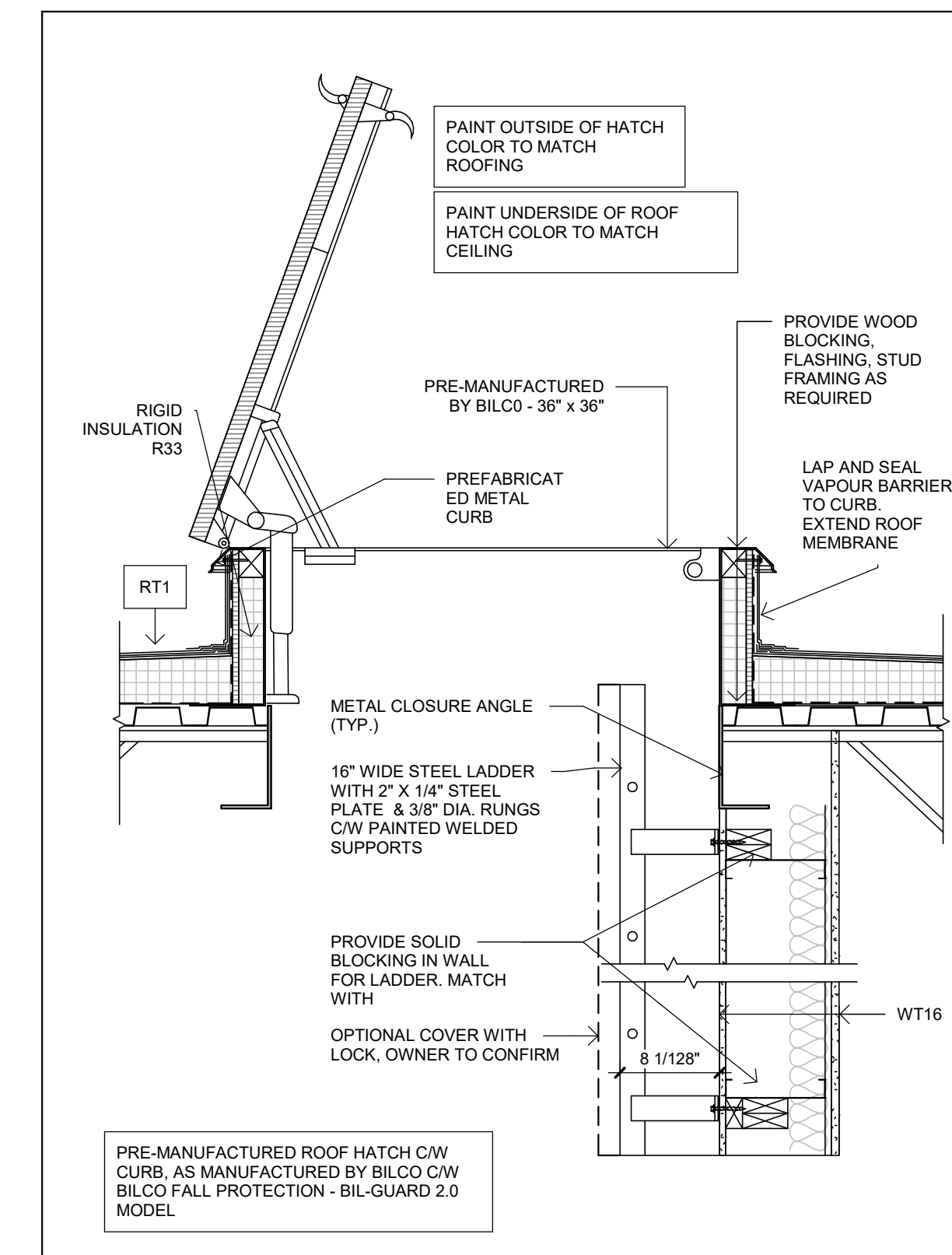
9 ROOF PAVER WALKWAY DETAIL
A524 1 1/2" = 1'-0"



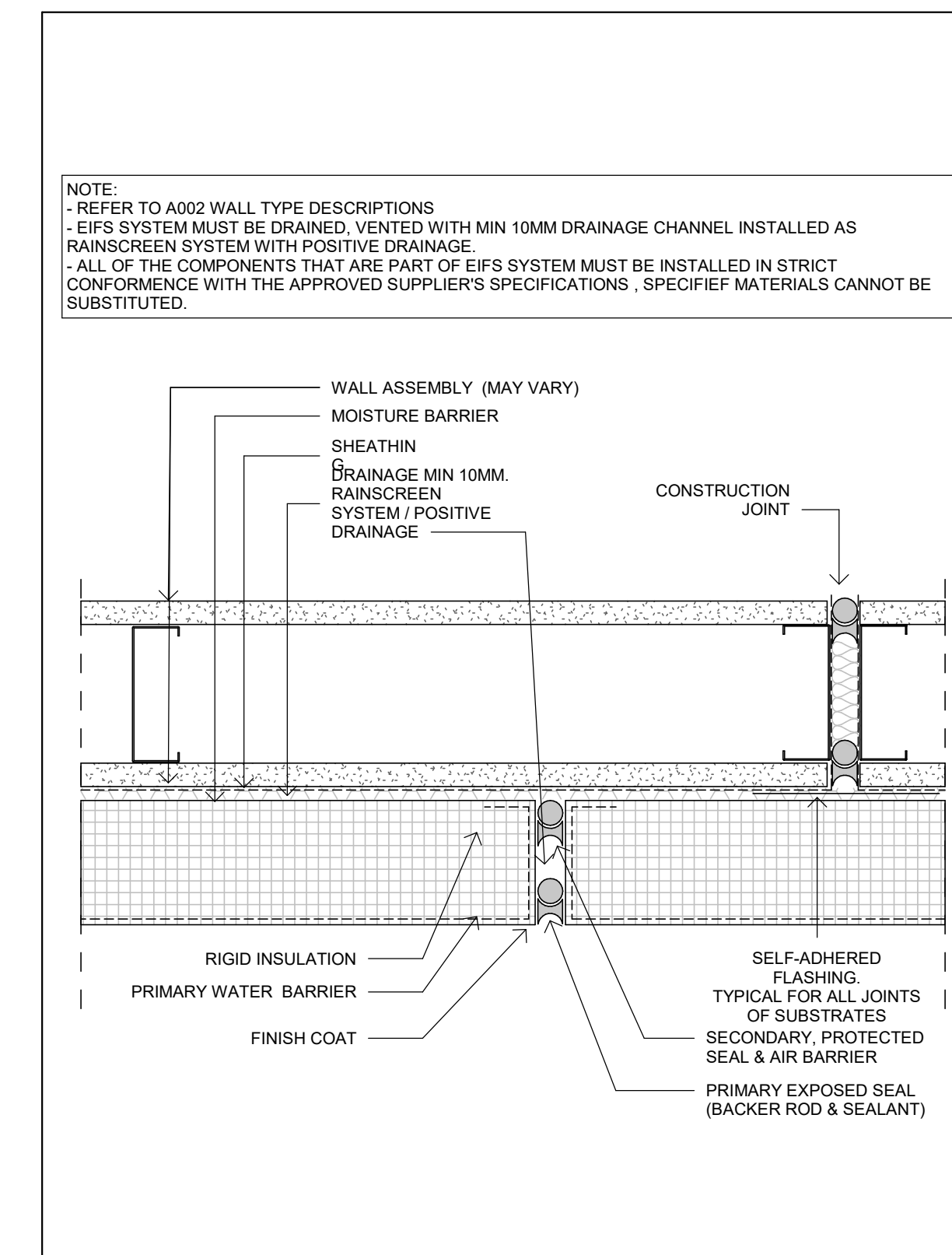
8 VENT STACK DETAIL
A524 3" = 1'-0"



10 TYPICAL ROOF ANCHOR DETAIL
A524 1 1/2" = 1'-0"



3 ROOF ACCESS HATCH DETAIL
A524 1" = 1'-0"



11 TYPICAL EIFS JOINT
A524 3" = 1'-0"

- STANDARD DETAILS ARE PROPOSED FOR GENERAL INTENT ONLY. DETAILING MAY VARY BASED ON MANUF. / TRADES' SPECS & STANDARDS. PROVIDE SHOP DRAWINGS WITH SUFFICIENT DETAILING & DOCUMENTATION.

- ALL PENETRATIONS TO BE FULLY SEALED. PROVIDE SUFFICIENT THERMAL BREAKING AS PER SB-10 TABLE

- COORDINATE WITH OBC MATRIX, SB-10 TABLE, AND OTHER DRAWINGS FOR CONFORMITY

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No.	By	Description	Date YY-MM-DD
1	NZ	CLIENT REVIEW	24-07-10

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ARCHITECT:

SAPLYS ARCHITECTS INC.
1484 CORNWALL ROAD, UNIT 8
OAKVILLE, ONTARIO L6J 7W5

CLIENT:

STARRIGHT IMPORT & EXPORT
358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

PROJECT N. 1161 N. 1161 N.

PROFESSIONAL CERTIFICATION

PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0N4

DRAWING TITLE
STANDARD / TYPICAL DETAILS

BY: AGR INZ ISSUED FOR: CLIENT REVIEW

PROJECT NO.: A22-018 SHEET NO.:

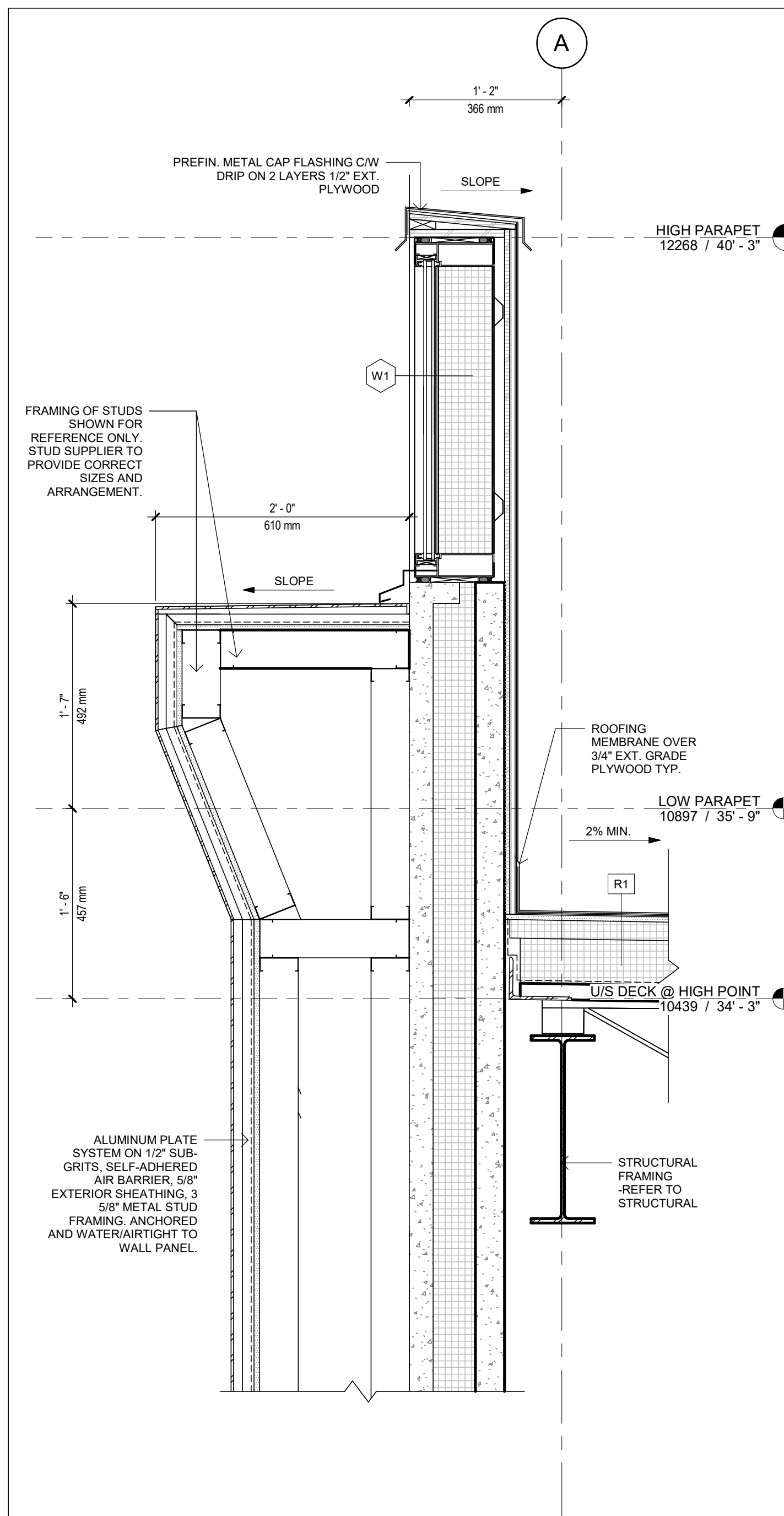
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ISSUE DATE: 24-07-10

A524 1 SHEET ISSUE NO.

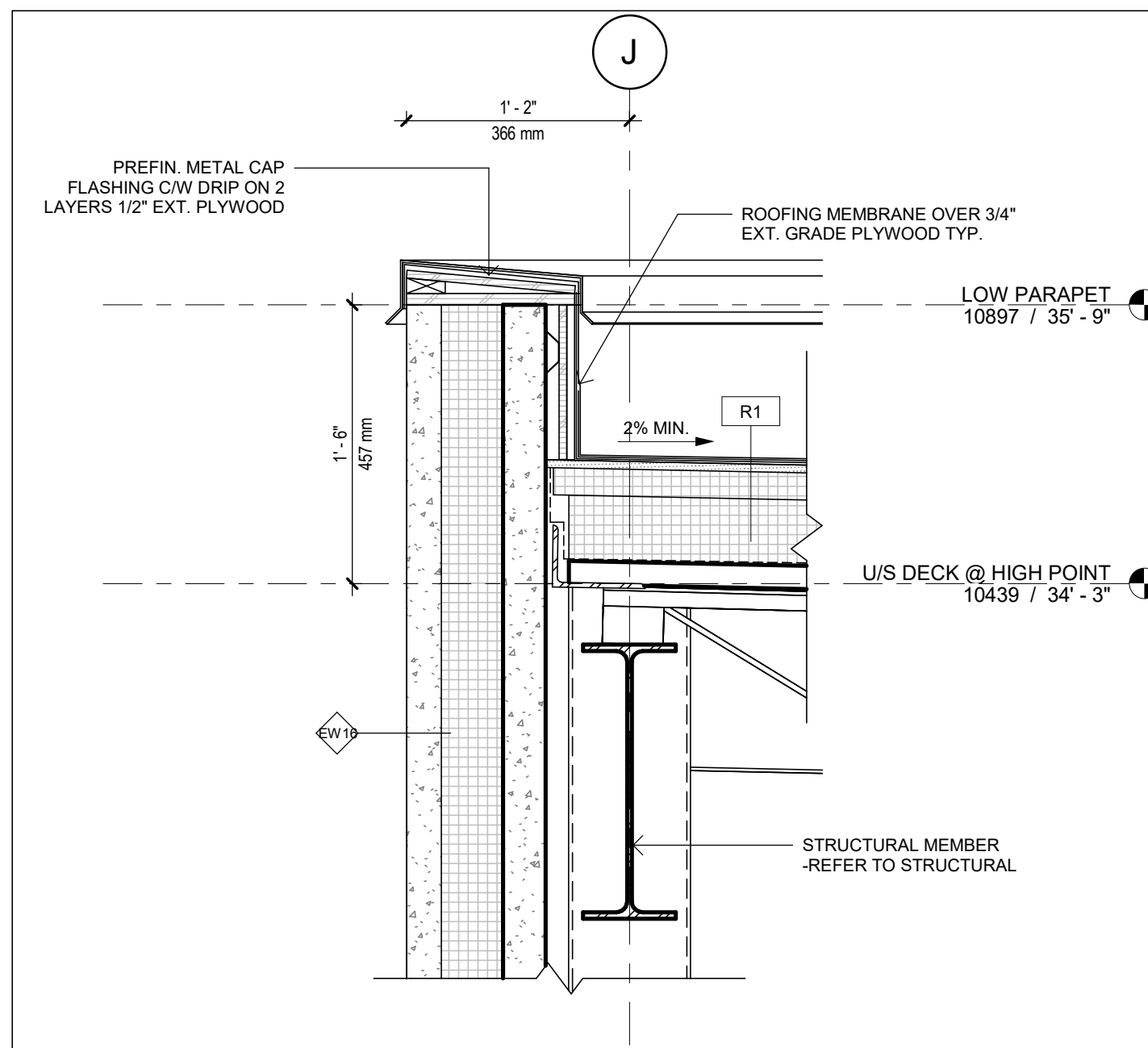
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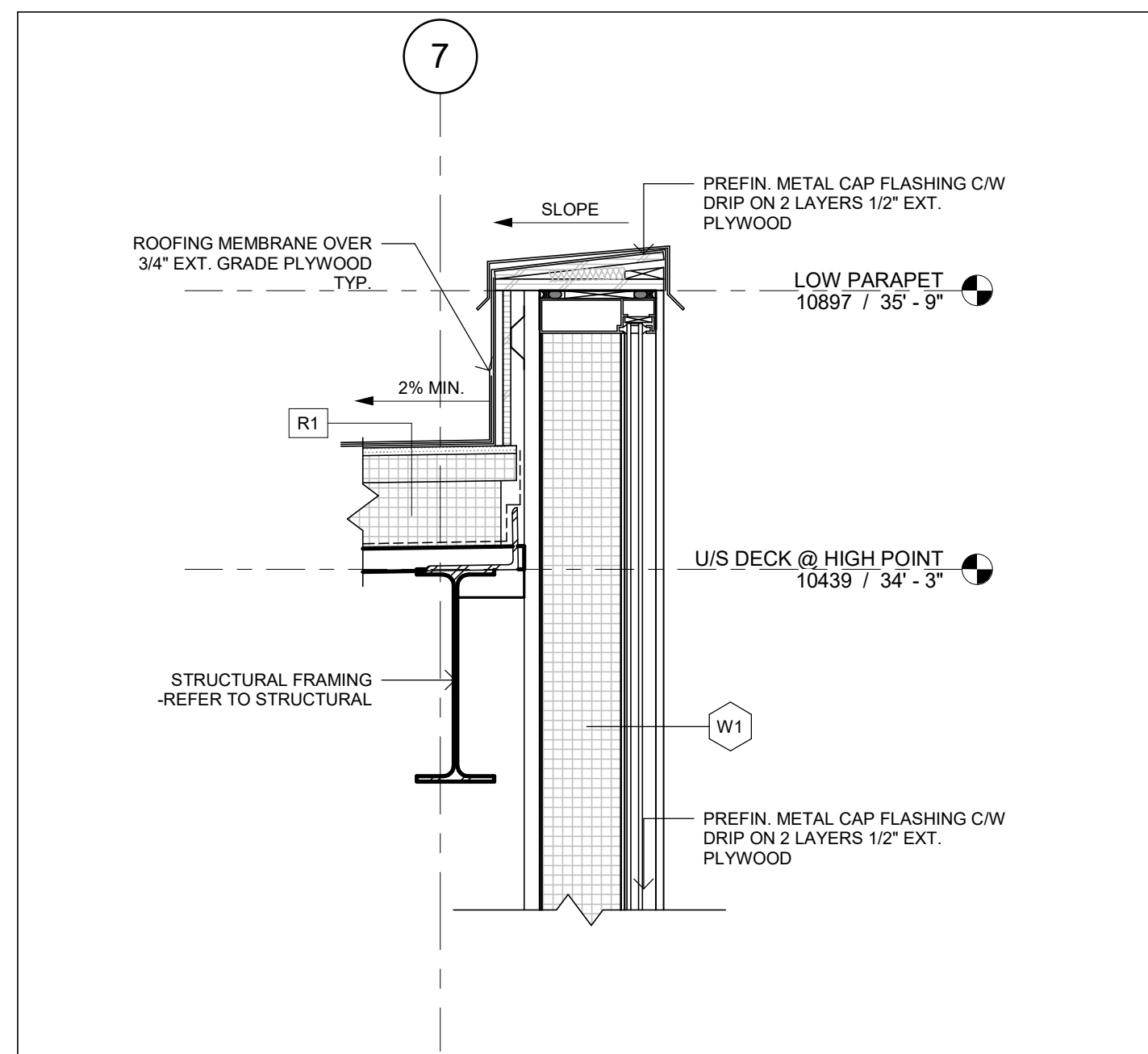
9 FEATURE WALL DETAIL

A525 1:10



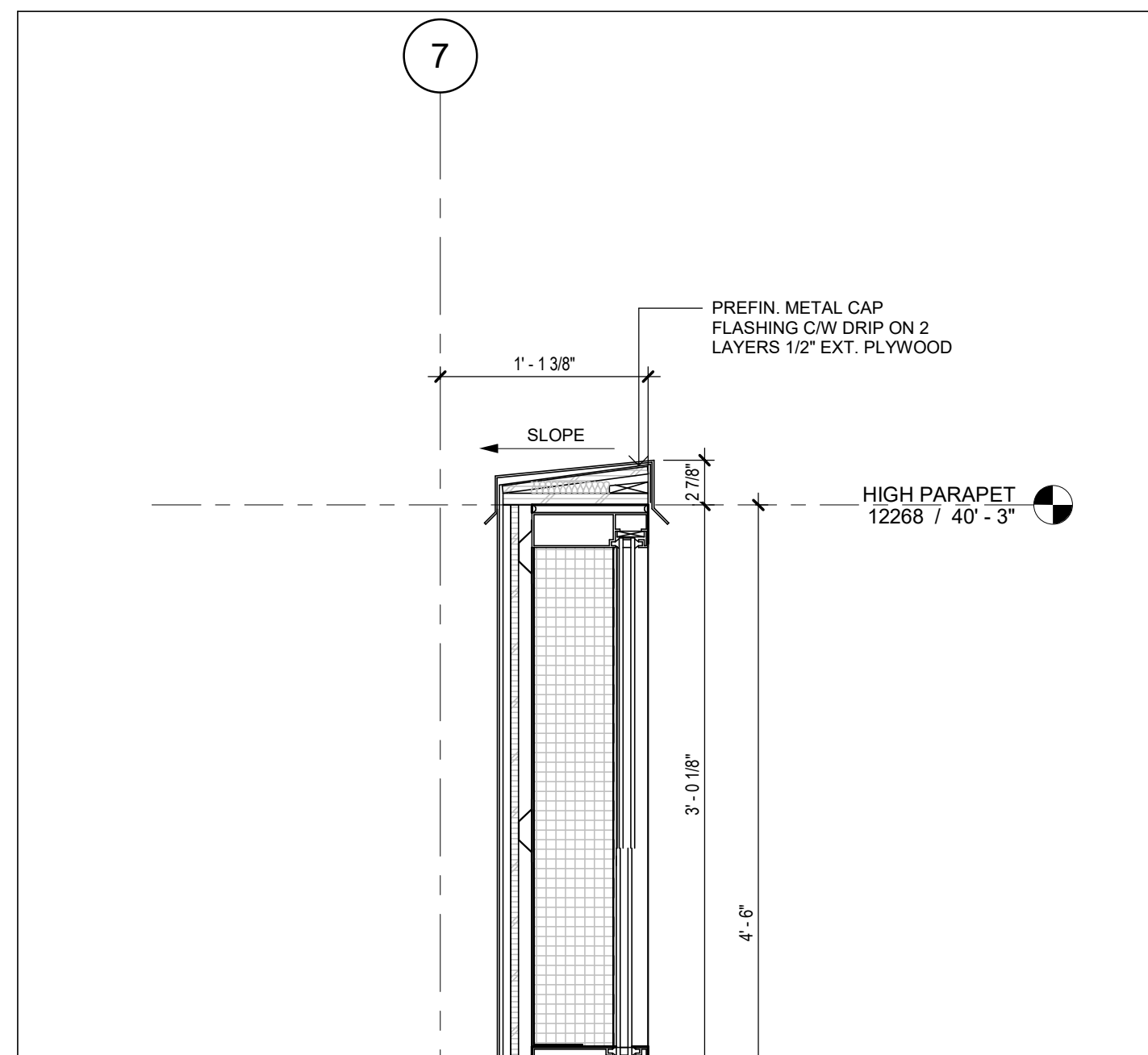
6 PRECAST LOW PARAPET

A525 1:10



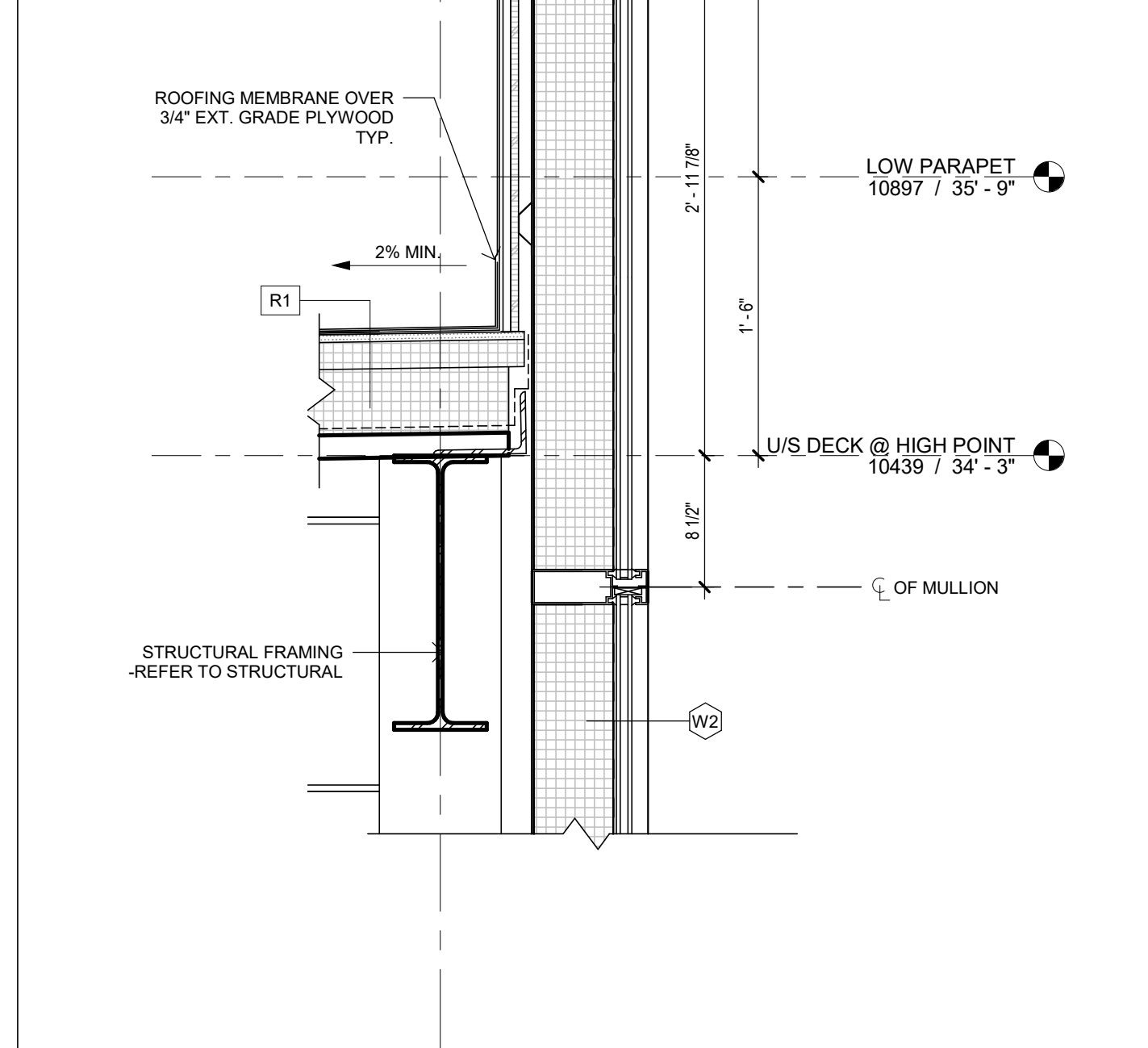
7 STOREFRONT LOW PARAPET

A525 1:10



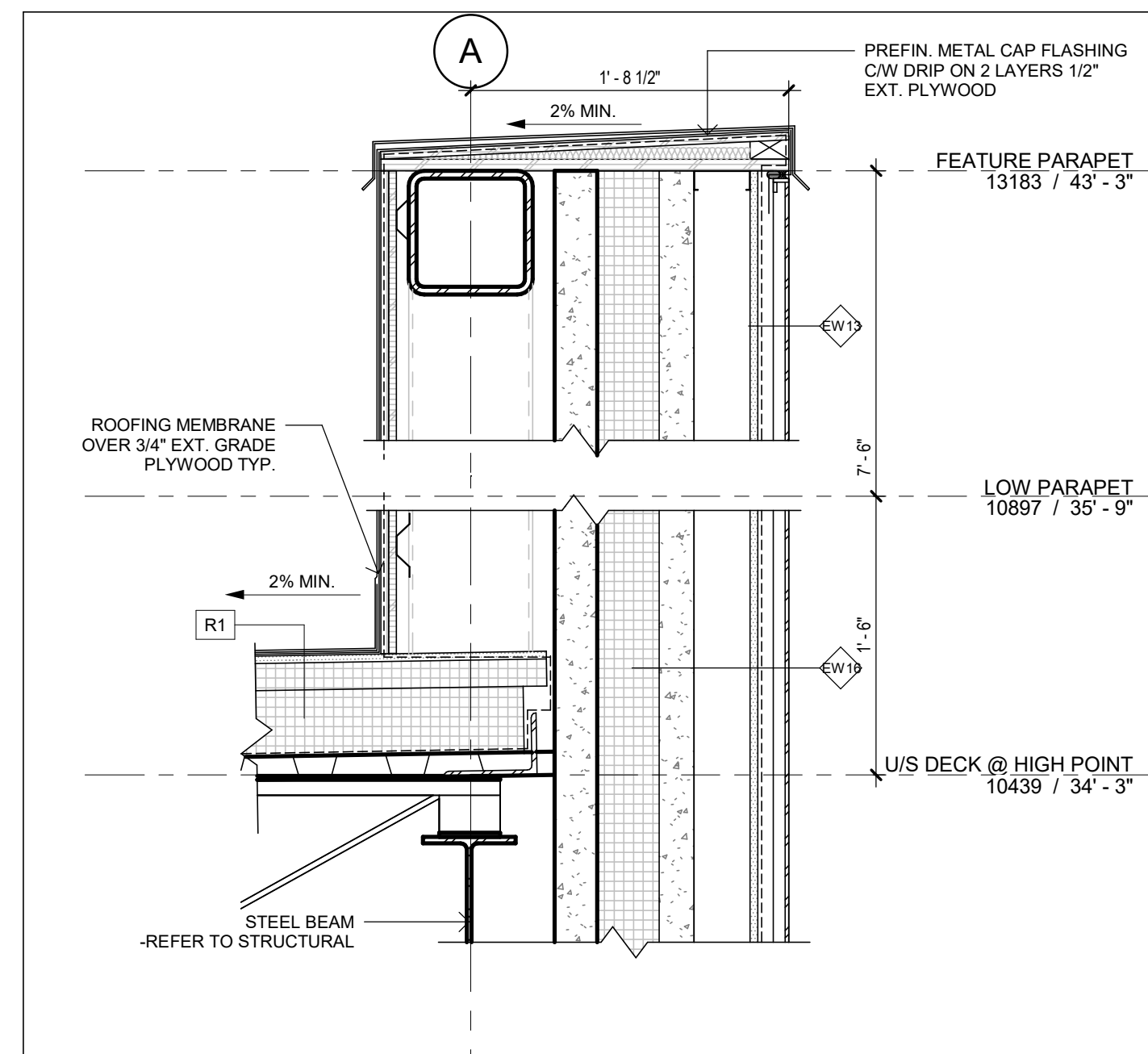
5 STOREFRONT PARAPET

A525 1:10



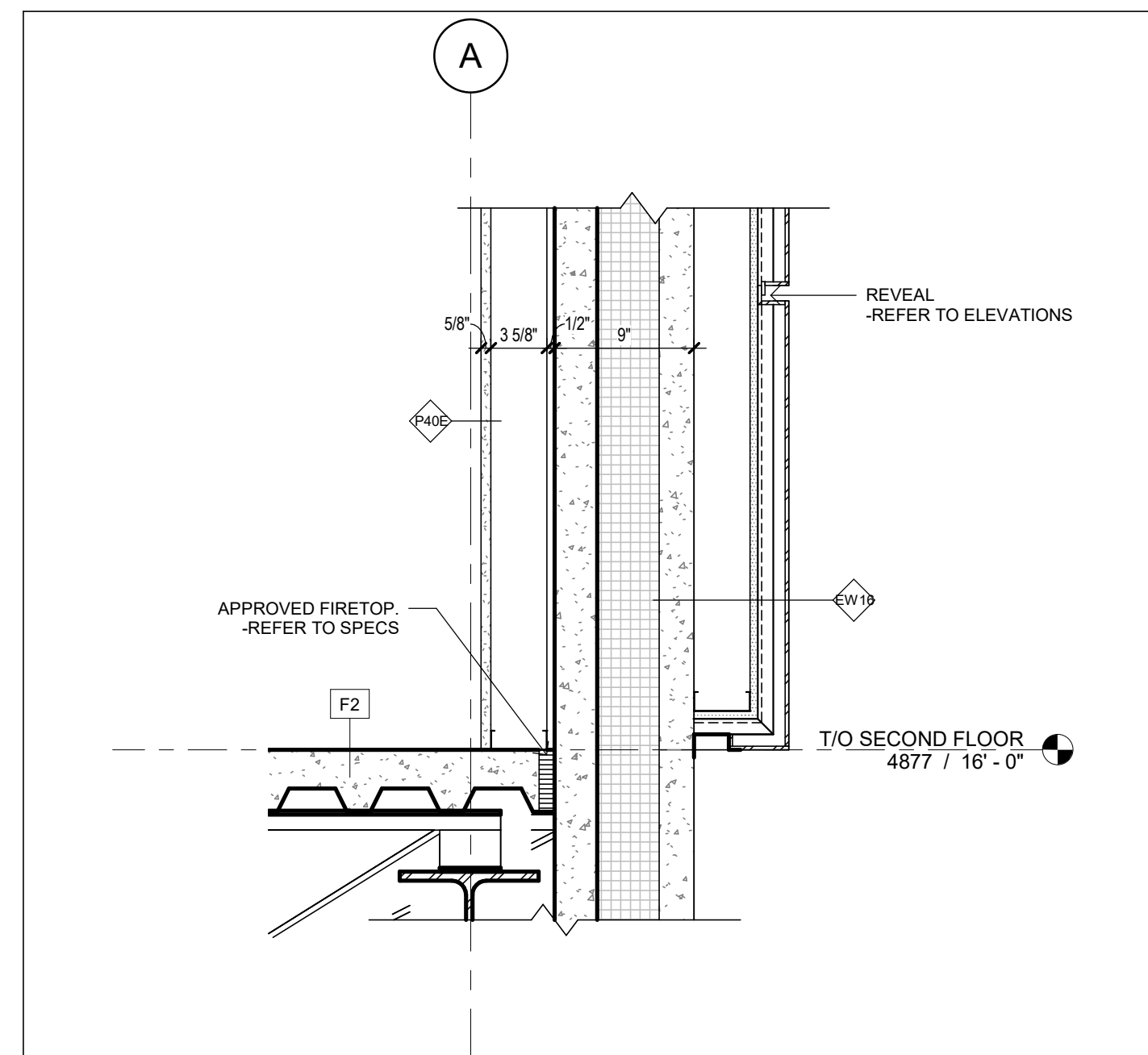
11 SOFFIT DETAIL

A525 1:10



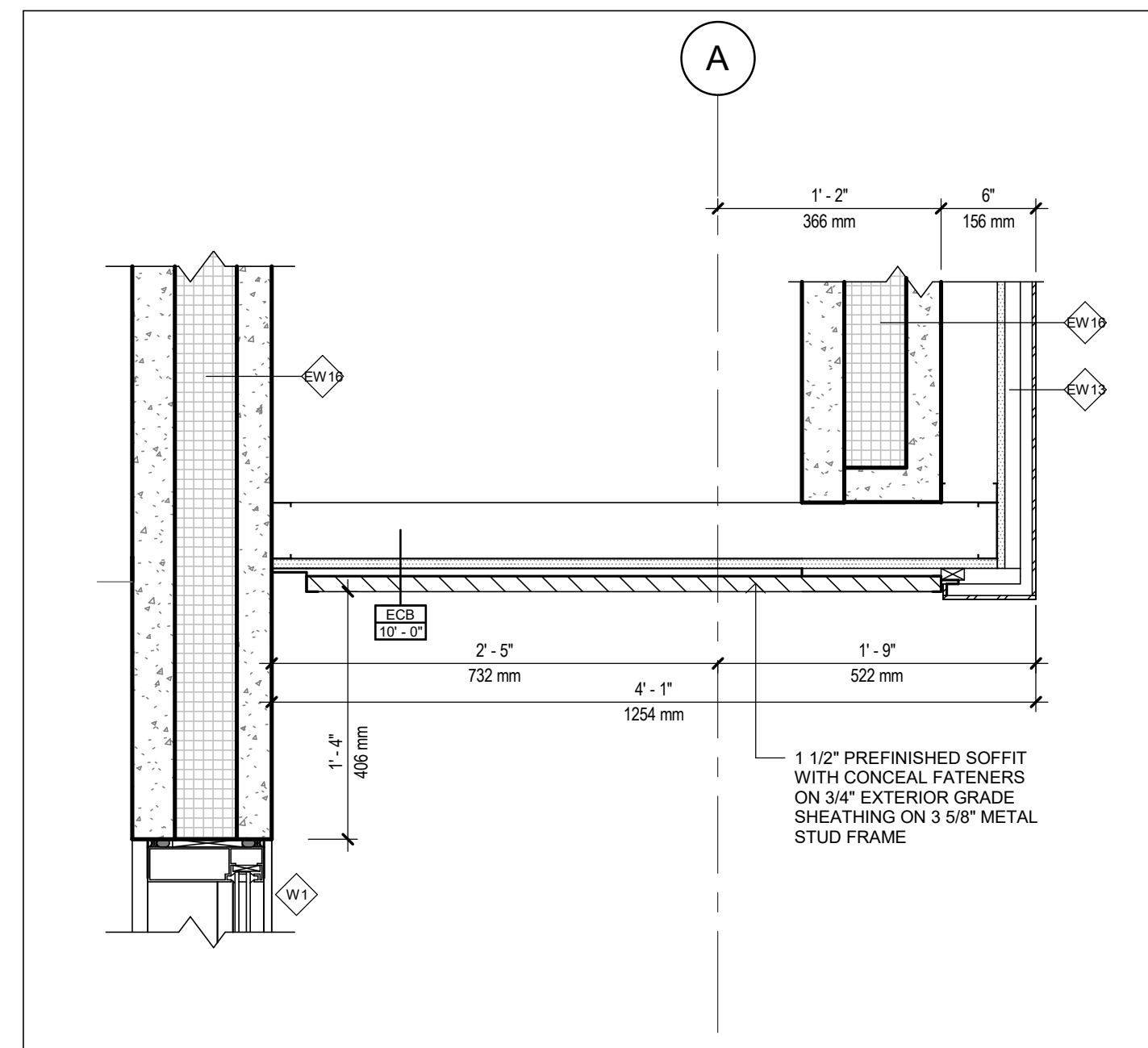
10 HIGH PARAPET @ FEATURE WALL

A525 1:10



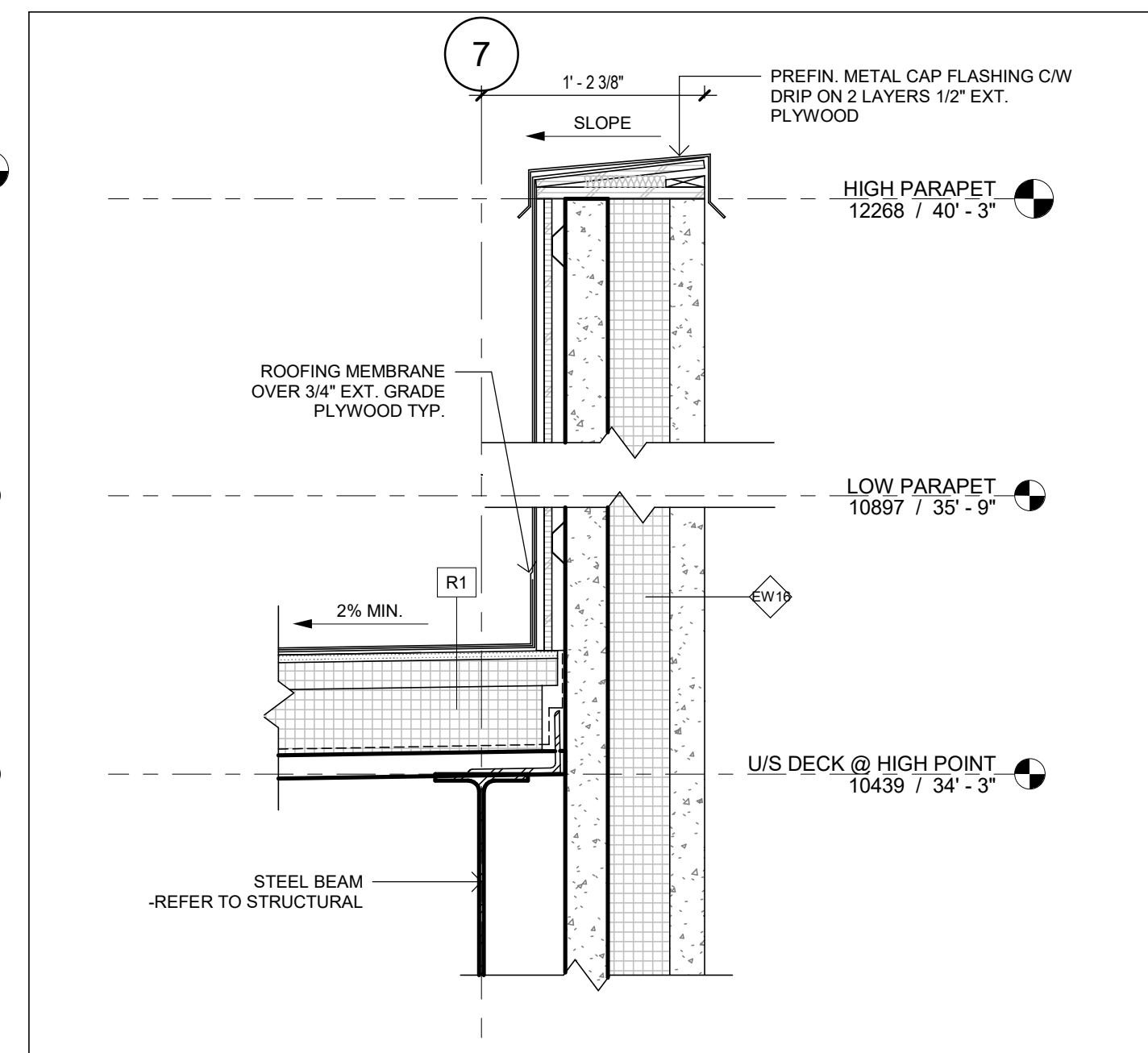
3 FLOOR SLAB @ PRECAST WALL

A525 1:10



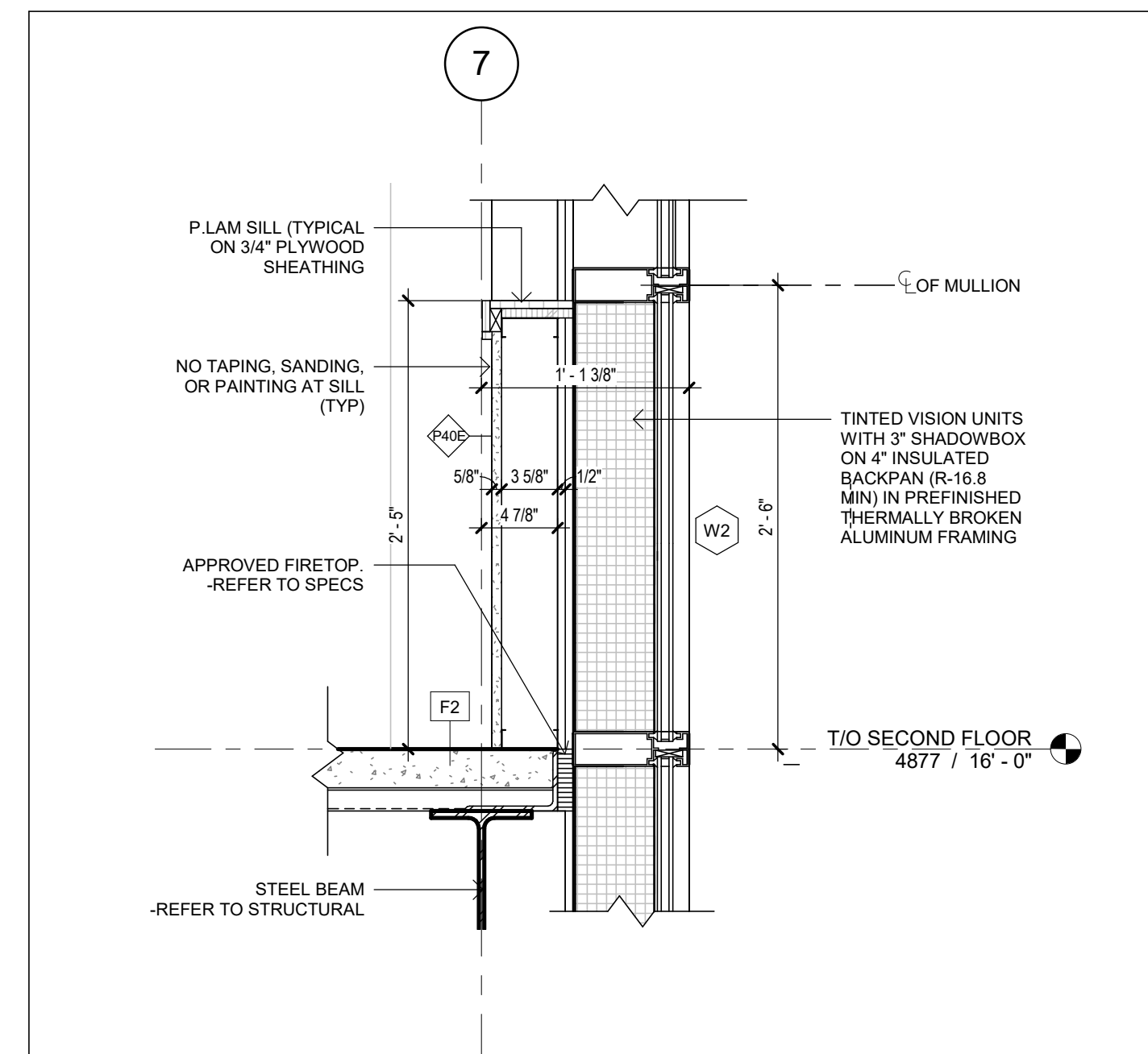
1 PRECAST WALL @ FOUNDATION

A525 1:10



2 PRECAST WALL PARAPET

A525 1:10



4 STOREFRONT SILL

A525 1:10

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CLIENT:

STARRIGHT IMPORT & EXPORT
368 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
AJAX, ON L1Z 0M4

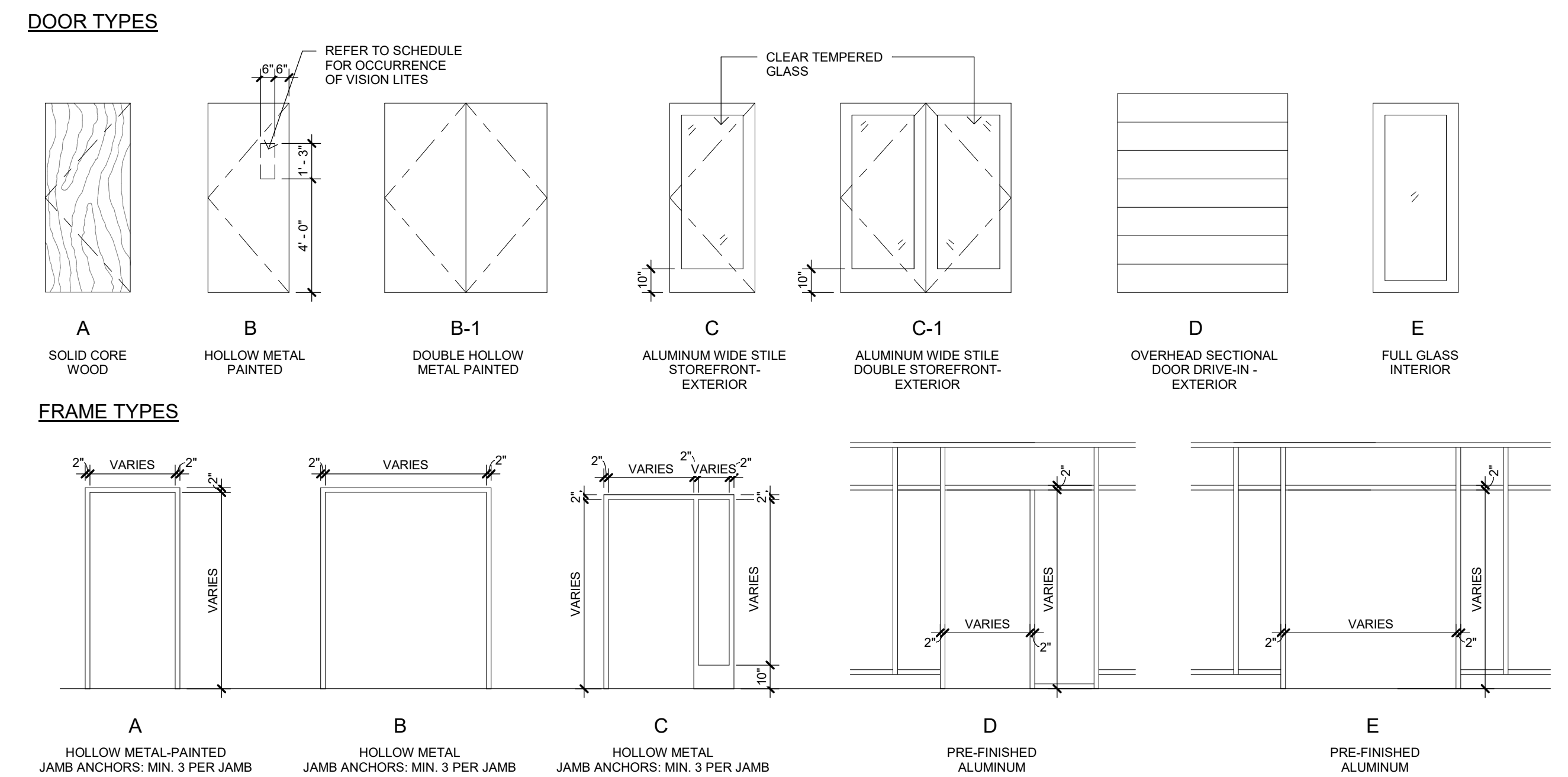
SECTION DETAILS

BY	CHECK	ISSUED FOR
AGR	NZ	CLIENT REVIEW
PROJECT NO.:	A22-018	
SCALE:	1:10	
ISSUE DATE:	24-07-10	

A525 1 SHEET ISSUE NO.

HARDWARE SCHEDULE

SET #1 VESTIBULE DOOR	SET #1B INTERIOR VESTIBULE DOOR	SET #2 WAREHOUSE TO OFFICE	SET #3 INTERIOR STAIR DOOR	SET #3B EXTERIOR EGRESS DOOR	SET #4 STORAGE / ELECT / JAN.	SET #5 EXTERIOR ELECTRICAL / MECHANICAL
6 HINGES 1 LOCKSET 2 CLOSER 1 POWER OPERATOR 2 FLUSH BOLTS 2 PUSH BAR (HORIZONTAL) 2 PULL BAR (VERTICAL) 1 THRESHOLD 2 DOOR SWEEP 1 WEATHER STRIPPING	6 HINGES 2 CLOSER 1 POWER OPERATOR 2 FLUSH BOLTS 2 PUSH BAR (HORIZONTAL) 2 PULL BAR (VERTICAL) 1 THRESHOLD 2 DOOR SWEEP	3 HINGES 1 LOCKSET 1 CLOSER 1 SMOKE SEAL 1 THRESHOLD 1 DOOR SWEEP 2 KICKPLATE	3 HINGES 1 FIRE RATING LABEL 1 CLOSER 1 KICKPLATE 1 FLOOR STOP 1 SMOKE SEAL 1 EXIT DEVICE	3 HINGES 1 CLOSER 1 EXIT DEVICE 1 THRESHOLD 1 WEATHER STRIPPING 1 RAIN DRIP CAP	1 LOCKSET 1 CLOSER 1 FLOOR STOP 1 SMOKE SEAL	3 HINGES 1 FLUSH BOLTS 1 LOCKSET 1 CLOSER 1 WEATHER STRIPPING
SET #6 EXTERIOR GARBAGE ROOM / WAREHOUSE EXTERIOR	SET #7 OFFICE / WASHROOM	SET #7B BOARD ROOM / OFFICE	SET #8 UNIVERSAL WASHROOM			
6 HINGES 2 FLUSH BOLTS 1 DUST PROOF STRIKE 1 LATCHGUARD 1 LOCKSET 1 CLOSER 1 ASTRAGAL SET 1 THRESHOLD 2 DOOR SWEEP 1 WEATHER STRIPPING	3 HINGES 1 PRIVACY SET 1 CLOSER 1 FLOOR STOP 3 SILENCERS	3 HINGES 1 PRIVACY SET 1 CLOSER 1 FLOOR STOP 1 DOOR SEAL 3 SILENCERS	3 HINGES 1 CLOSER 1 KICKPLATE 1 WALL STOP 1 LEVER TYPE HANDLE 1 UNIVERSAL WASHROOM HARDWARE PACKAGE INCL. POWER DOOR OPERATOR, PUSH TO LOCK & PUSH BUTTON ACCESS.			



DOOR SCHEDULE													
MARK	DOOR LOCATION	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	FRAME			FIRE RATING	HARDWARE SET	COMMENTS
								FRAME TYPE	FRAME MATERIAL	FRAME FINISH			
GROUND FLOOR													
100A	MAIN VEST	C-1	6'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	B	ALUMINUM	PREFINISHED		1	
100B	MAIN VEST	C-1	6'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	B	ALUMINUM	PREFINISHED		1B	
101A	WAREHOUSE/OFFICE DW	B	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		2	
101B	WAREHOUSE	B	3'-2"	7'-0"	0'-1 3/4"	GALV. HM	PAINTED	A	HM	PAINTED		3B	
101C	WAREHOUSE	B	3'-2"	7'-0"	0'-1 3/4"	GALV. HM	PAINTED	A	HM	PAINTED		3B	
101D	WAREHOUSE	B-1	6'-0"	7'-0"	0'-1 3/4"	GALV. HM	PAINTED	A	HM	PAINTED		6	
101E	WAREHOUSE/OFFICE DW	B	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		2	
102	CEO OFFICE	C	3'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	C	ALUMINUM	CLEAR ANODIZED		7	
102A	JAN	B	3'-2"	7'-0"	0'-1 3/4"	SWCHM	PAINTED	A	HM	PAINTED		4	
103	MECH.	B	3'-2"	7'-0"	0'-1 3/4"	GALV. HM	PAINTED	A	HM	PAINTED		5	
104	ELECT.	B	3'-2"	7'-0"	0'-1 3/4"	GALV. HM	PAINTED	A	HM	PAINTED		5	
105	GARBAGE	B-1	6'-0"	7'-0"	0'-1 3/4"	GALV. HM	PAINTED	B	HM	PAINTED		6	
106	UNIV. WR	A	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		8	
107	UNISEX WR	A	3'-0"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		7	
108A	SECURITY OFFICE	B	3'-0"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		2	
108B	SECURITY OFFICE	B	3'-0"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		2	
109	STORAGE	A	3'-0"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		2	
112	UNISEX WR 112	A	3'-2"	7'-0"	0'-1 3/4"	SCW/HM	PAINTED	A	HM	PAINTED		7	
113	UNISEX WR 113	A	3'-2"	7'-0"	0'-1 3/4"	SCW/HM	PAINTED	A	HM	PAINTED		7	
114	OFFICE EXT.	C	3'-2"	4'-3"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	D	ALUMINUM	PREFINISHED		3B	
115	DIRECTOR 115	C	3'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	C	ALUMINUM	CLEAR ANODIZED		7	
116	DIRECTOR 116	C	3'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	C	ALUMINUM	CLEAR ANODIZED		7	
117	BOARD ROOM	C	3'-1 1/2"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	C	ALUMINUM	CLEAR ANODIZED		7B	
212	CORRIDOR 118	C	3'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	C	ALUMINUM	CLEAR ANODIZED		7B	
OH1	WAREHOUSE	D	8'-0"	10'-0"	0'-1 187/256"								
OH2	WAREHOUSE	D	8'-0"	10'-0"	0'-1 187/256"								
OH3	WAREHOUSE	D	8'-0"	10'-0"	0'-1 187/256"								
SECOND FLOOR													
201	OFFICE 201	C	3'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	C	ALUMINUM	CLEAR ANODIZED		7	
202	OFFICE 202	C	3'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	C	ALUMINUM	CLEAR ANODIZED		7	
203	OFFICE 203	C	3'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	C	ALUMINUM	CLEAR ANODIZED		7	
204	STORAGE	A	3'-0"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		4	
206	ELECTRICAL	B	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		4	
207	WASHROOM	A	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED		7	
208	SHOWROOM/ SAMPLE ROOM	C	6'-0"	7'-0"	0'-1 3/4"	ALUM./GLASS	CLEAR ANODIZED	B	ALUMINUM	CLEAR ANODIZED		7B	
STAIRS													
STA1	STAIR A	B	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED	45 MIN.	3	
STA2	STAIR A	B	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED	45 MIN.	3	
STAX	STAIR A	B	3'-2"	7'-0"	0'-1 3/4"	GALV. HM	PAINTED	A	HM	PAINTED		3B	
STB1	STAIR B	B	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED	45 MIN.	3	
STB2	STAIR B	B	3'-2"	7'-0"	0'-1 3/4"	HM	PAINTED	A	HM	PAINTED	45 MIN.	3	
STBX	STAIR B	B	3'-2"	7'-0"	0'-1 3/4"	GALV. HM	PAINTED	A	HM	PAINTED		3B	

- DOOR SCHEDULE NOTES**
- REFER TO FLOOR PLANS FOR DOOR SWING AND "ACTIVE" DOOR LOCATIONS. ACTIVE LEAF TO COMPLY WITH OBC 3.8.3.3.
 - REFER TO ELEVATIONS AND MATERIAL SCHEDULES FOR EXTERIOR COLOURS AND FINISHES.
 - EXTERIOR DOORS AND FRAMES MUST BE THERMALLY BROKEN AND INSULATED.
 - DOOR, FRAME, AND HARDWARE SCHEDULES MUST BE SUBMITTED FOR REVIEW PRIOR TO ORDERING OR FABRICATION.
 - ALL WELDED CONSTRUCTION AT HOLLOW METAL DOOR FRAMES.
 - PROVIDE REMOTE CARD READERS AT ALL EXTERIOR ENTRANCE DOORS.
 - PROVIDE DOOR VIEWER (OUTSIDE LOOKING INTO THE ROOM), MOUNTED AT 4'-11" (3'-11" FOR ACC.) ABOVE FINISH FLOOR AT MEETING ROOMS.
 - ALL FIRE RATED DOOR TO HAVE CLOSERS AND LATCHING HARDWARE.
 - PANIC EXIT HARDWARE REQUIRED.
 - PER OBC 3.8.3.3(15), APPLY MIN 50MM WIDE VISION STRIP AT 1350MM TO 1500MM HORIZONTALLY ABOVE FINISHED FLOOR LEVEL IN COLOUR AND BRIGHTNESS CONTRASTED TO THE BACKGROUND OF THE DOOR FOR ALL GLAZED DOORS IN BARRIER FREE PATH OF TRAVEL.

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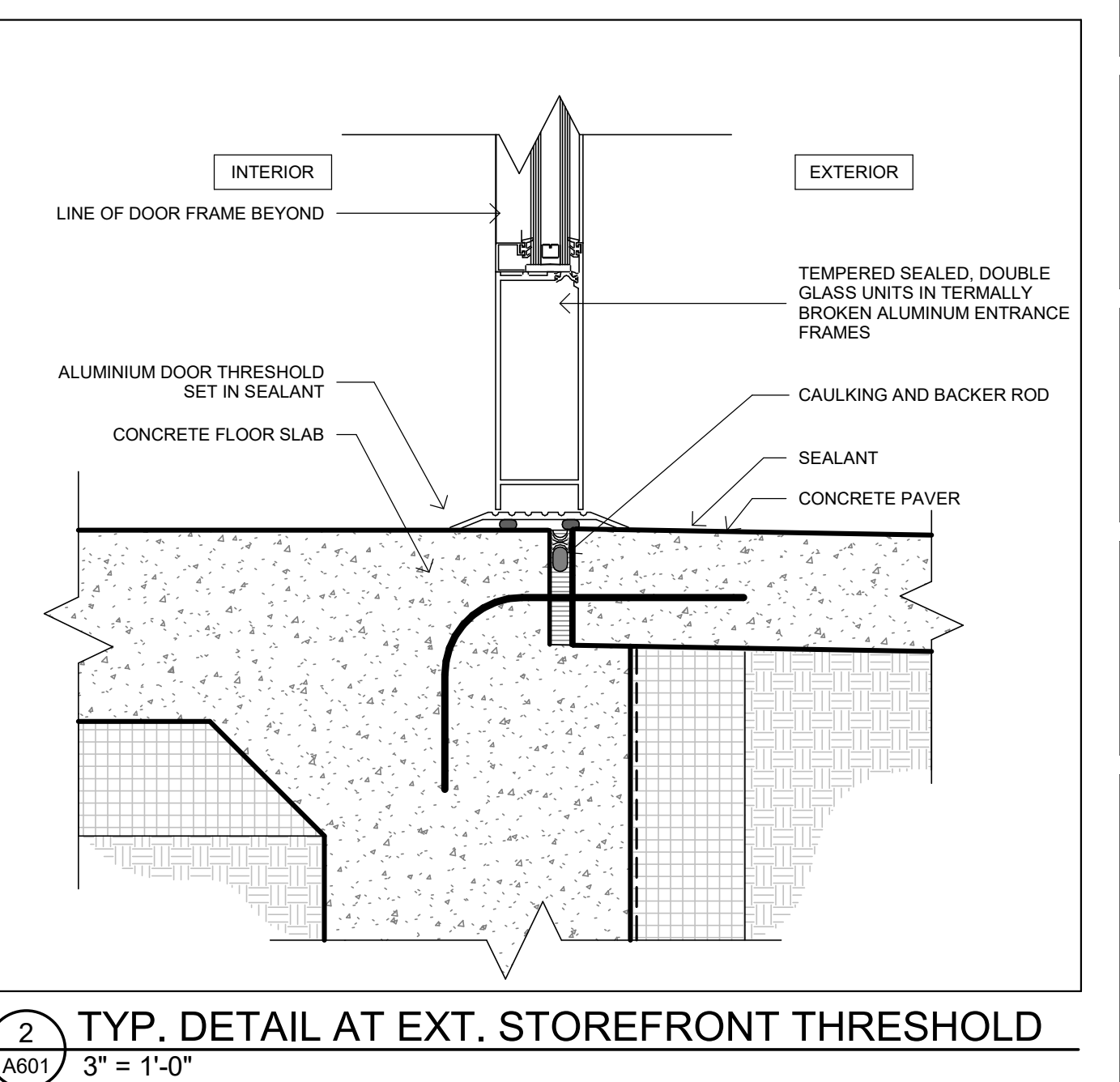
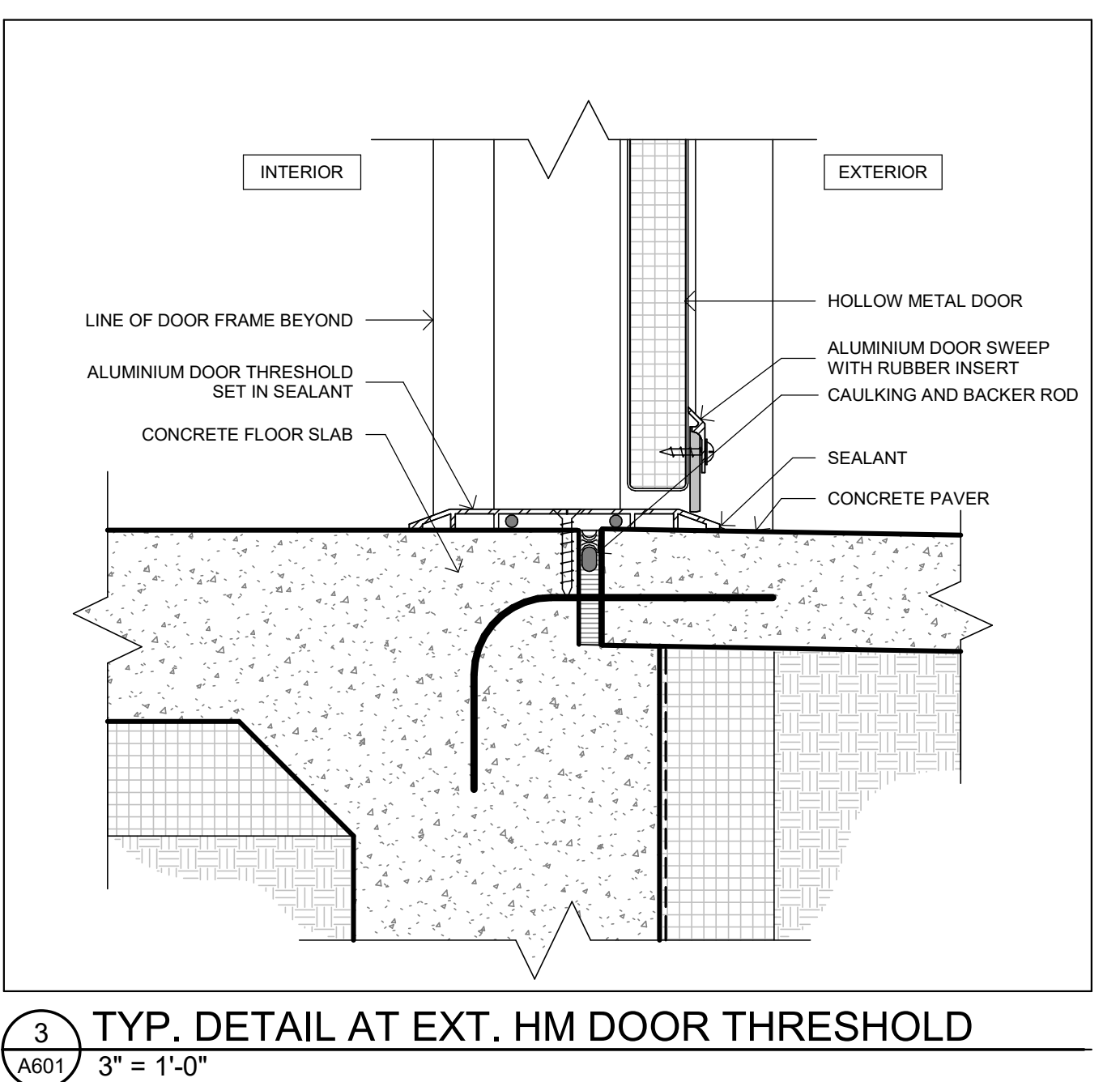
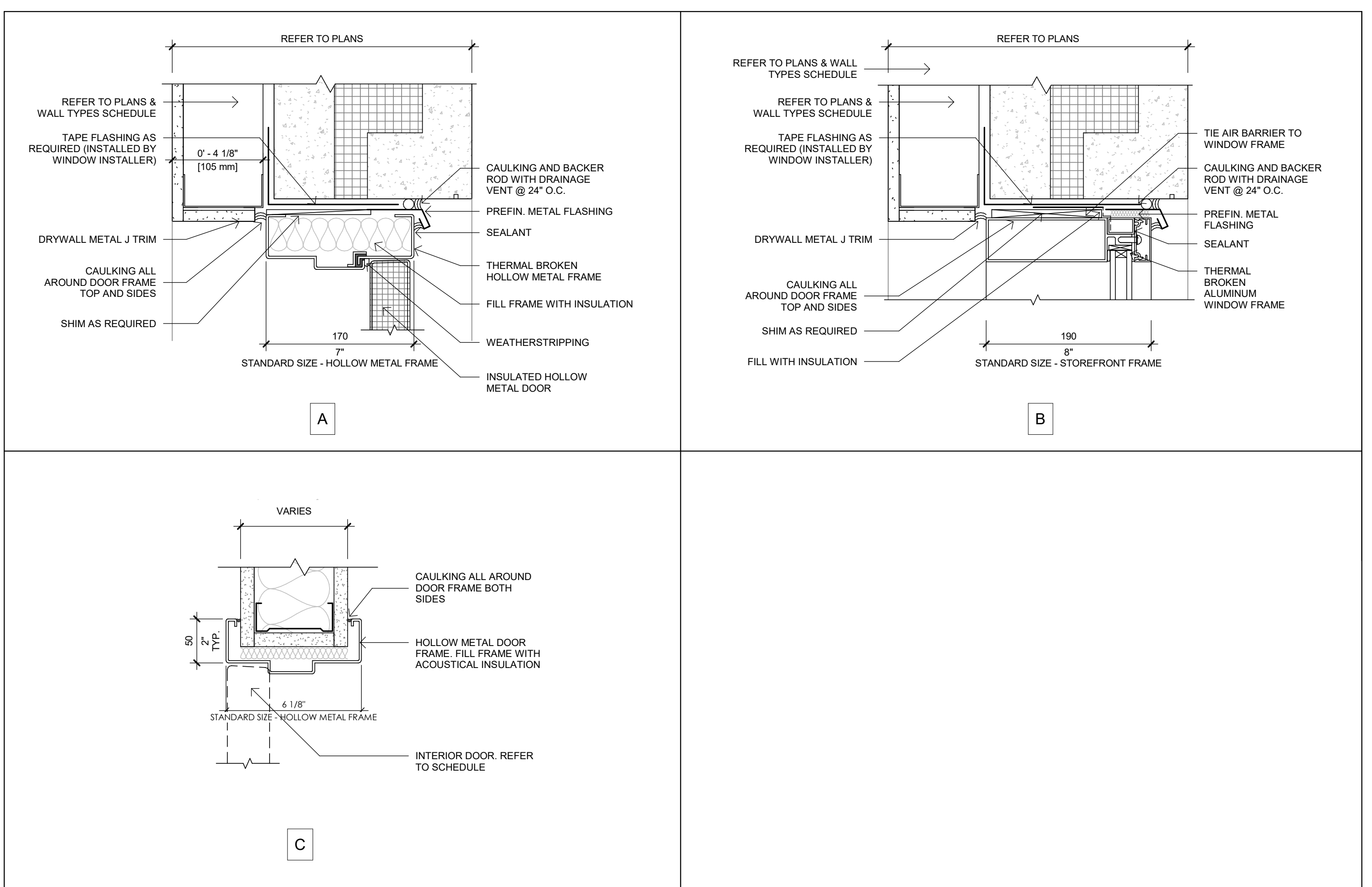
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CLIENT:
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358 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5



1 A601 3" = 1'-0"

DOOR STANDARD DETAILS ARE PROPOSED FOR GENERAL INTENT ONLY. DETAILING MAY VARY BASED ON MANUF. / TRADES SPECS & STANDARDS. PROVIDE SHOP DRAWINGS WITH SUFFICIENT DETAILING & DOCUMENTATION.

COORDINATE WITH OBC MATRIX, SB-10 TABLE, DOOR SCHEDULE AND OTHER DRAWINGS FOR CONFORMITY.

PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

**45 BLOWERS CRES
AJAX, ON L1Z 0N4**

DRAWING TITLE
DOOR SCHEDULE & TYP DETAILS

BY AGR **CHECK** NZ **ISSUED FOR** CLIENT REVIEW

PROJECT NO. A22-018 **SHEET NO.**

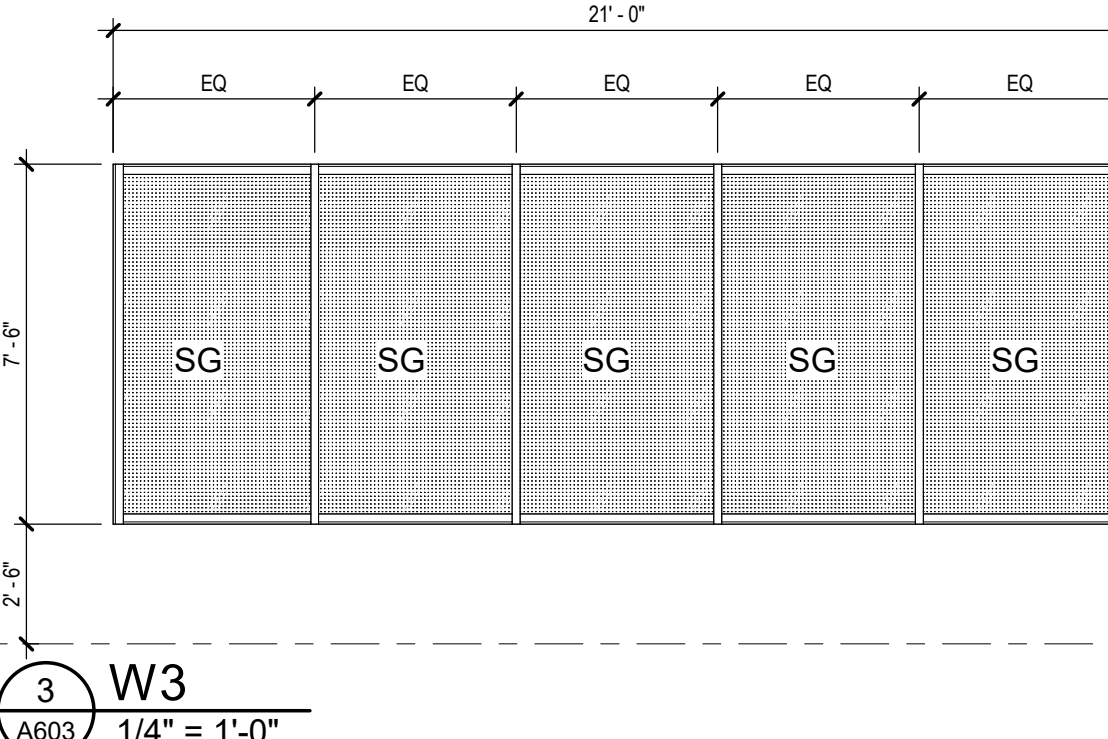
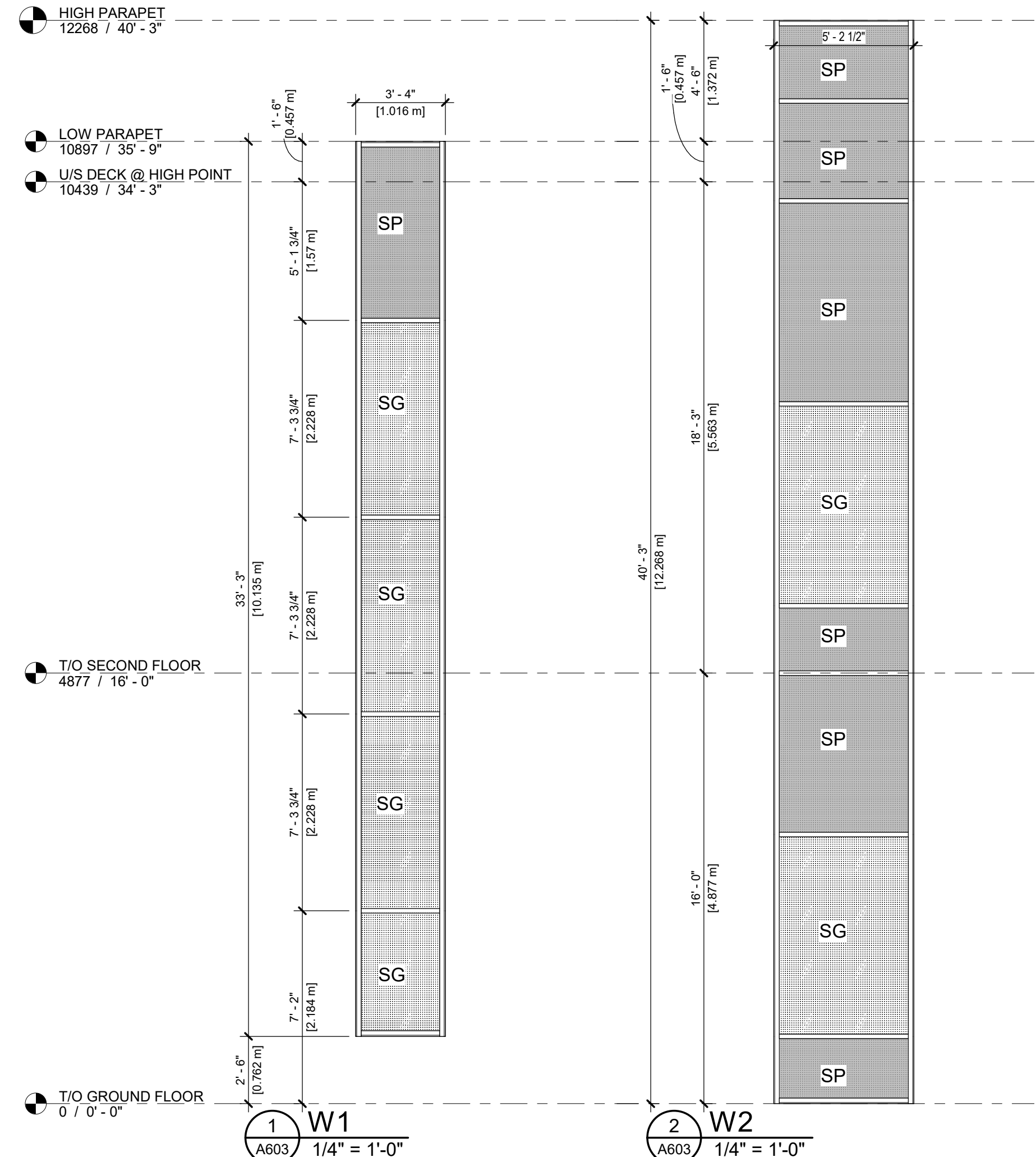
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ISSUE DATE: 24-07-10

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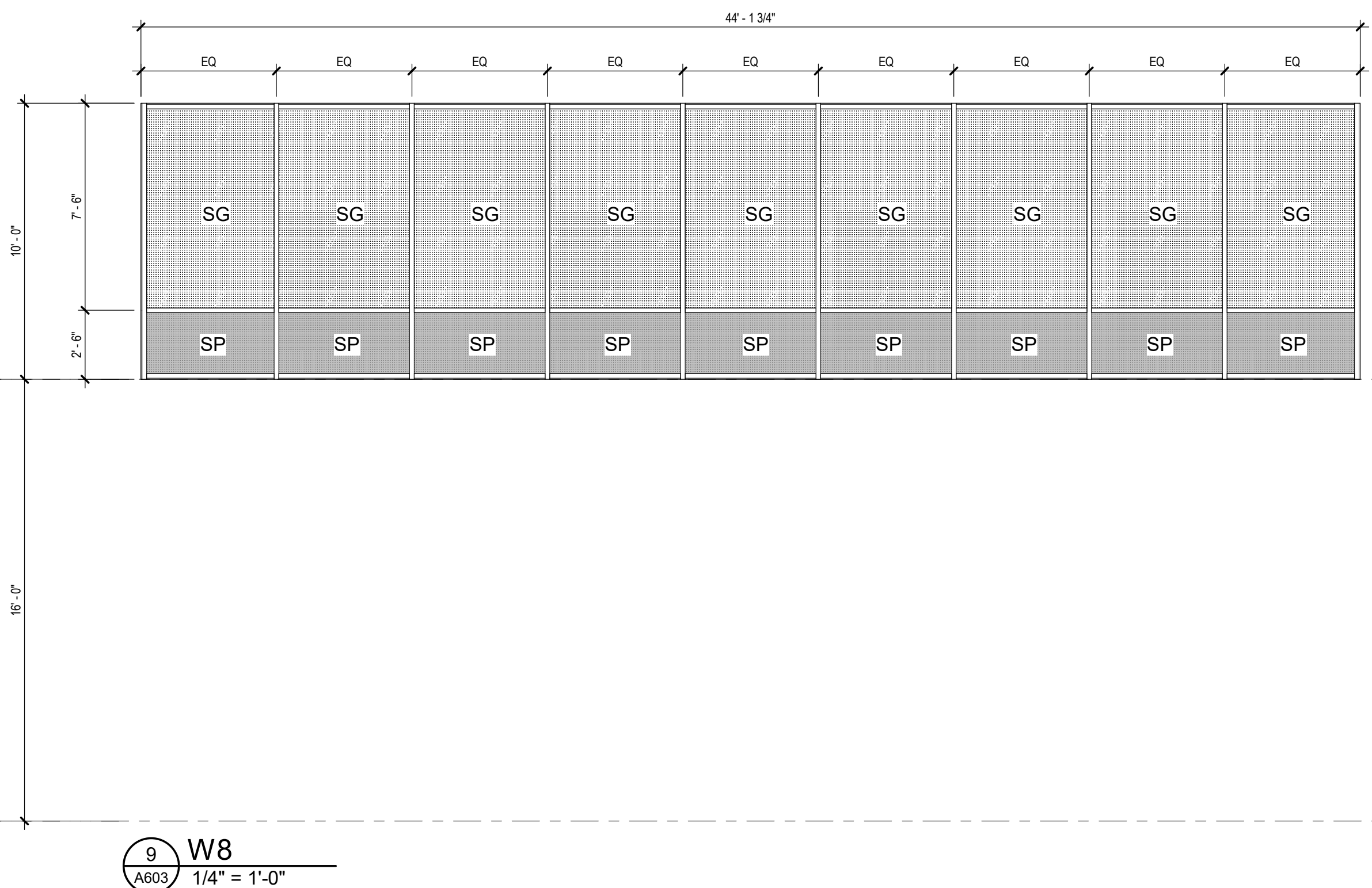
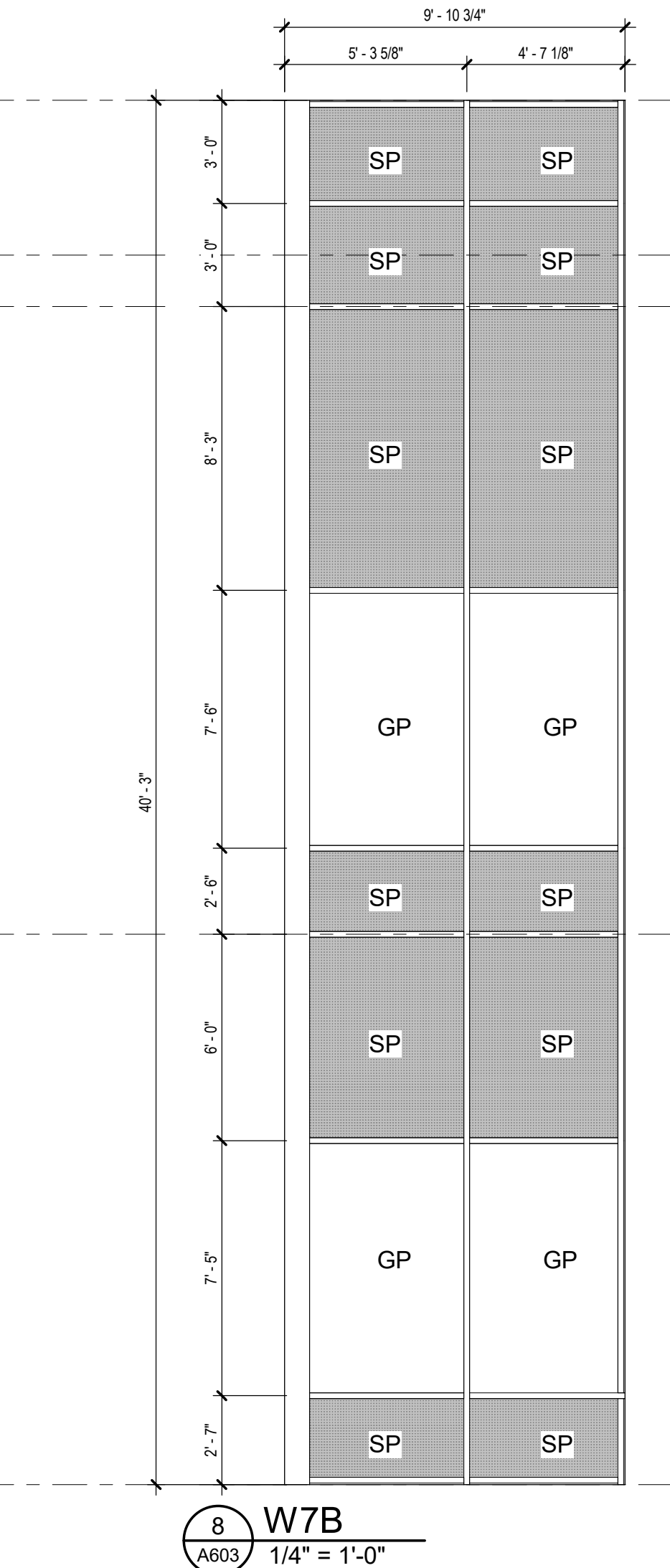
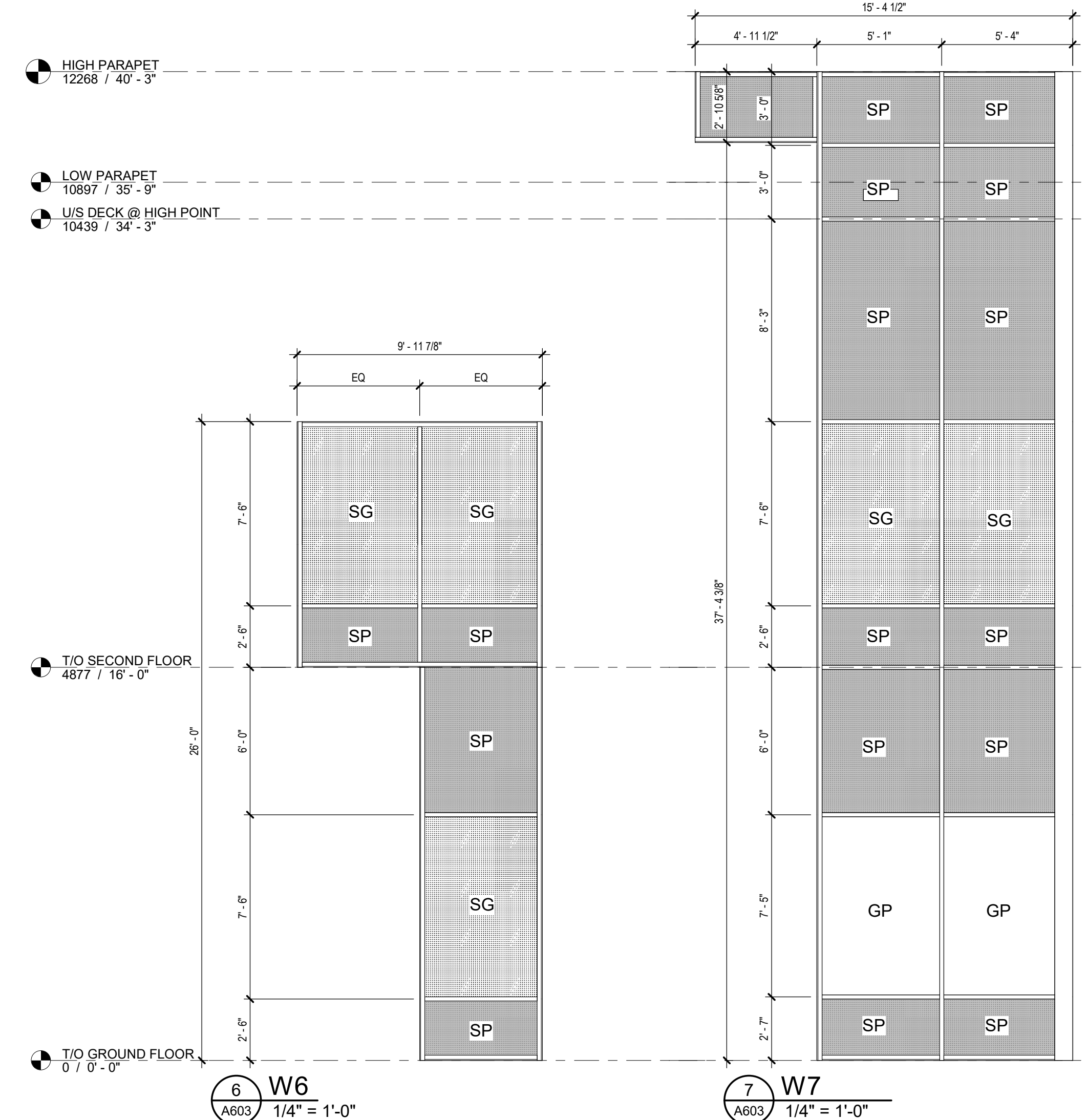
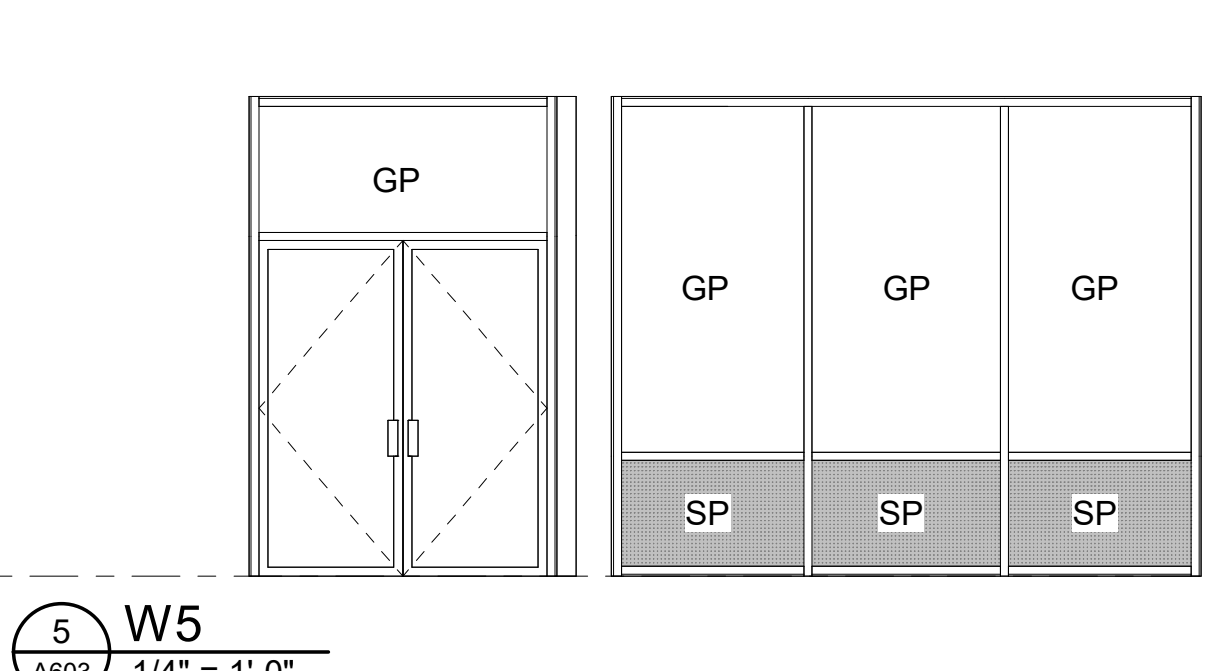
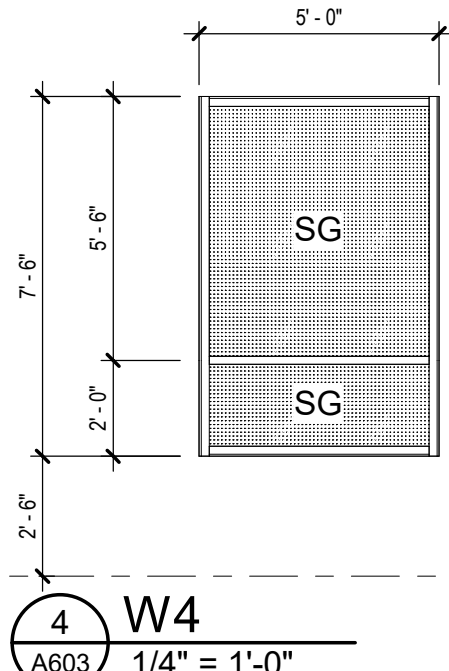
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- WINDOW NOTES:**
- FIELD CONFIRM ALL ROUGH OPENING DIMENSIONS FOR ALL SCREENS (TYP.) PRIOR TO FABRICATION. WINDOW SUPPLIER, FRAMER, CONTRACTOR TO COORDINATE.
 - DIMENSIONS SHOWN ARE PROPOSED FINISHED OPENINGS
 - ALUMINUM SCREENS TO PROVIDE A 3/4" TOLERANCE (TYP.)
 - ALL VISION GLAZING TO HAVE LOW-E COATING ON NO.2 SURFACE
 - GUESTROOM WINDOWS ARE TO BE DOUBLE GLAZED CLEAR GLASS.
 - FRAME TYPE - & FINISH CLEAR ANODIZED GREY ALUMINUM FRAME, THERMALLY BROKEN.
 - VISION STRIP TO BE 50mm continuous COLOUR CONTRASTED opaque strip OF APPLIED FILM, APPLIED ON THE INTERIOR SIDE OF GLAZING UNIT & MOUNTED @ 1350 AFF PER OBC 3.8.3.3.(15)
 - PROVIDE TEMPERED GLASS AS REQUIRED TO MEET APPLICABLE CODE REQUIREMENTS.
 - REFER TO LOCAL OR MUNICIPAL REQUIREMENTS FOR BIRD FRIENDLY GLAZING REQUIREMENTS.
 - WINDOWS WITH SILL LOWER THAN 1070mm TO BE DESIGNED TO RESIST LOADS AND COMPLY WITH OBC 3.3.1.17 AND 4.1.5.14. GC TO PROVIDE ENGINEER STAMPED DRAWINGS FOR ARCHITECTS REVIEW.

LEGEND:

BP	BACK PAN (SEE DETAILS)
DG	DOUBLE GLAZED INSULATED UNIT
GP	GLAZING PANEL
HSLG	HEAT STRENGTHENED LAMINATED GLASS
IP	INSULATED PANEL
PML	PREFINISHED METAL LOUVRE
SG	SINGLE GLASS
SP	SPANDREL PANEL
TDG	TEMPERED DOUBLE GLAZED INSULATED UNIT
TG	TEMPERED GLASS
TLG	TEMPERED LAMINATED GLASS
VS	VISION STRIP
WG	WIRED GLASS



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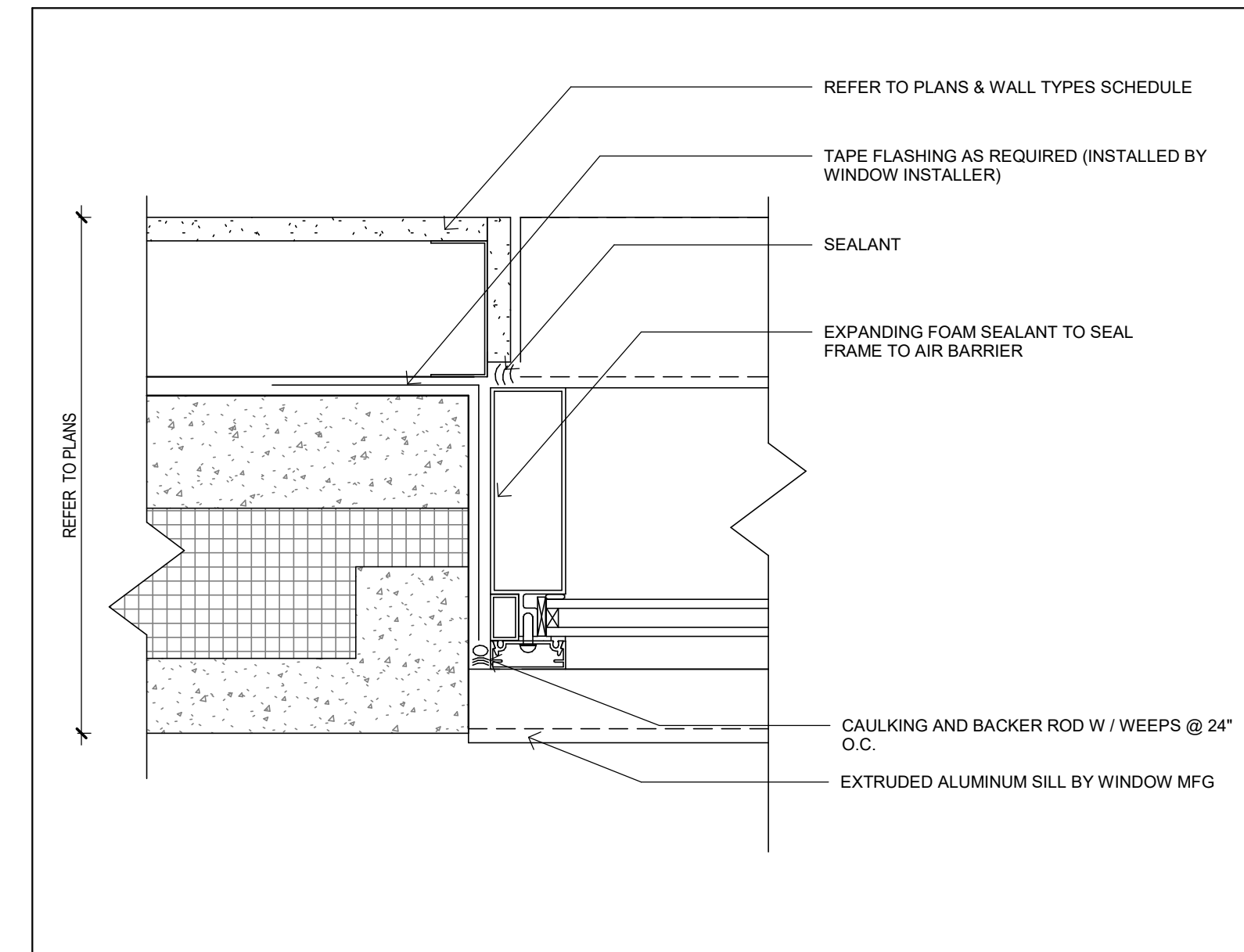
PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

45 BLOWERS CRES
 AJAX, ON L1Z 0M4

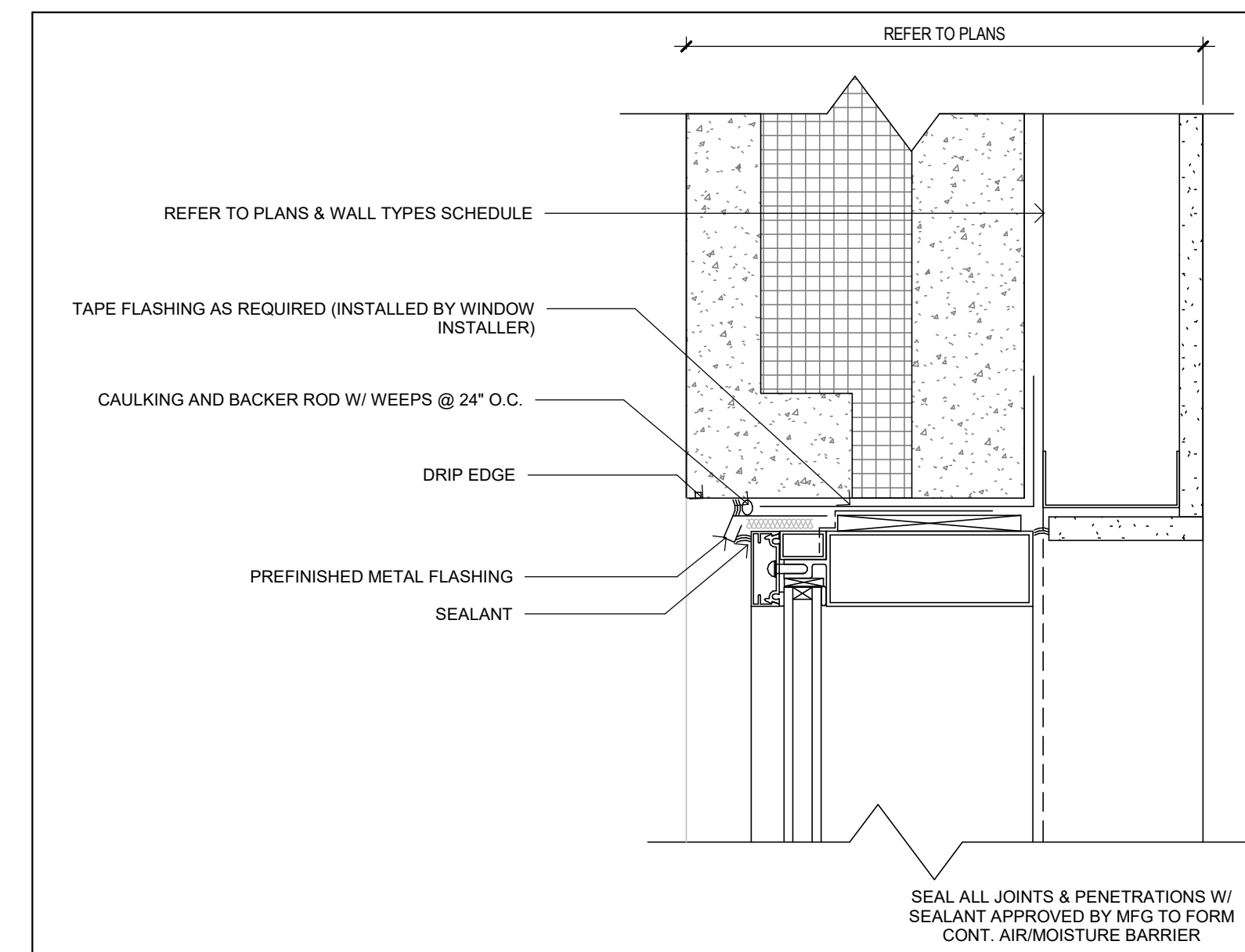
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EXTERIOR WINDOW SCHEDULE

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PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:		
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ISSUE DATE:		
24-07-10		

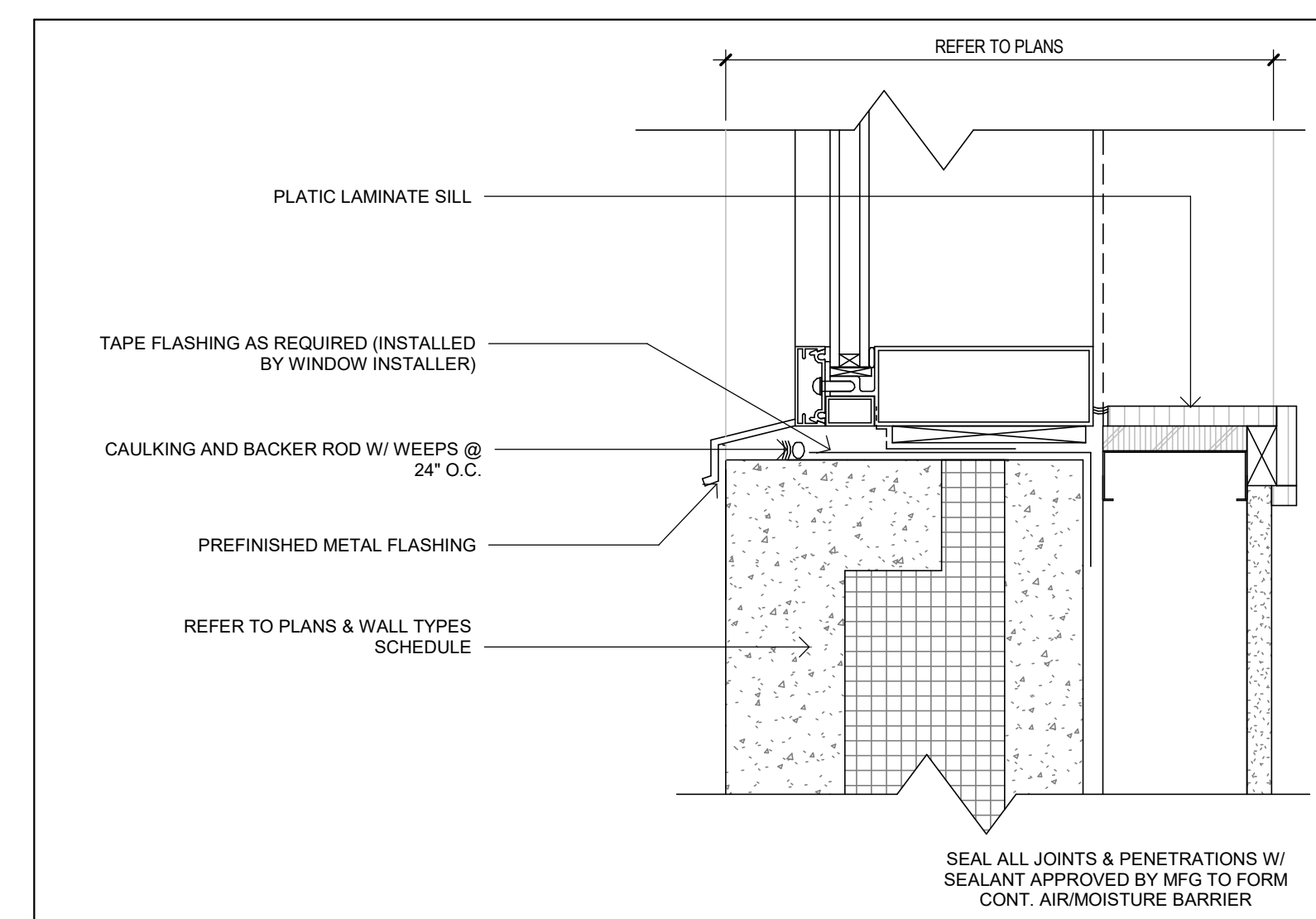
A603 1
 SHEET
 ISSUE NO.



3 DETAIL AT WINDOW JAMB
A606 3" = 1'-0"



2 DETAIL AT WINDOW HEAD
A606 3" = 1'-0"



1 DETAIL AT WINDOW SILL
A606 3" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

No.	By	Description	Date YY-MM-DD
1	NZ	CLIENT REVIEW	24-07-10

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SCARBOROUGH, ON M1X 1G5

PROJECT N. 118E N.

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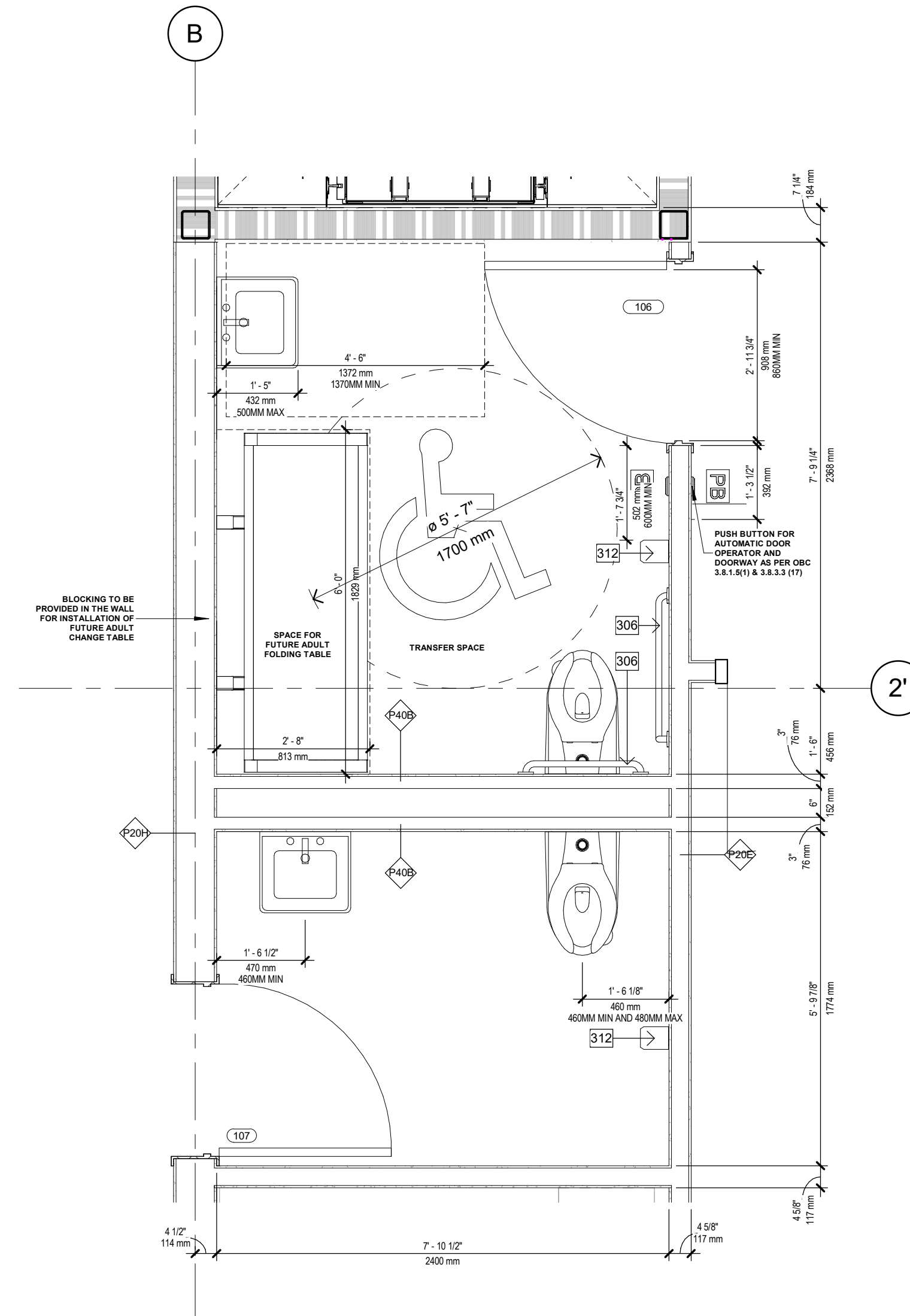
PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

**45 BLOWERS CRES
AJAX, ON L1Z 0N4**

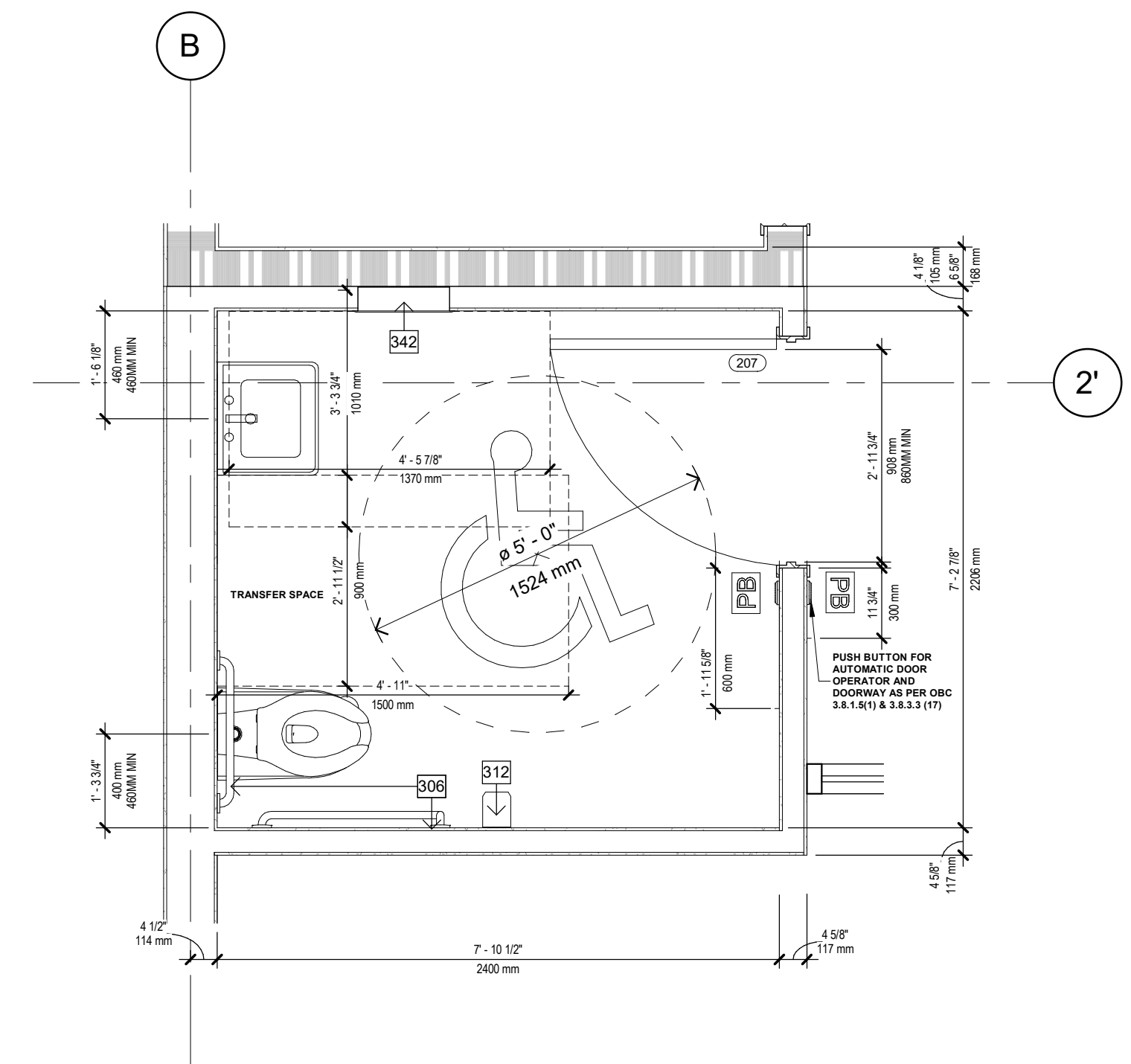
DRAWING TITLE
TYP. WINDOW DETAILS

BY AGR	CHECK NZ	ISSUED FOR CLIENT REVIEW
PROJECT NO. A22-018	SHEET NO.	
SCALE 3" = 1'-0"	A606 1 SHEET ISSUE No.	
ISSUE DATE 24-07-10		

PLOT DATE: 2024-07-10 2:52:21 PM



2 UNIVERSAL WASHROOM & UNISEX WASHROOM
 A701 1/2" = 1'-0"



1 BARRIER FREE WASHROOM
 A701 1/2" = 1'-0"

WASHROOM LEGEND	
306	GRAB BARS
312	TOILET PAPER DISPENSER
342	DISPENSER

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 SCARBOROUGH, ON M1X 1G5



PROFESSIONAL CERTIFICATION

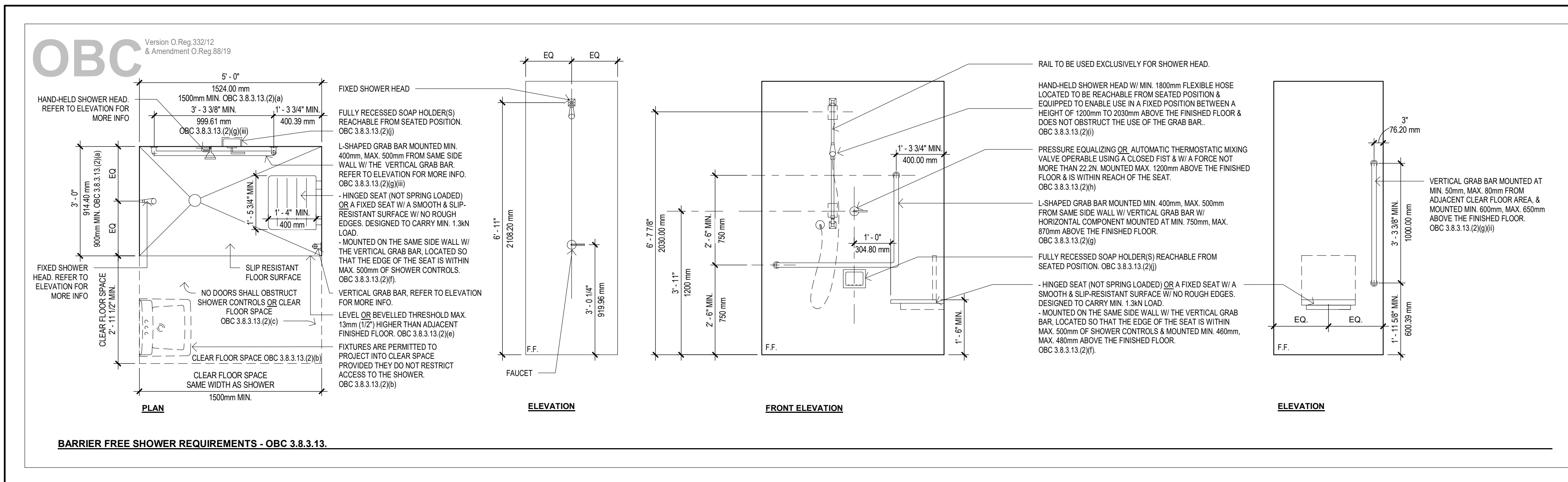
PROJECT
WAREHOUSE & OFFICE HEADQUARTERS

**45 BLOWERS CRES
 AJAX, ON L1Z 0N4**

DRAWING TITLE
WASHROOM PLANS

BY	CHECK	ISSUED FOR
AGR	NZ	
PROJECT NO.:	SHEET NO.:	
A22-018		
SCALE:	1/2" = 1'-0"	
ISSUE DATE:		

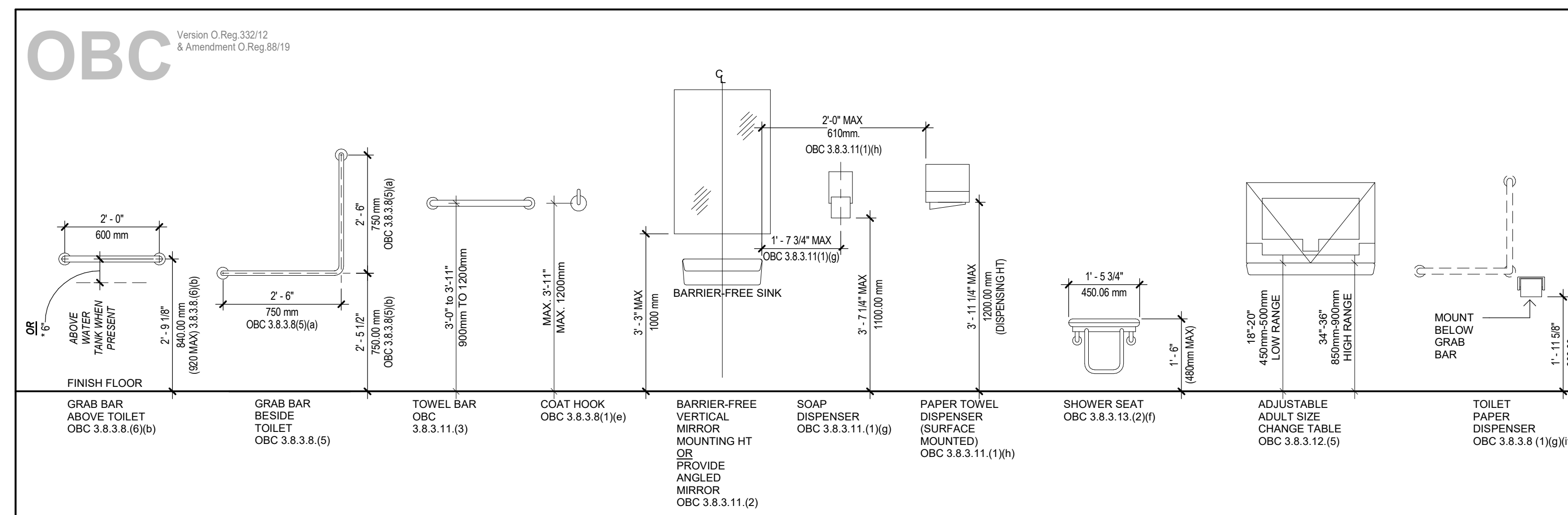
A701 SHEET
 ISSUE No.



3 OBC BARRIER FREE BATHTUB & SHOWER REQUIREMENTS

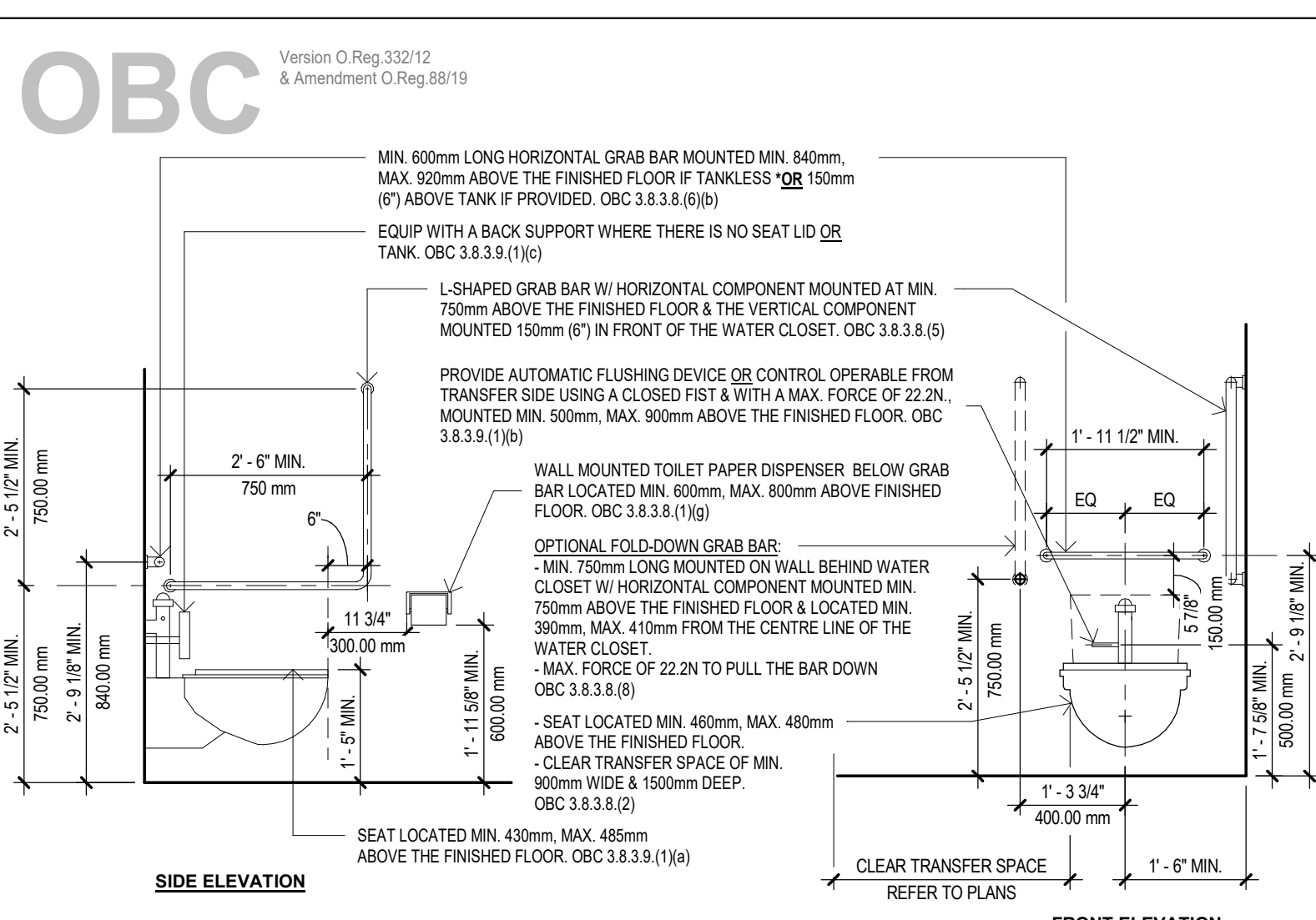
1/2" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

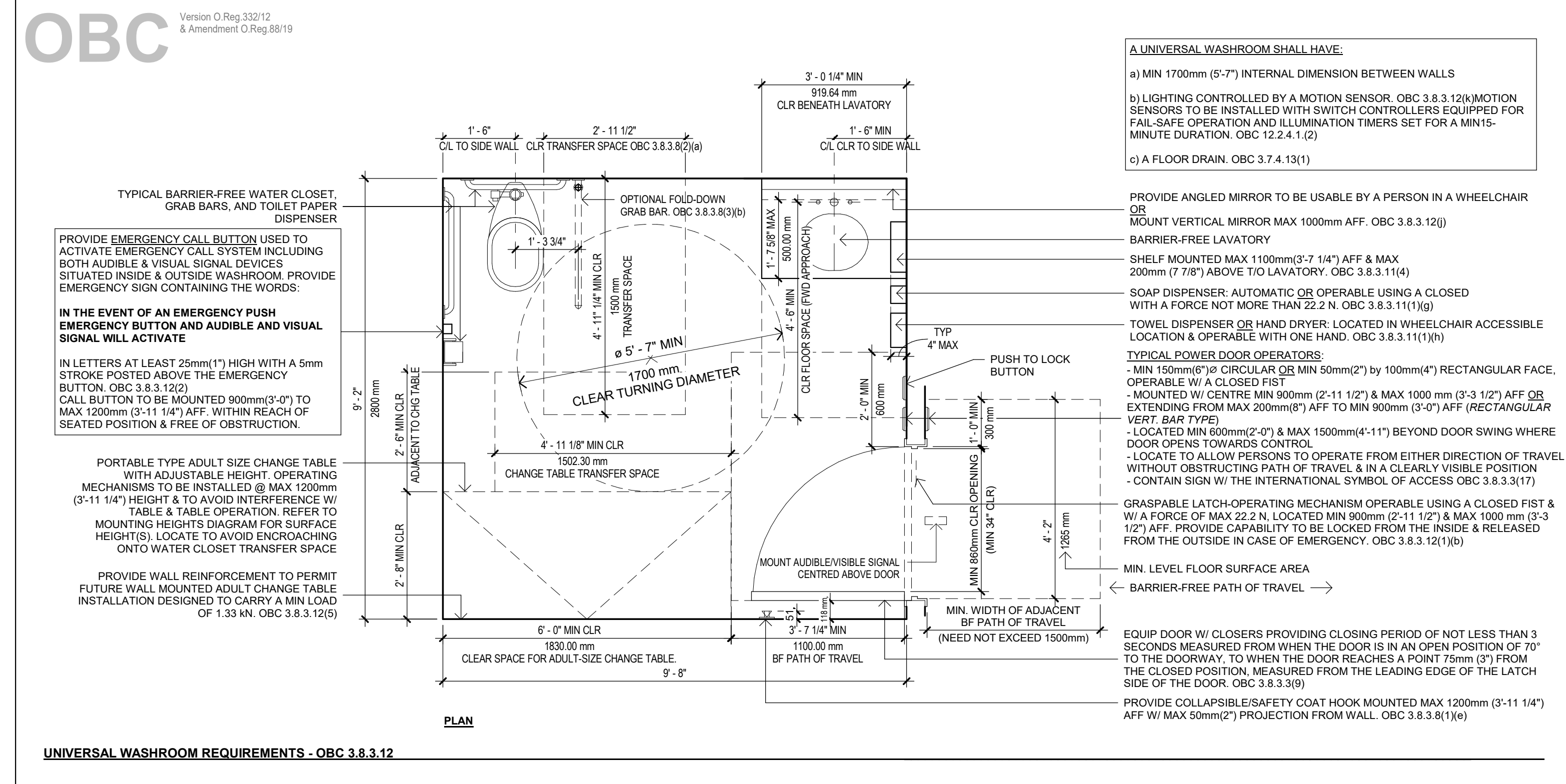


2 OBC TYP. BARRIER FREE MOUNTING HEIGHTS

1/2" = 1'-0"



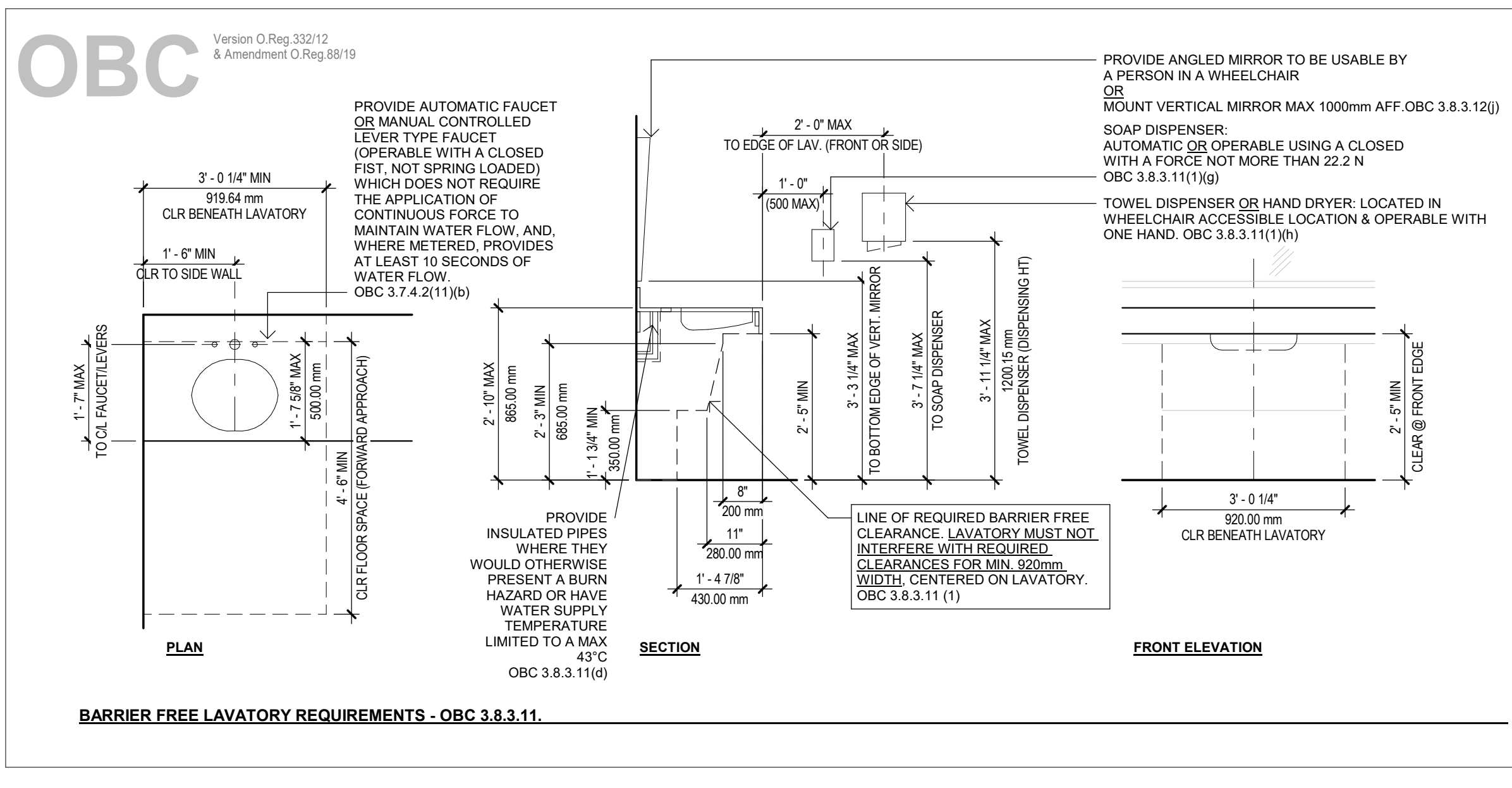
BARrier Free Water Closet Requirements - OBC 3.8.3.8/3.8.3.9



UNIVERSAL WASHROOM REQUIREMENTS - OBC 3.8.3.12

1 OBC UNIVERSAL WASHROOM REQUIREMENTS

1/2" = 1'-0"



BARrier Free Lavatory Requirements - OBC 3.8.3.11

4 OBC BARRIER FREE WATER CLOSET, URINAL & LAVATORY REQUIREMENTS

1/2" = 1'-0"

No.	By	Description	Date YY-MM-DD
ISSUANCE SCHEDULE			

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS MARKED "ISSUED FOR CONSTRUCTION". VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES.

DEVELOPMENT CONSULTANT:
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CLIENT:
STARNIGHT IMPORT & EXPORT
368 IRONSIDE CRESCENT
SCARBOROUGH, ON M1X 1G5

WAREHOUSE & OFFICE HEADQUARTERS	
45 BLOWERS CREES AJAX, ON L1Z 0M4	
OBC UNIVERSAL WR AND BF REQUIREMENTS	
BY AGR/INZ	CHECK/ISSUED FOR
PROJECT NO. A22-018	SHEET NO.:
SCALE: 1/2" = 1'-0"	ISSUE DATE:

PLOT DATE: 2024-07-10 2:52:22 PM