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ASSOCIATES**

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Addendum No. 1

Page 1 of 3

Project No.: 21046
Date: September 11, 2024
Project: **Courtice Mixed Use Seniors Development at 1697 Highway # 2
RH GAY HOLDINGS COMPANY**

The following information supplements and/or supersedes the bid documents issued on September 10 2024

This Addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the contract sum. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof. Acknowledge receipt of this Addendum by inserting its number and date on the Tender Form. Failure to do so may subject bidder to disqualification.

DRAWINGS

1.1 DRAWING NO. A000 - COVER SHEET

- .1 Sheet List updated with revised sheet name for A902. Refer to Barry Bryan Associates' (BBA) Drawing No. A000 dated September 10, 2024.

1.2 A201- GROUND & 2ND FLOOR PLANS

- .1 Room 113 Door Tags updated. Refer to BBA Drawing No. A201 dated September 10, 2024.

1.3 A211- CEILING PLANS-GROUND AND TYPICAL FLOOR (2-3)

- .1 Suite Bulkheads adjusted. Refer to BBA Drawing No. A211 dated September 10, 2024.

1.4 A212- CEILING PLANS-4TH & 5TH FLOORS

- .1 Suite Bulkheads adjusted. Refer to BBA Drawing No. A212 dated September 10, 2024.

1.5 A221- UNIT PLANS

- .1 Suite Bulkheads adjusted. Refer to BBA Drawing No. A221 dated September 10, 2024.

1.6 A222- UNIT PLANS

- .1 Suite Bulkheads adjusted. Refer to BBA Drawing No. A222 dated September 10, 2024.

1.7 A301- ELEVATIONS

- .1 Louver Revised. Refer to BBA Drawing No. A301 dated September 10, 2024.

1.8 A802- MILWORK DETAILS

- .1 Layout order revised. Refer to BBA Drawing No. A802 dated September 10, 2024.

1.9 A901-DOOR SCHEDULE

- .1 Schedule updated, Suite door types added, Jam details revised. Refer to BBA Drawing No. A901 dated September 10, 2024.

1.10 A902-GLAZING SCHEDULE

- .1 Louver revised, Drawing titles updated. Refer to BBA Drawing No. A902 dated September 10, 2024.

1.11 M13- GROUND FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M13 dated September 9, 2024.

1.12 M14- SECOND FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M14 dated September 9, 2024.

1.13 M15- THIRD FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M15 dated September 9, 2024.

1.14 M16- FOURTH FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M16 dated September 9, 2024.

1.15 M17- FIFTH FLOOR HVAC

- .1 Duct Layout Revision. Refer to Kirkland Engineering Ltd.'s Drawing No. M17 dated September 9, 2024.

GENERAL

- 1.16 As per the attached drawings, items with respect to this addendum include for;
 - Residential Units washroom and kitchen exhaust revisions, with architectural revisions applicable coordinated
 - Residential Units Bulkheads and Reflected Ceiling Plan Revisions
 - Door Schedule Items
 - Amenity Room Architectural Details at Exterior Spandrel and Glazing
 - Millwork Details
 - Additional Details and Notes

End of Addendum No. 1

Barry Bryan Associates

Architects, Engineers, Project Managers



Nicholas B. Swerdfeger, OAA, MRAIC, M.Arch, B.Arch Sci

NS/gs

Attachments:	BBA Drawings No. A000 Cover Sheet	(1 Page)
	BBA Drawings No. A201 Ground & 2 nd Floor Plan	(1 Page)
	BBA Drawings No. A211 Ceiling Plans (2-3)	(1 Page)
	BBA Drawings No. A212 Ceiling Plans 4 th and 5 th Floor	(1 Page)
	BBA Drawings No. A221 Unit Plans	(1 Page)
	BBA Drawings No. A222 Unit Plans	(1 Page)
	BBA Drawings No. A301 Elevations	(1 Page)
	BBA Drawings No. A802 Millwork Details	(1 Page)
	BBA Drawings No. A901 Door Schedule	(1 Page)
	BBA Drawings No. A902 Glazing Schedule	(1 Page)
	Mechanical Addendum #1	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M13	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M14	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M15	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M16	(1 Page)
	Kirkland Engineering Ltd.'s Drawing No. M17	(1 Page)

I/We hereby acknowledge receipt of this Addendum.

Signature (signing officer of firm)

Position

Name of Firm

One copy of the addendum must be signed and returned with the completed tender, or the tender submitted shall be rejected.



Mixed-Use Building Development (BLDG.#3) PHASE 1

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5

DRAWING LIST

COVER SHEET

A000 COVER SHEET

CIVIL (FOR INFORMATION)

SS-1 SITE SERVICING PLAN
SG-1 SITE GRADING PLAN
ES-1 EROSION AND SEDIMENT CTRL PLAN
SD-1 PRE-DEVELOPMENT STORM DRAINAGE SCHEME
SD-2 POST-DEVELOPMENT STORM DRAINAGE SCHEME
TT-1 TRUCK TURNING PLAN
TT-2 TRUCK TURNING PLAN
TT-3 TRUCK TURNING PLAN

SITE ELECTRICAL (FOR INFORMATION)

SE-1 SITE ELECTRICAL
SE-2 BLDG-1 SITE ELECTRICAL
SE-3 BLDG-2 SITE ELECTRICAL
SE-4 BLDG-3 SITE ELECTRICAL
SL-1 SITE LIGHTING - PHOTOMETRIC PLAN-1
SL-2 SITE LIGHTING - PHOTOMETRIC PLAN-2
UC-1 UTILITY COORDINATION PLAN

LANDSCAPE (FOR INFORMATION)

T1.1 TREE INVENTORY AND PRESERVATION PLAN
L1.1 LANDSCAPE PLAN
L1.2 LANDSCAPE PLANTING PLAN
L2.3 LANDSCAPE DETAILS
L2.1 LANDSCAPE DETAILS
L2.2 LANDSCAPE DETAILS
L2.4 LANDSCAPE DETAILS

ARCHITECTURAL

A101 SITE PLAN
A102 PHASING PLAN
A111 LIFE SAFETY PLANS
A112 ASSEMBLIES
A201 GROUND & 2ND FLOOR PLANS
A202 3RD & 4TH FLOOR PLANS
A203 5TH & ROOF PLAN
A211 CEILING PLANS-GROUND AND TYPICAL FLOOR (2-3)
A212 CEILING PLANS-4TH & 5TH FLOORS
A221 UNIT PLANS
A222 UNIT PLANS
A223 UNIT PLANS
A224 UNIT PLANS
A225 UNIT PLANS
A226 UNIT PLANS
A301 ELEVATIONS
A401 BUILDING SECTIONS
A402 WALL SECTIONS
A403 WALL SECTIONS
A501 STAIR#1
A502 STAIR#2
A503 STAIR DETAILS
A601 SECTION DETAILS

ARCHITECTURAL

A602 SECTION DETAILS
A603 SECTION DETAILS
A604 SECTION DETAILS
A606 PLAN DETAILS
A607 PLAN DETAILS
A801 MILLWORK
A802 MILLWORK DETAILS
A901 DOOR SCHEDULE
A902 GLAZING SCHEDULE

STRUCTURAL

S101 GENERAL NOTES & SCHEDULES
S102 TYPICAL DETAILS
S201 FOUNDATION & SECOND FLOOR FRAMING PLANS
S202 THIRD & FOURTH FLOOR FRAMING PLANS
S203 FIFTH FLOOR & ROOF FRAMING PLANS
S301 CONCRETE SHEAR WALL PLANS
S302 CONCRETE SHEAR WALL ELEVATIONS - STAIR #1
S303 CONCRETE SHEAR WALL ELEVATIONS - STAIR #2
S304 CONCRETE SHEAR WALL ELEVATIONS - ELEVATOR
S305 WOOD STUD SHEAR WALL ELEVATIONS
S306 WOOD STUD SHEAR WALL ELEVATIONS
S501 FOUNDATION SECTIONS
S502 SECTIONS
S503 SECTIONS
S504 SECTIONS

MECHANICAL

M1 GROUND FLOOR DOMESTIC WATER
M2 SECOND FLOOR DOMESTIC WATER
M3 THIRD FLOOR DOMESTIC WATER
M4 FOURTH FLOOR DOMESTIC WATER
M5 FIFTH FLOOR DOMESTIC WATER
M6 ROOF DOMESTIC WATER
M7 GROUND FLOOR SANITARY
M8 SECOND FLOOR SANITARY
M9 THIRD FLOOR SANITARY
M11 FIFTH FLOOR SANITARY
M12 ROOF AND SANITARY DETAILS
M13 GROUND FLOOR HVAC
M14 SECOND FLOOR HVAC
M15 THIRD FLOOR HVAC
M16 FOURTH FLOOR HVAC
M17 FIFTH FLOOR HVAC
M18 ROOF HVAC
M19 MECHANICAL SCHEDULES
M20 FIXTURE SPECIFICATION
M21 MECHANICAL SPECIFICATION

ELECTRICAL

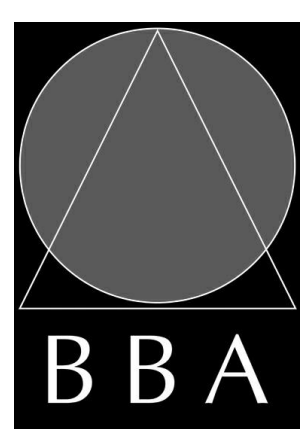
E1 SLD
E2 FIRST FLOOR POWER
E3 SECOND FLOOR POWER
E4 THIRD FLOOR POWER
E5 FOURTH FLOOR POWER
E6 FIFTH FLOOR POWER
E7 ROOF POWER
E8 FIFTH FLOOR LIGHTING
E9 SECOND FLOOR LIGHTING
E10 THIRD FLOOR LIGHTING
E11 FOURTH FLOOR LIGHTING
E12 FIFTH FLOOR LIGHTING
E13 FIRST AND SECOND FLOOR FIRE ALARM
E14 THIRD AND FOURTH FLOOR FIRE ALARM
E15 FIFTH FLOOR FIRE ALARM
E16 LEGENDS
E17 PANEL BOARD SCHEDULES
E18 SPECIFICATIONS

FIRE PROTECTION

FP-1 SPRINKLER PLANS AND DETAILS



ARCHITECTURAL/STRUCTURAL:



BARRY BRYAN ASSOCIATES

Architects
Engineers
Project Managers

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CIVIL:



D.G. Biddle & Associates Limited
consulting engineers and planners

96 King Street East Oshawa, ON
L1H 1B6 p: 905-576-8500

LANDSCAPE:



TROPIC DESIGN

P: 289-251-4396
www.tropicdesign.ca

MECHANICAL/ELECTRICAL:



KIRKLAND ENGINEERING

Tel: (705) 745-2831
Fax: (705) 741-1526

NAME OF PRACTICE : BARRY BRYAN ASSOCIATES			
CERTIFICATE OF PRACTICE NUMBER : 5192			
250 WATER STREET, SUITE 201 WHITBY, ONTARIO, CANADA L1N 0G5 TEL : (905) - 666 - 5252 (Toronto) (905) - 427 - 4495 FAX : (905) - 666 - 5256			
NAME OF PROJECT :			
Courtice Mixed-use Building Development - Building#3			
LOCATION OF PROJECT :			
1697 Durham Regional HWY 2 Courtice, Ontario, L1E 2R5			
DATE :			
August, 2024			
Ontario Building Code Data Matrix Part 3			OBC Reference
3.00 Building Code Version:	O_Reg 332/12	Last Amendment: O_Reg 79/18	
3.01 Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Change of use	<input type="checkbox"/> Addition <input type="checkbox"/> Addition and Renovation	[A] 1.1.2.
3.02 Major Occupancy Classification:	Occupancy: C Use: Residential (Apartments)		3.1.2.1.(1)
3.03 Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.2.7
3.04 Building Area (m ²):	Description	Existing New Total	[A] 1.4.1.2.
3.05 Gross Area (m ²):	Description	Existing New Total	[A] 1.4.1.2.
3.06 Mezzanine Area (m ²):	Description	Existing New Total	3.2.1.1
3.07 Building Height:	5 Storeys above grade 16.3 (m) Above grade 13.1 to the highest res. floor)		[A] 1.4.1.2 & 3.2.1.1
3.08 High Building:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.1.1
3.09 Number of streets/ fire fighter access:	3 street(s)		3.2.2.10 & 3.2.5
3.10 Building Classification:	3.2.2.43A Group/ Div. C		3.2.2.20 - 83
3.11 Sprinkler System:	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.1.5 & 3.2.2.17
3.12 Standpipe System:	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.9
3.13 Fire Alarm System:	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.4
3.14 Water Service/ Supply is Adequate:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
3.15 Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible Permitted Actual construction: <input type="checkbox"/> Combustible Heavy Timber Construction: <input type="checkbox"/> No	<input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Combination <input type="checkbox"/> Yes	3.2.2.20 - 83 & 3.2.1.4
3.16 Importance Category:	<input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	<input type="checkbox"/> Low human occupancy <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosives or hazardous substances	4.1.2.1 (3) & T4.1.2.1.B
3.17 Seismic Hazard Index:	(I, Fa Sa (0.2))= 0.3149 Seismic design required for Table 4.1.1.18, Items 6 to 21: (I Fa Sa (0.2))= or = 0.35 or Post-disaster) <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		4.1.2.1 (3) & 4.1.8.18.(2)
3.18 Occupant Load:	Floor Level/ Area	Occupancy Type	Based On
	Ground Floor	C(8 sleeping rooms)	2 Persons/ Bed Rm+ By Design
	Ground Floor	A(Amenity) For residents only	By Design (50)
	Floors 2,3 & 4	C (42 Sleeping rooms)	2 Persons/ Bed Rm
	Floor 5	C (10 Sleeping rooms)	2 Persons/ Bed Rm
			Total=120
3.19 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Explanation	3.8
3.20 Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Explanation	3.3.1.2 & 3.3.1.19
3.21 Required Fire Resistance Ratings:	Horizontal Assembly Rating	Supporting	Non combustible in lieu of rating?
	Floors	1hr	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
	Mezzanine	N/A	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
	Roof	1hr	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
3.22 Spatial Separation:	Wall	Area Of EBF (m ²)	L.D. or H/L
	North	19	100
	South	13	100
	East	43	100
	West	14.6	100
3.23 Plumbing Fixture Requirements:	Ratio: Male/Female = 50/50	Except as noted otherwise	
	WASHROOMS EXIST IN EVERY RESIDENTIAL UNIT.		
3.24 Energy Efficiency:	Compliance Path: SB10		
3.25 Notes:			

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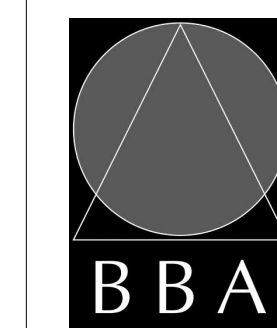
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1	Pre-Consultation	Apr 14 2022	AA
2	Pre Pre consultation	Jun 22 2022	AA
3	SPA	Dec 09 2022	AA
4	SPA#1	Nov 03 2023	AA
5	SPA#2	Jan 28 2024	AA
6	ISSUED FOR PERMIT	Apr 30 2024	RG
7	ISSUED FOR PERMIT AND TENDER	Aug 30 2024	RG
8	ADDENDUM # 1	Sep 10, 2024	RG

NO.	REVISIONS	DATE	BY

PROJECT:
Mixed-Use Building Development (BLDG.#3) PHASE 1

1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
COVER SHEET



BARRY BRYAN ASSOCIATES

Architects
Engineers
Project Managers

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e-mail: bba@bba-archeng.com

PROJECT NO:

21046



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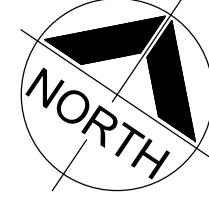
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CHECKED BY: [Signature]

DATE: 01/04/19

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PROJECT:
**Mixed-Use Building
Development (BLDG.#3)
PHASE 1**

1697 Durham Regional Hwy 2, Courtyce,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
**GROUND & 2ND FLOOR
PLANS**



**BARRY BRYAN
ASSOCIATES**

Architects
Engineers
Project Managers

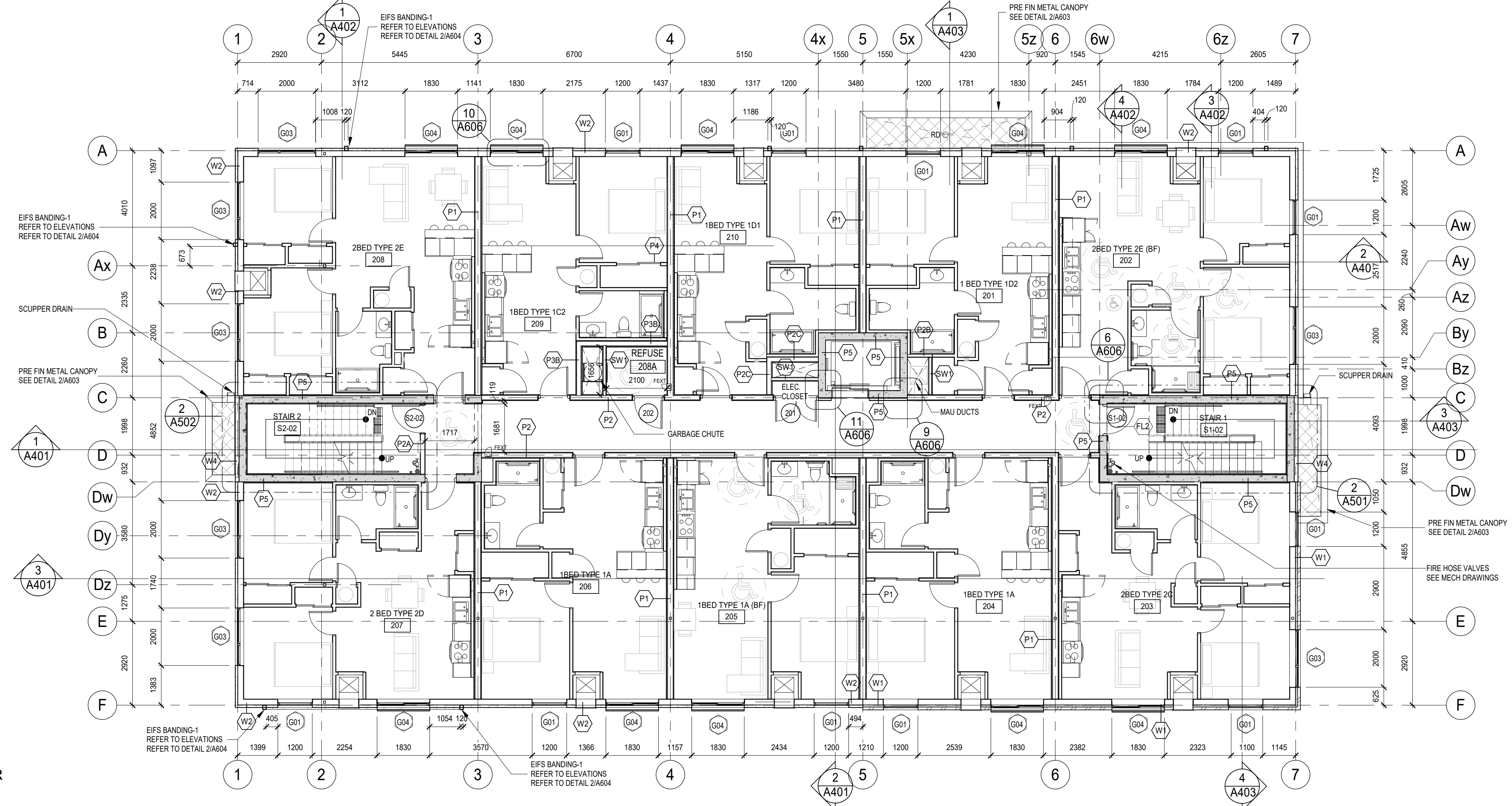
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e-mail: bba@bba-arch.com



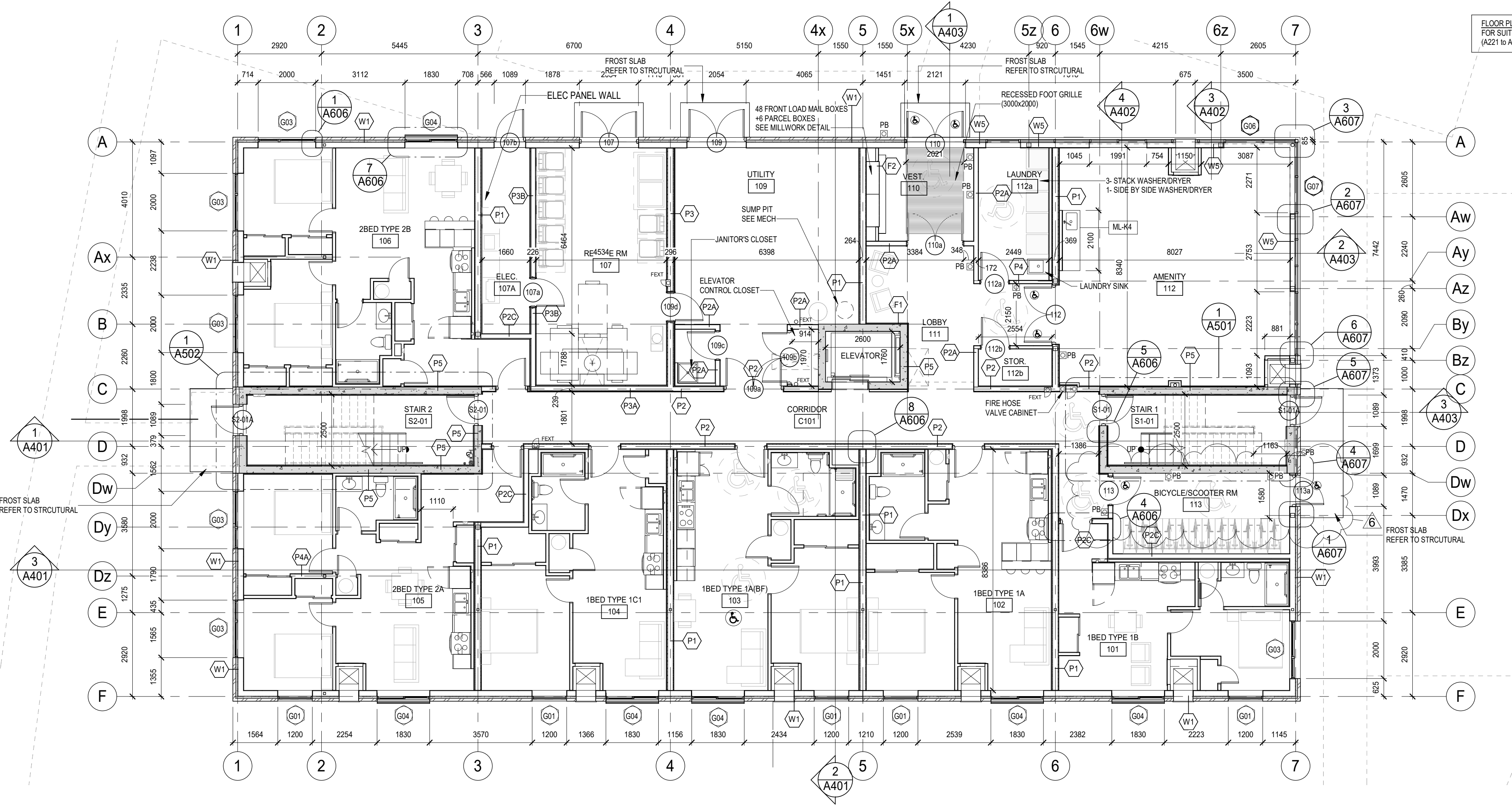
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DRAWN BY: AA/JP
CHECKED BY: AA/NS
DATE: 2023-11-03
SCALE: As Indicated
FILE: Drawings - Current - CECC.RVT

PROJECT NO: **21046**
DRAWING NO: **A201**

PLAN LEGEND
FEHT FIRE EXTINGUISHER
DOOR OPERATOR
PB PUSH BUTTON

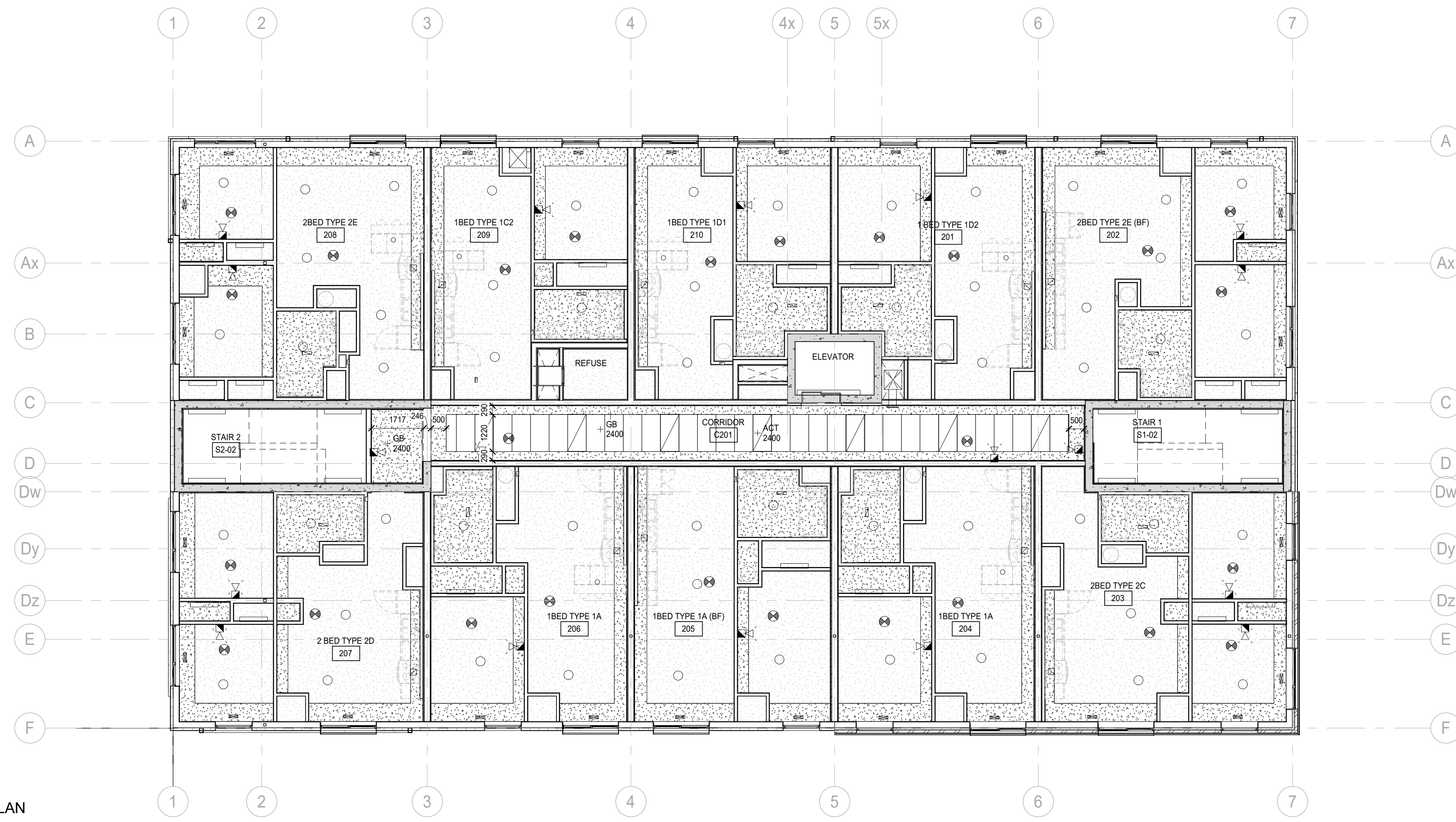


2 2ND FLOOR
A201
1:100



1 GROUND FLOOR
A201
1:100

FLOOR PLAN NOTES:
FOR SUITE DOOR TYPES SEE ENLARGED SUITE PLANS
(A21 TO A22)



2
A211
2ND & 3RD FLOOR CEILING PLAN
1:100

CEILING TYPES:

- EXP 2400 EXPOSED 16mm TYPE X GYPSUM BOARD OF FIRE RATED FLOOR ASSEMBLY
- GB 2400 13mm GYPSUM BOARD ON METAL STUD FRAMING w/ CEILING LEVEL USE CEMENT BOARD IN SHOWER AREAS
- ACT 2400 610mm x 1220mm ACOUSTIC CEILING PANELS IN SUSPENDED T-BAR GRID w/ CEILING LEVEL

CEILING NOTATION LEGEND:

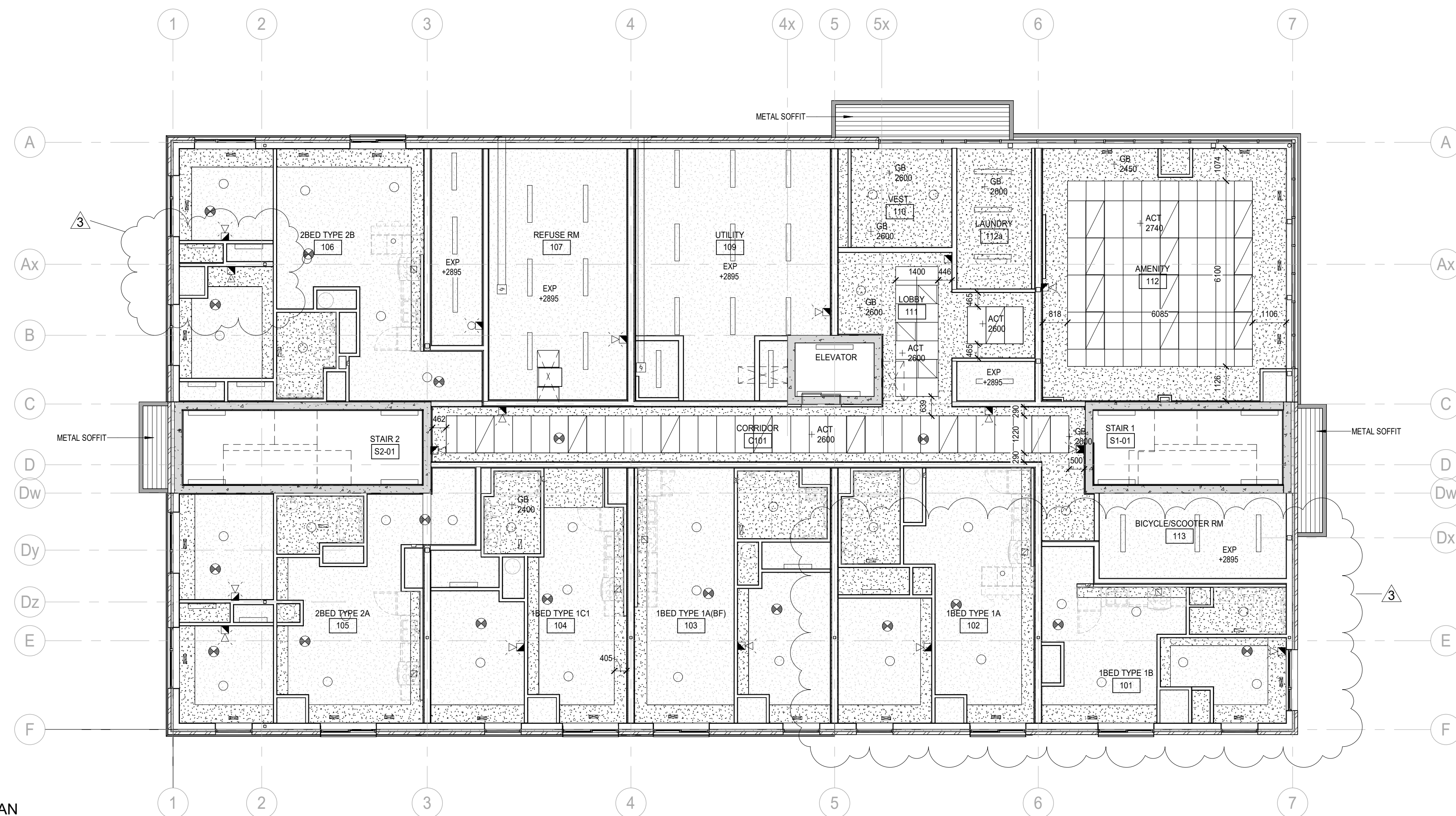
- LAY-IN T-BAR LUMINAIRE (REFER TO ELECTRICAL)
- LUMINAIRE / STRIP LIGHTS (REFER TO ELECTRICAL)
- LIGHT FIXTURES AS PER ELECTRICAL
- CEILING OFFUSER EXHAUST GRILLE (REFER TO MECHANICAL)
- SMOKE DETECTOR (REFER TO ELECTRICAL DRAWINGS)
- FIRE ALARM (REFER TO ELECTRICAL DRAWINGS)

NOTE:
MAXIMIZE EXTENT OF EXPOSED (HIGH) CEILINGS WITHIN ALL UNITS. GYPSUM BOARD BULKHEADS TO BE TIGHT TO SERVICES AS MUCH AS POSSIBLE. COORDINATE EXTENT OF BULKHEADS WITH MECHANICAL AND SPRINKLER DRAWINGS.

NOTE:
SEE DRAWINGS A211 to A226 FOR ENLARGED SUITE CEILING PLANS

DO NOT SCALE THE DRAWINGS
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
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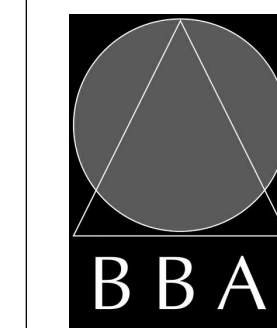
1
A211
GROUND FLOOR CEILING PLAN
1:100

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PROJECT:
Mixed-Use Building Development (BLDG.#3) PHASE 1

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
CEILING PLANS-GROUND AND TYPICAL FLOOR (2-3)



BARRY BRYAN ASSOCIATES

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Engineers
Project Managers

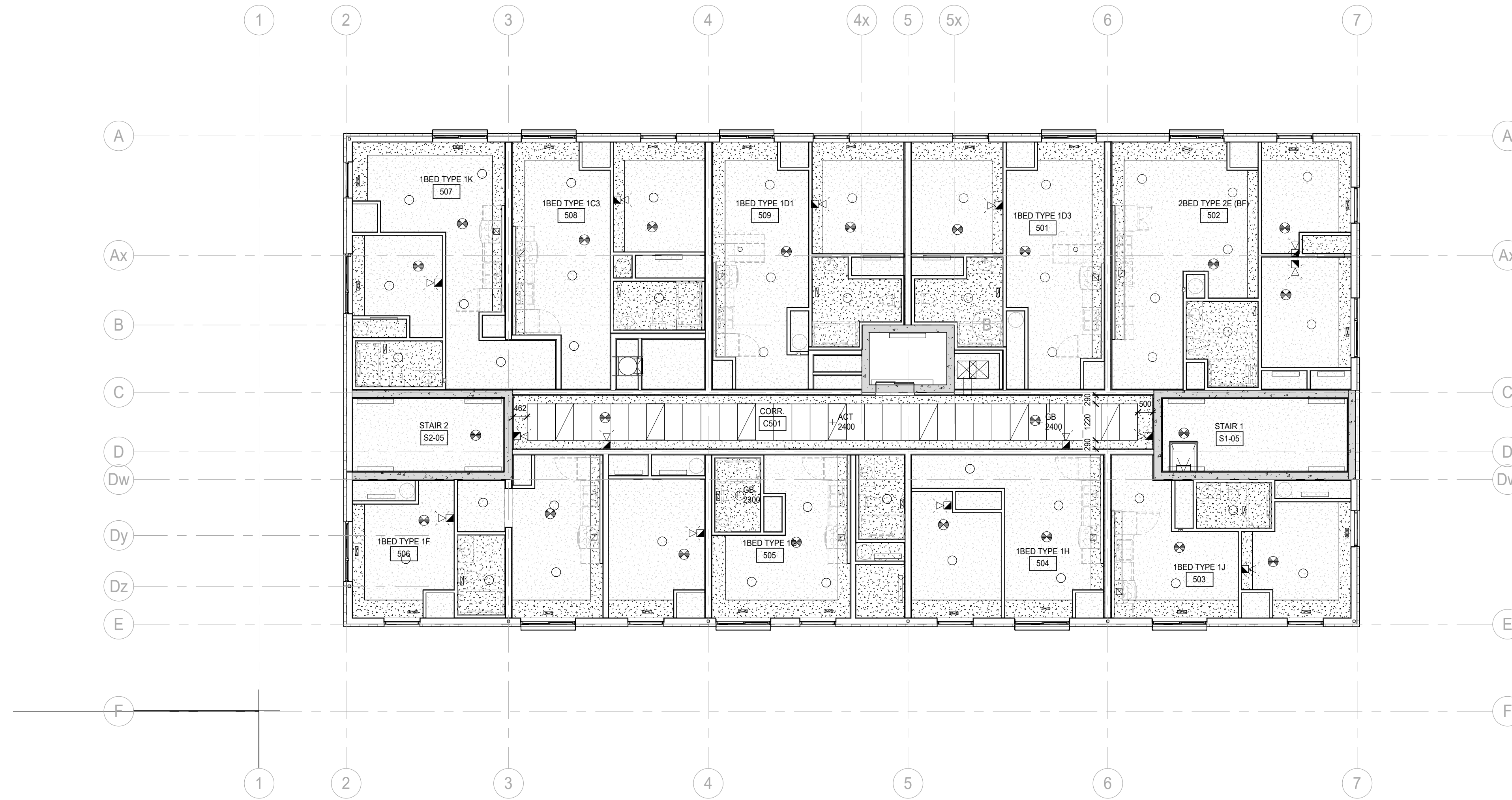
201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 686-5252
Fax: (905) 686-5256
e-mail: bba@bba-arch.com



DESIGN BY: AA
DRAWN BY: AA/JP
CHECKED BY: AA/NS

DATE: 2023-11-03
SCALE: 1:100
FILE: Drawings - Current - CECC.RVT

PROJECT NO: **21046**
DRAWING NO: **A211**



2
A212
5TH FLOOR-CEILING PLAN
1:100

CEILING TYPES:

- + EXP 2400 EXPOSED 16mm TYPE X GYPSUM BOARD OF FIRE RATED FLOOR ASSEMBLY.
- + GB 2400 13mm GYPSUM BOARD ON METAL STUD FRAMING w/ CEILING LEVEL USE CEMENT BOARD IN SHOWER AREAS
- + ACT 2400 610mm x 1220mm ACOUSTIC CEILING PANELS IN SUSPENDED T-BAR GRID w/ CEILING LEVEL

CEILING NOTATION LEGEND:

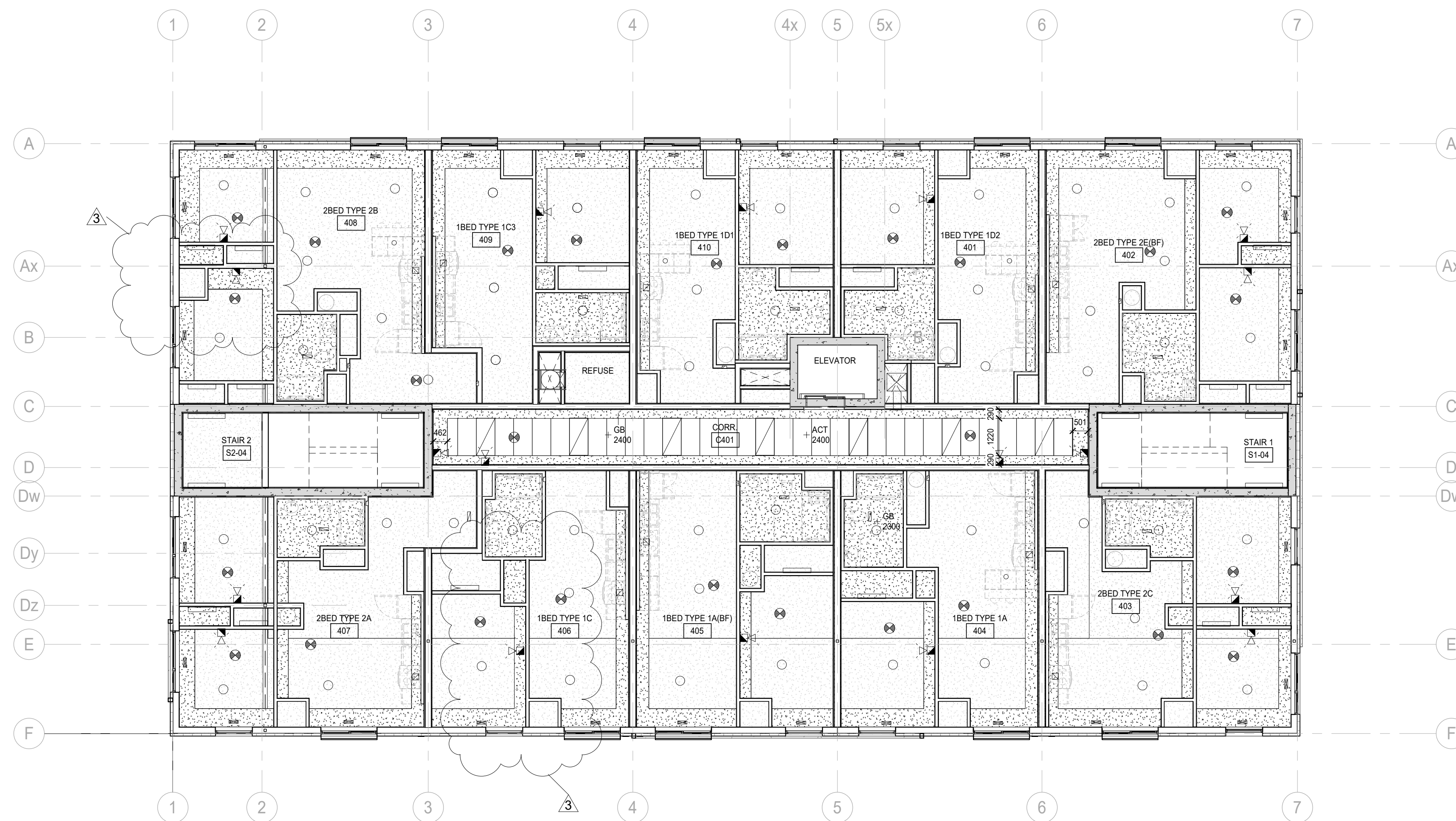
- LAY-IN T-BAR LUMINAIRE (REFER TO ELECTRICAL)
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- CEILING OFFUSER EXHAUST GRILLE (REFER TO MECHANICAL)
- SMOKE DETECTOR (REFER TO ELECTRICAL DRAWINGS)
- FIRE ALARM (REFER TO ELECTRICAL DRAWINGS)

NOTE:
MAXIMIZE EXTENT OF EXPOSED (HIGH) CEILING WITHIN ALL UNITS. GYPSUM BOARD BULKHEADS TO BE TIGHT TO SERVICES AS MUCH AS POSSIBLE. COORDINATE EXTENT OF BULKHEADS WITH MECHANICAL AND SPRINKLER DRAWINGS.

NOTE:
SEE DRAWINGS A211 to A226 FOR ENLARGED SUITE CEILING PLANS

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2	ISSUED FOR PERMIT AND TENDER	Aug 30, 2024	RG
3	ADDENDUM # 1	Sep 10, 2024	RG



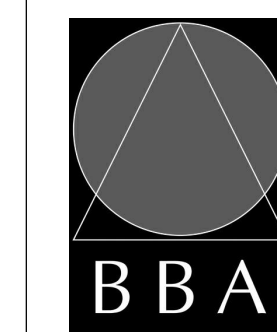
1
A212
4TH FLOOR - CEILING PLAN
1:100

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

PROJECT:
Mixed-Use Building Development (BLDG.#3) PHASE 1

1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
CEILING PLANS-4TH & 5TH FLOORS



BARRY BRYAN ASSOCIATES

Architects
Engineers
Project Managers

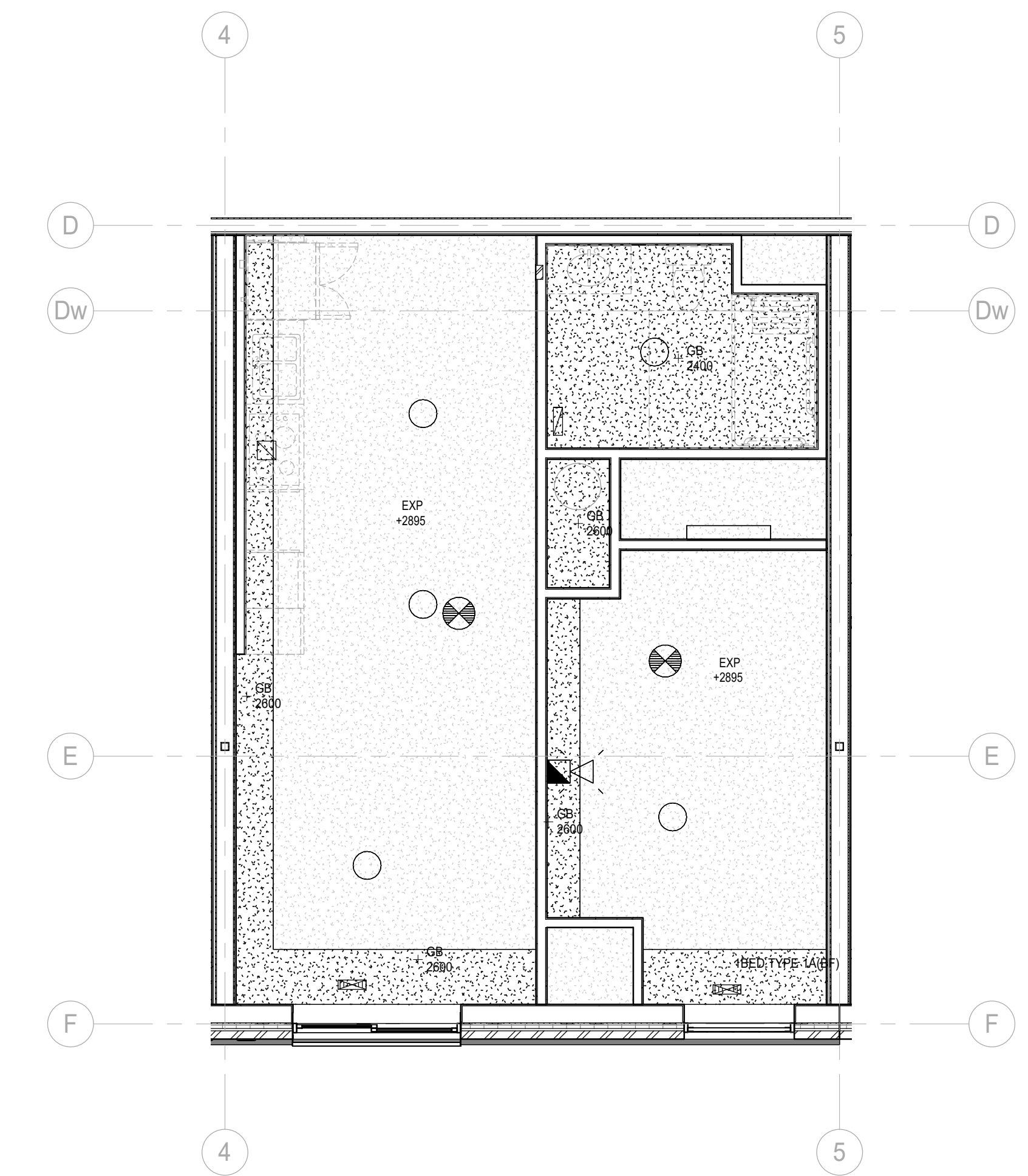
201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-arch.com



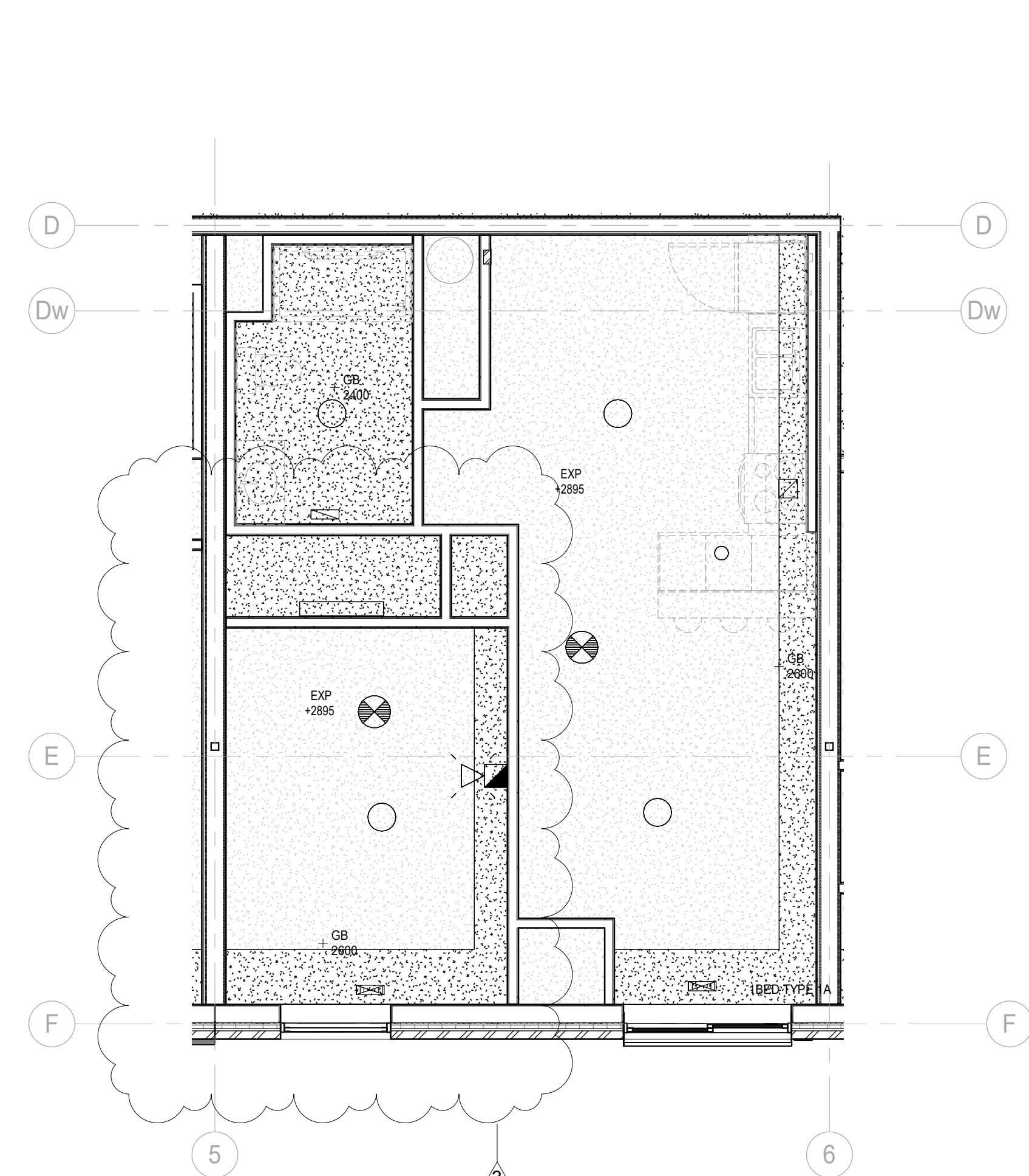
DESIGN BY: AA
DRAWN BY: AA/JP
CHECKED BY: AA/NS

DATE: 2023-11-03
SCALE: 1:100
FILE: Drawings - Current - CECC.RVT

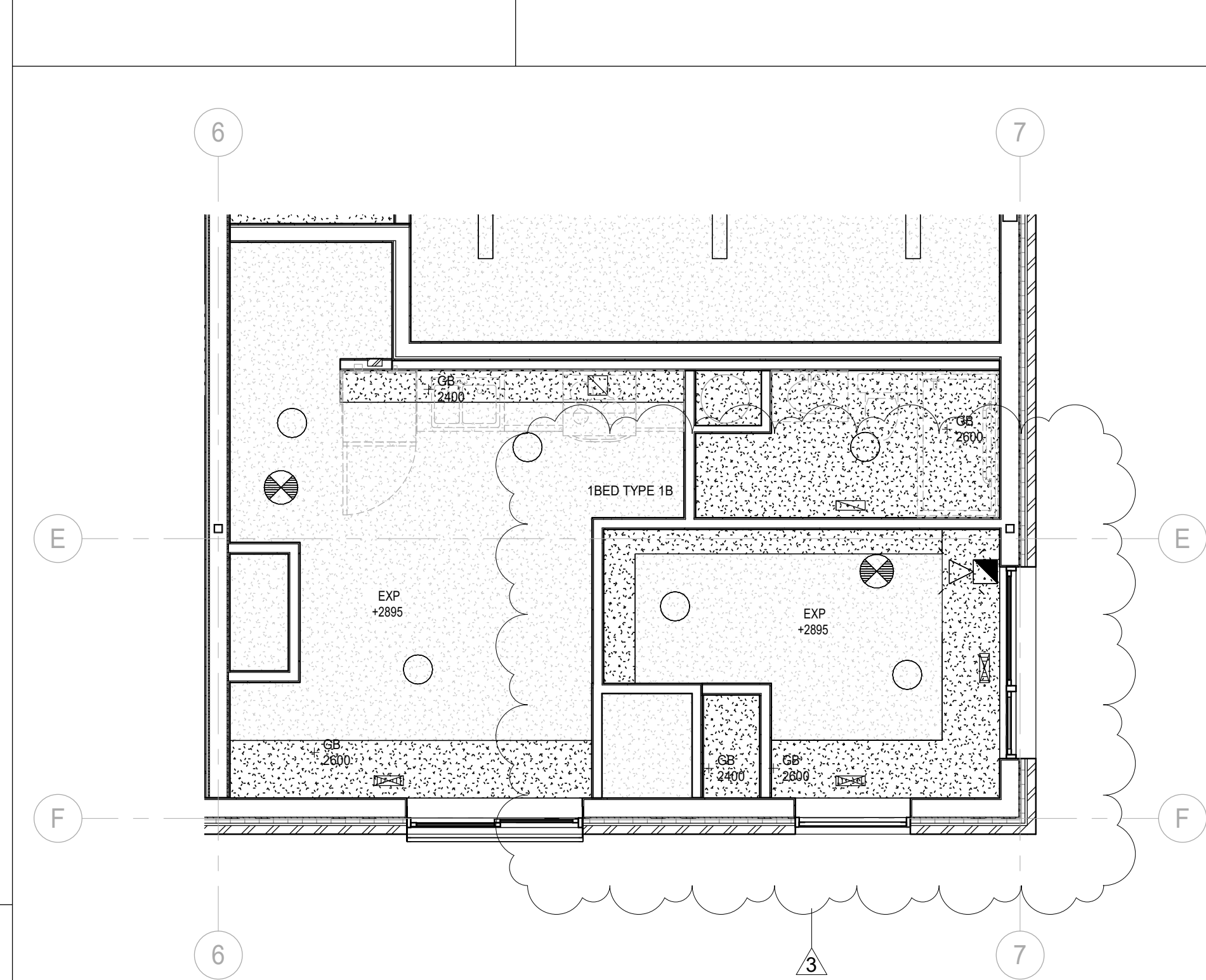
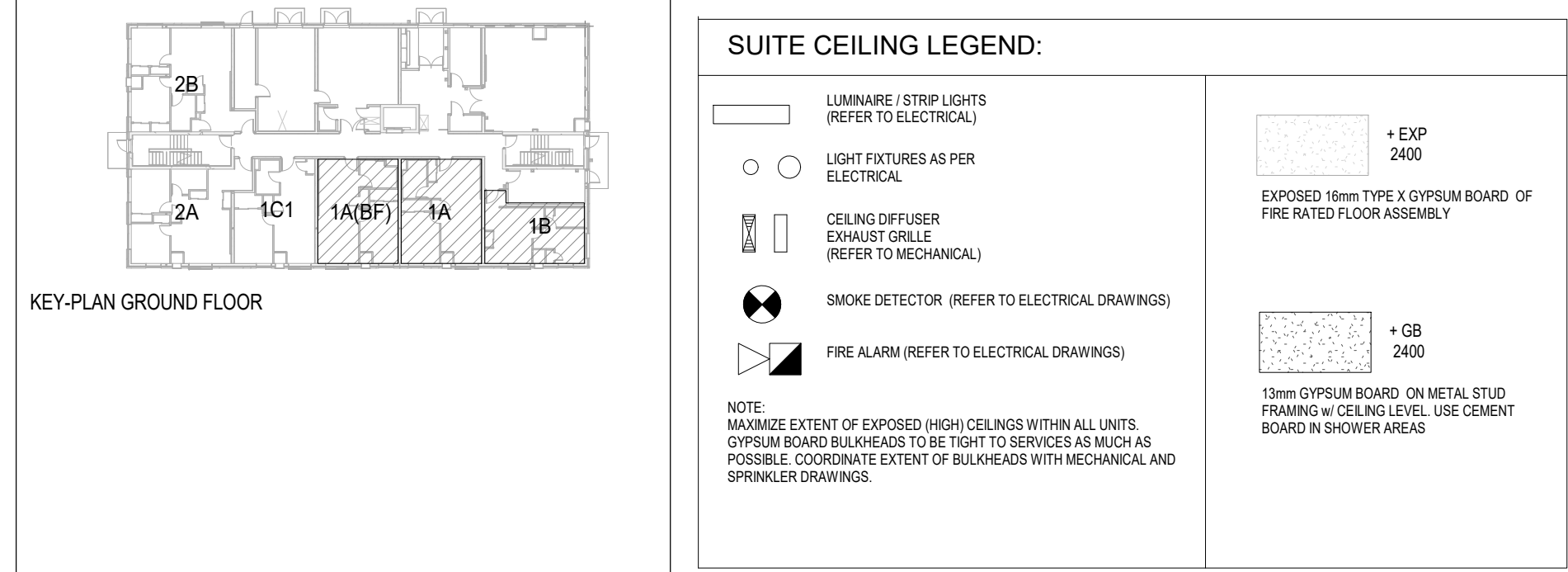
PROJECT NO: **21046**
DRAWING NO: **A212**



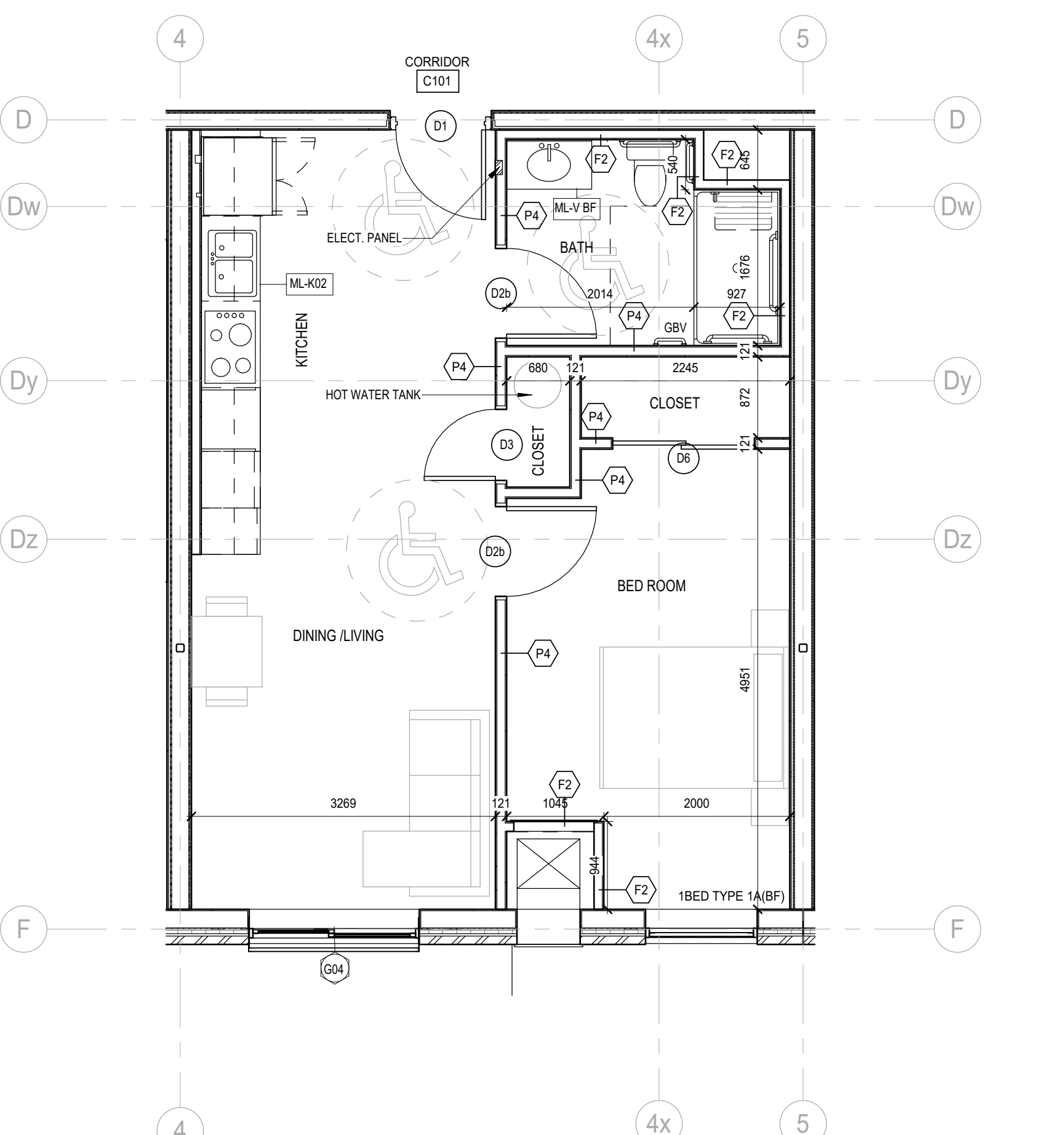
6 TYPE 1A (BF) CEILING
1:50



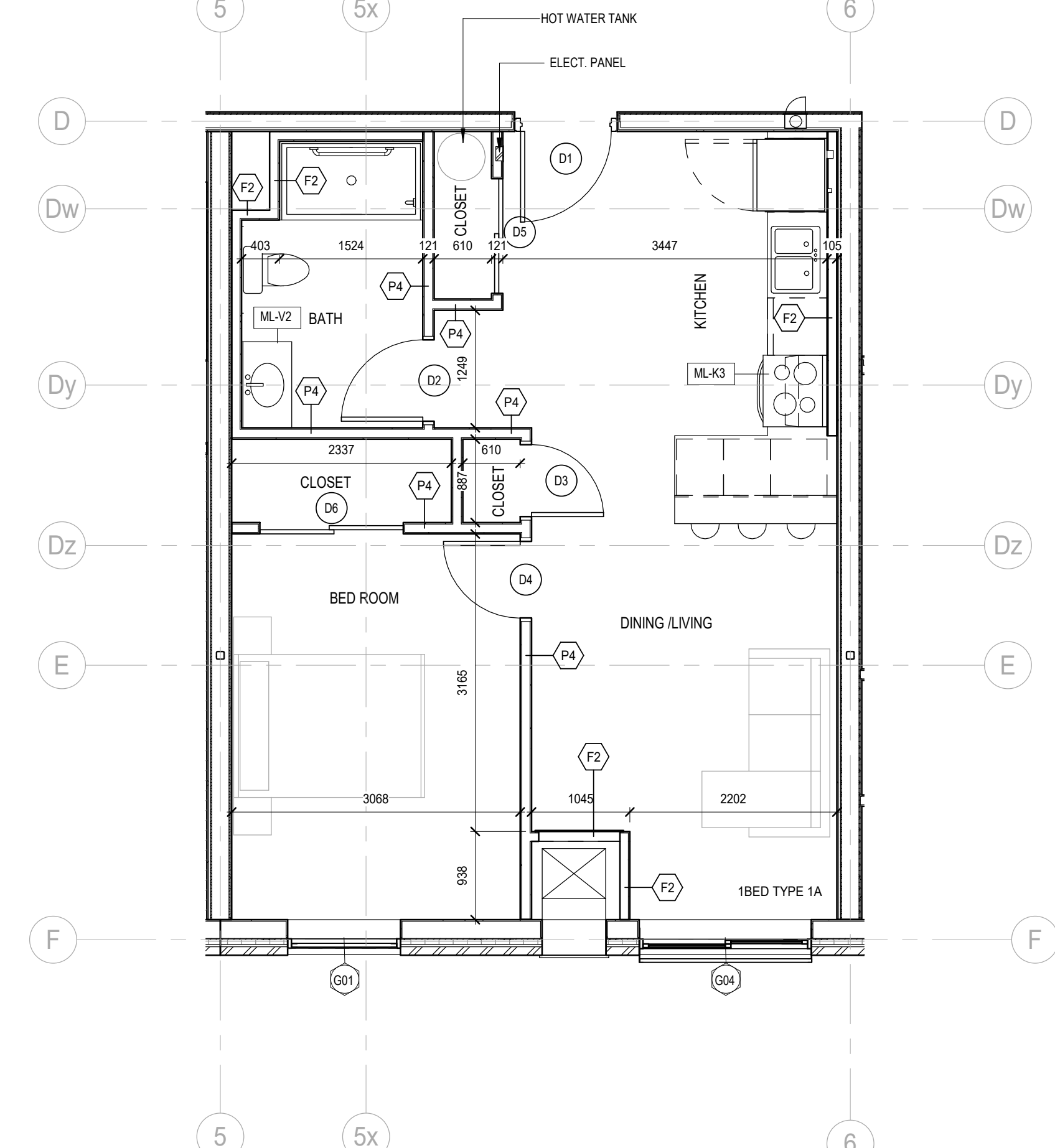
5 TYPE 1A CEILING
1:50



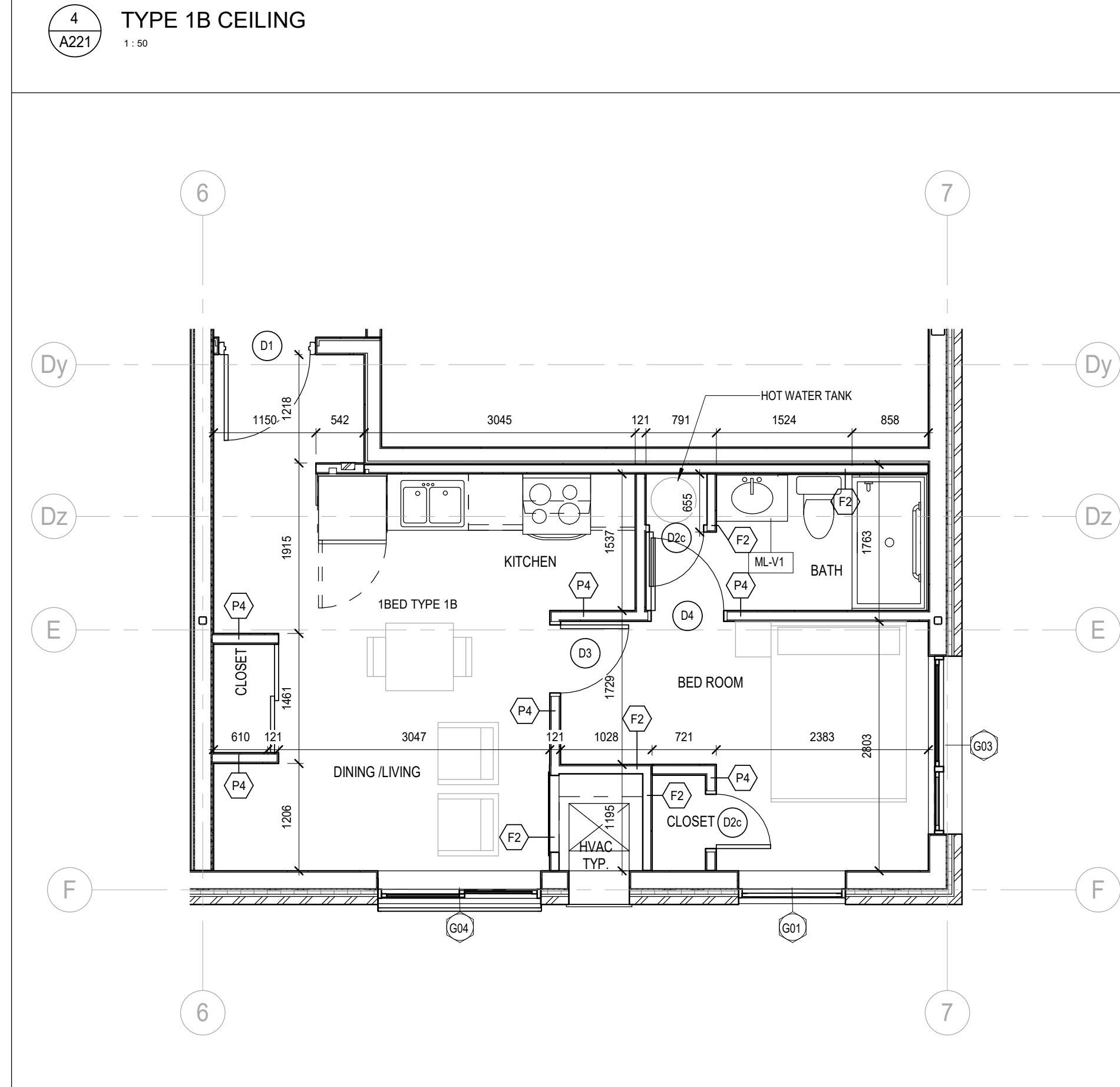
4 TYPE 1B CEILING
1:50



2 TYPE 1A (BF)
1:50



1 TYPE 1A
1:50



3 TYPE 1B
1:50

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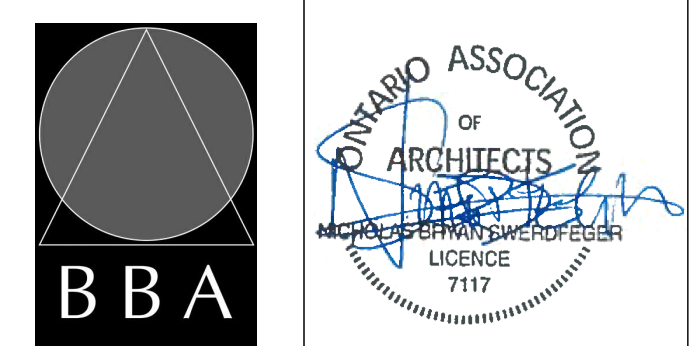
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30, 2024	RG
2	ISSUED FOR PERMIT AND TENDER	Aug 30, 2024	RG
3	ADDENDUM # 1	Sep 10, 2024	RG

NO.	REVISIONS	DATE	BY

PROJECT:
**Mixed-Use Building
Development (BLDG.#3)
PHASE 1**

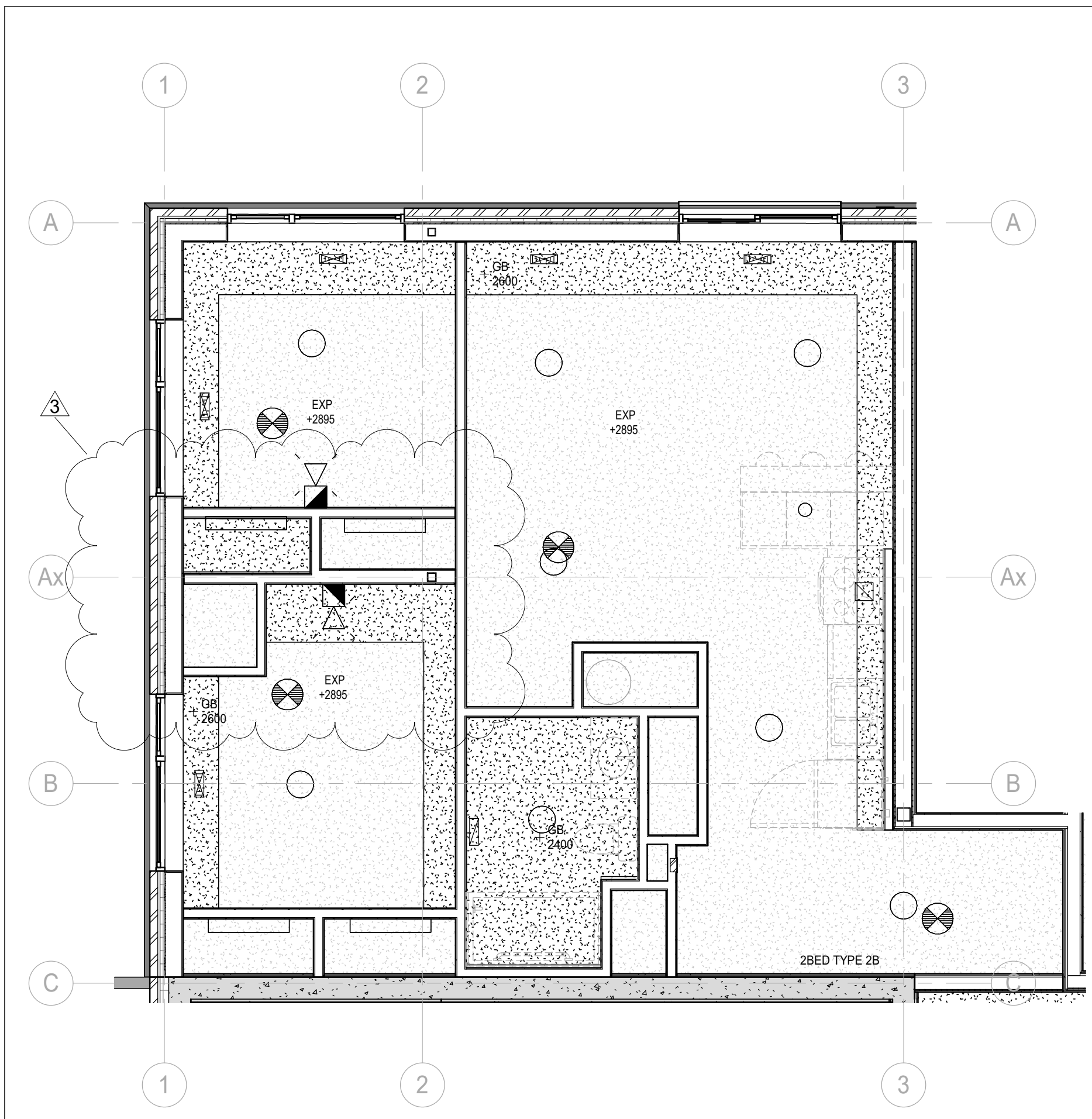
1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
UNIT PLANS

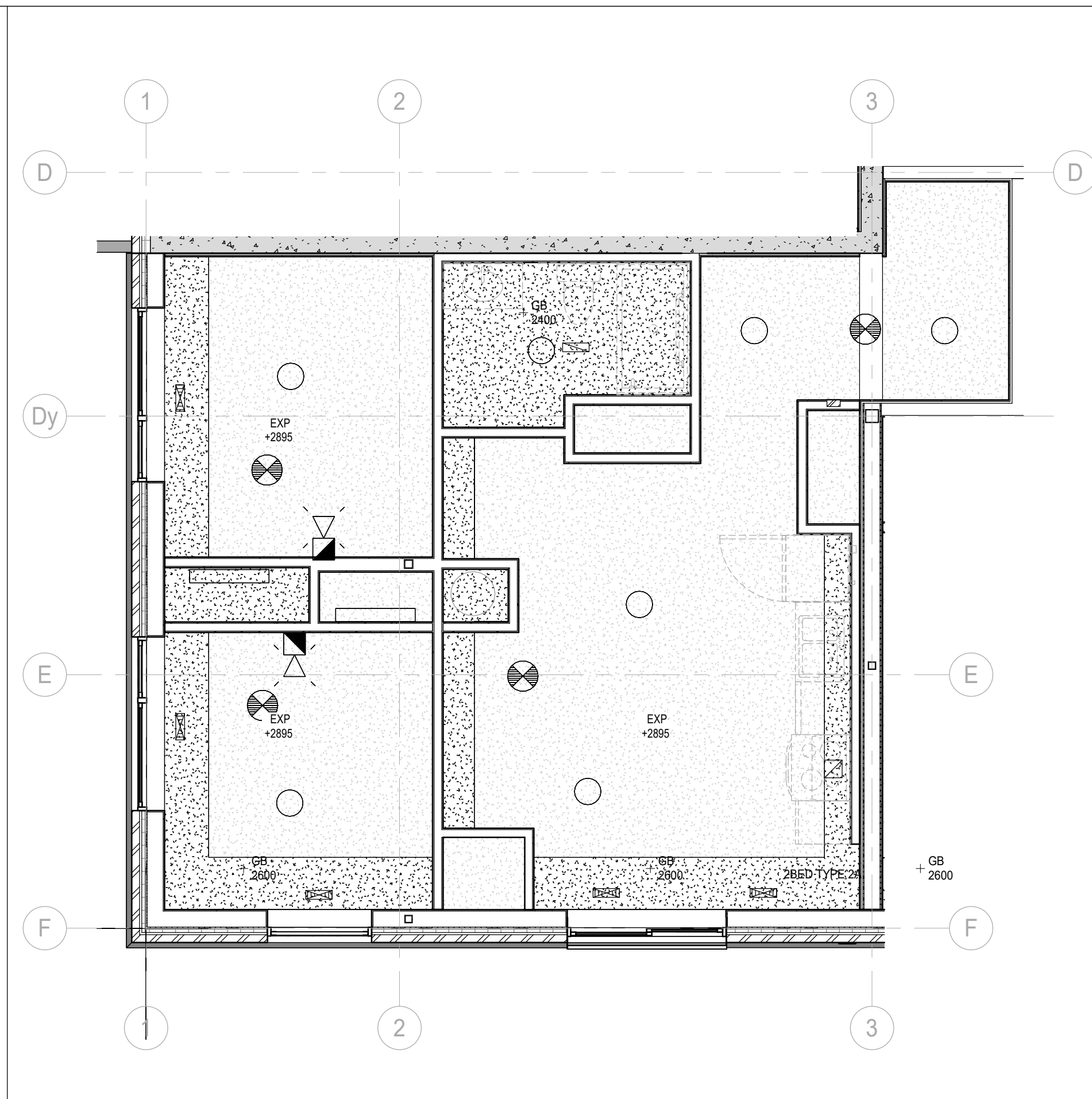


BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers
DESIGN BY: AA
DRAWN BY: AA/JP
CHECKED BY: AA/NS
DATE: 2023-11-03
SCALE: As Indicated
FILE: Drawings - Current - CECC.RVT

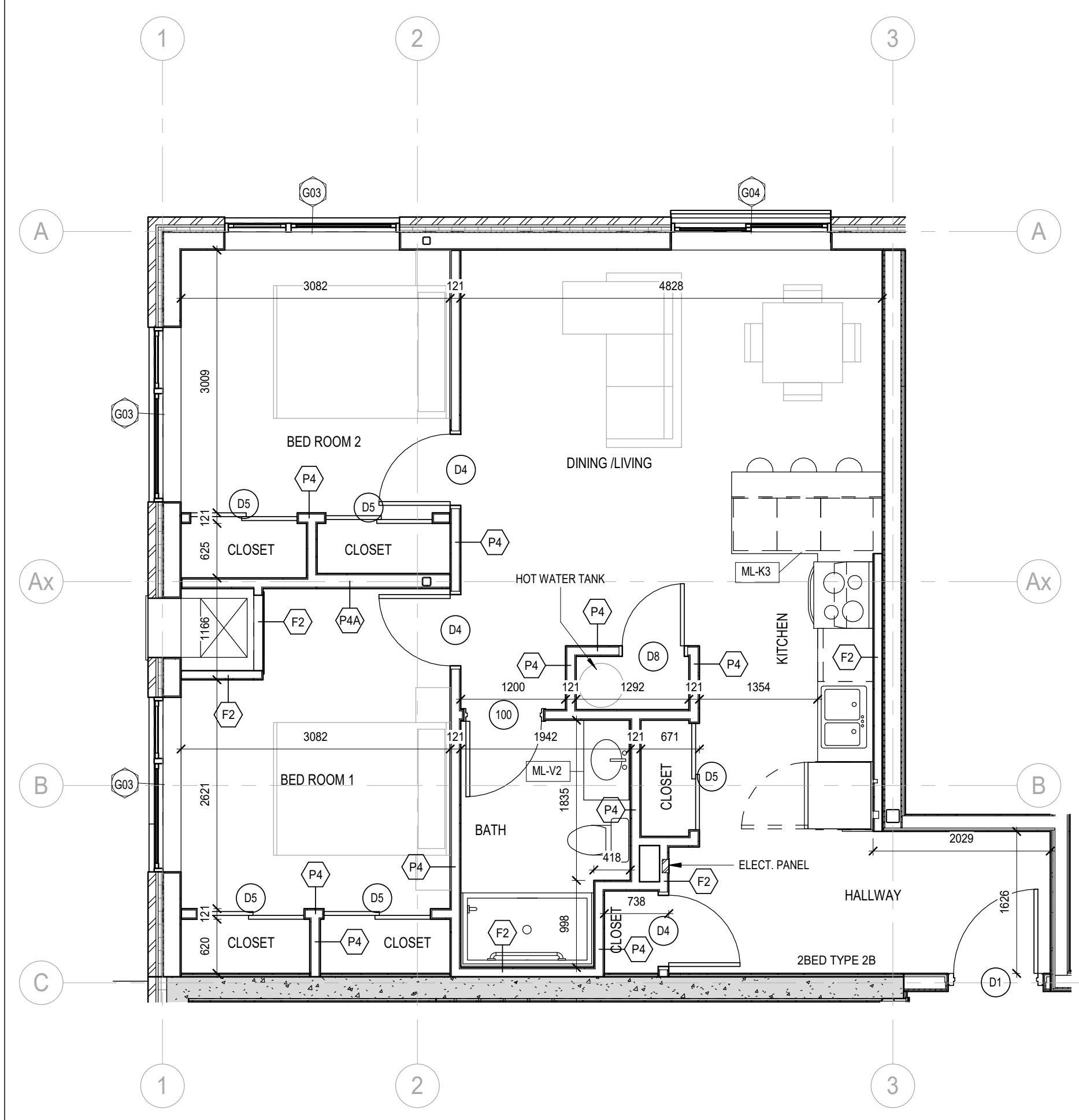
PROJECT NO: **21046**
DRAWING NO: **A221**



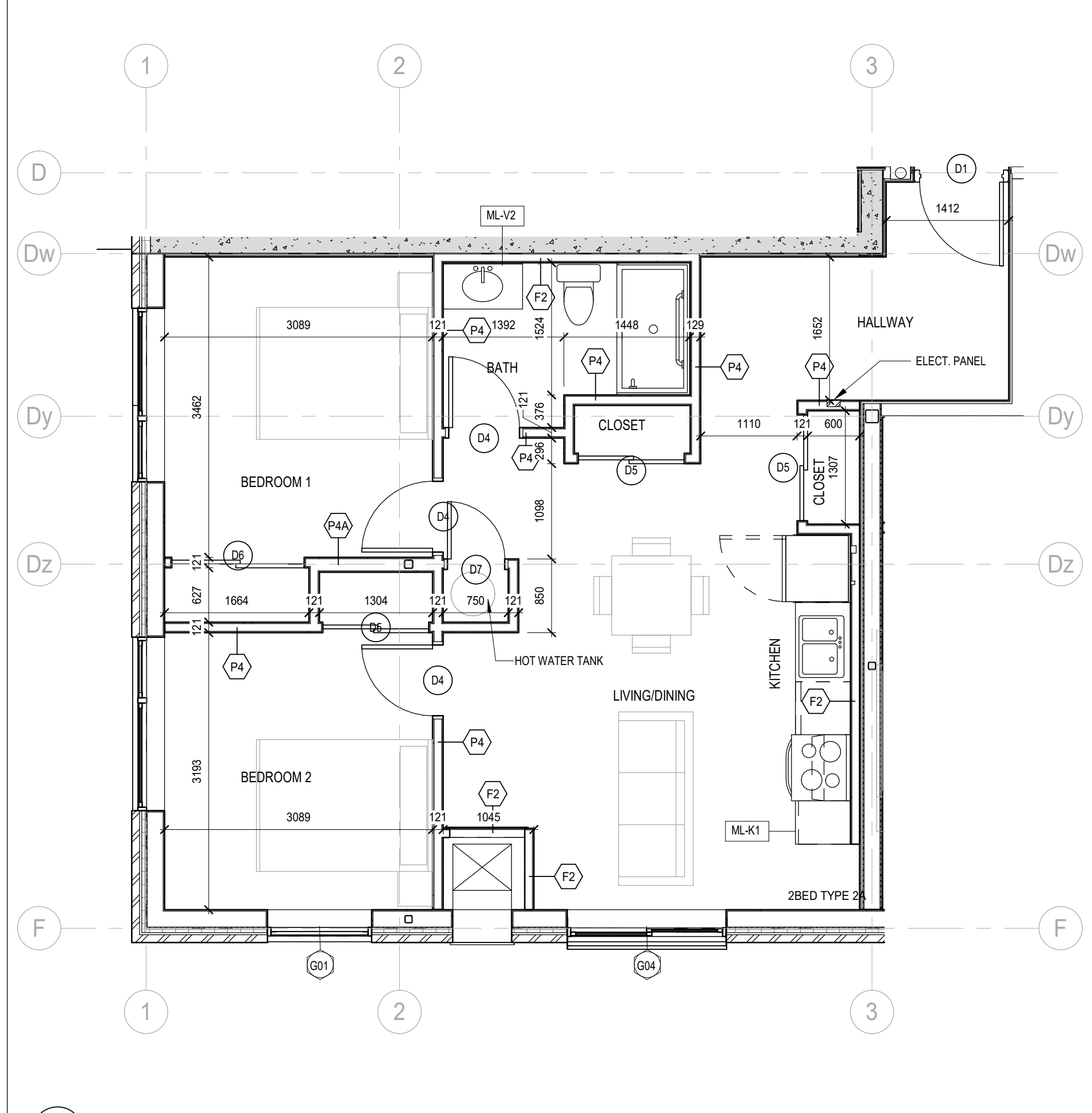
7 TYPE 2B CEILING
1:50
A222



6 TYPE 2A CEILING
1:50
A222



3 TYPE 2B
1:50
A222



2 TYPE 2A
1:50
A222

KEY-PLAN GROUND FLOOR

SUITE CEILING LEGEND:

- LUMINAIRE (STRIP LIGHTS (REFER TO ELECTRICAL))
- LIGHT FIXTURES AS PER ELECTRICAL
- CEILING DIFFUSER (REFER TO MECHANICAL)
- SMOKE DETECTOR (REFER TO ELECTRICAL DRAWINGS)
- FIRE ALARM (REFER TO ELECTRICAL DRAWINGS)

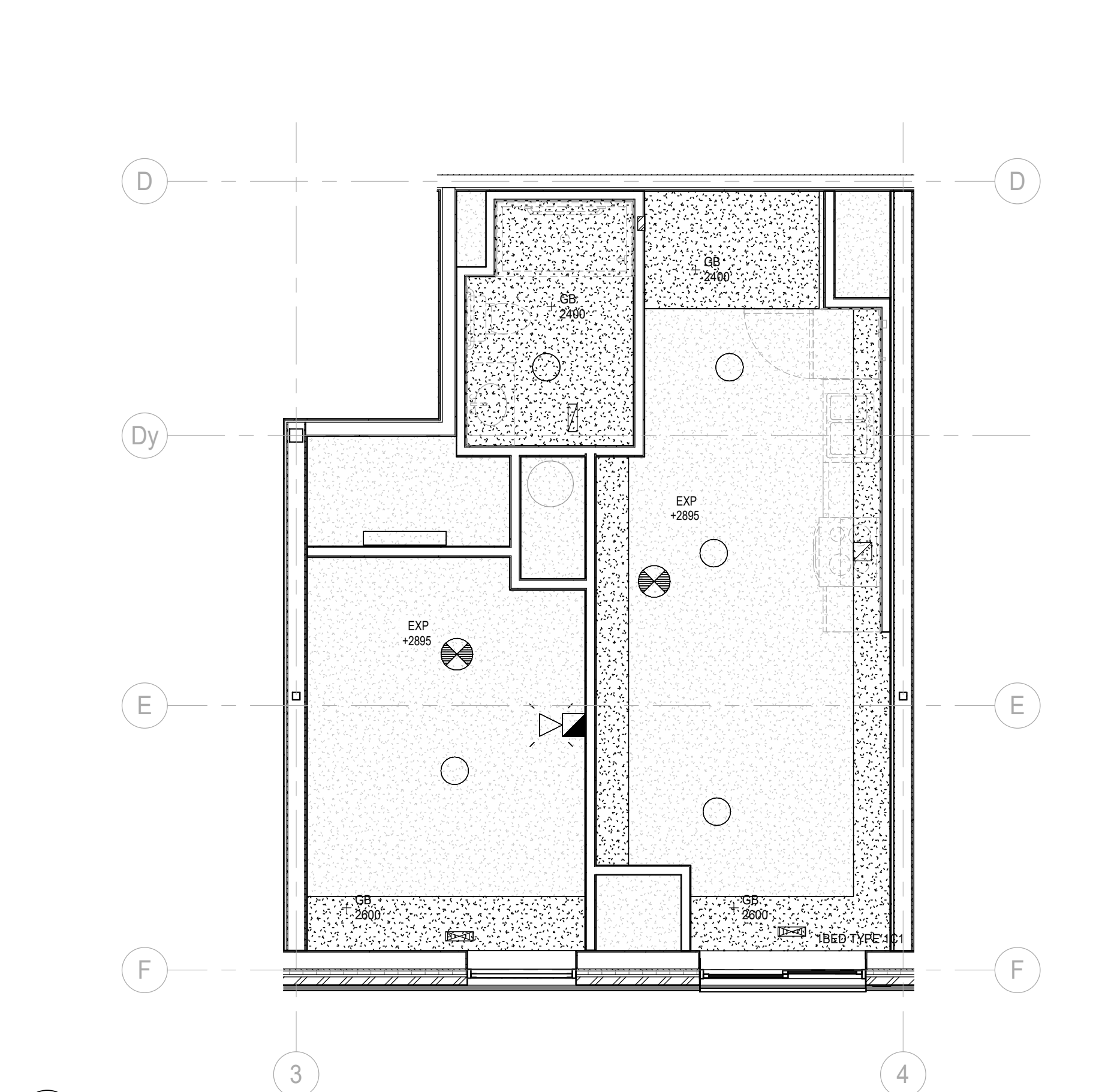
NOTE: MAXIMIZE EXTENT OF EXPOSED HIGH CEILINGS WITHIN ALL UNITS. GYPSUM BOARD BULKHEADS TO BE TIGHT TO SERVICES AS MUCH AS POSSIBLE. COORDINATE EXTENT OF BULKHEADS WITH MECHANICAL AND SPRINKLER DRAWINGS.

EXPOSED 15mm TYPE X GYPSUM BOARD OF FIRE RATED FLOOR ASSEMBLY

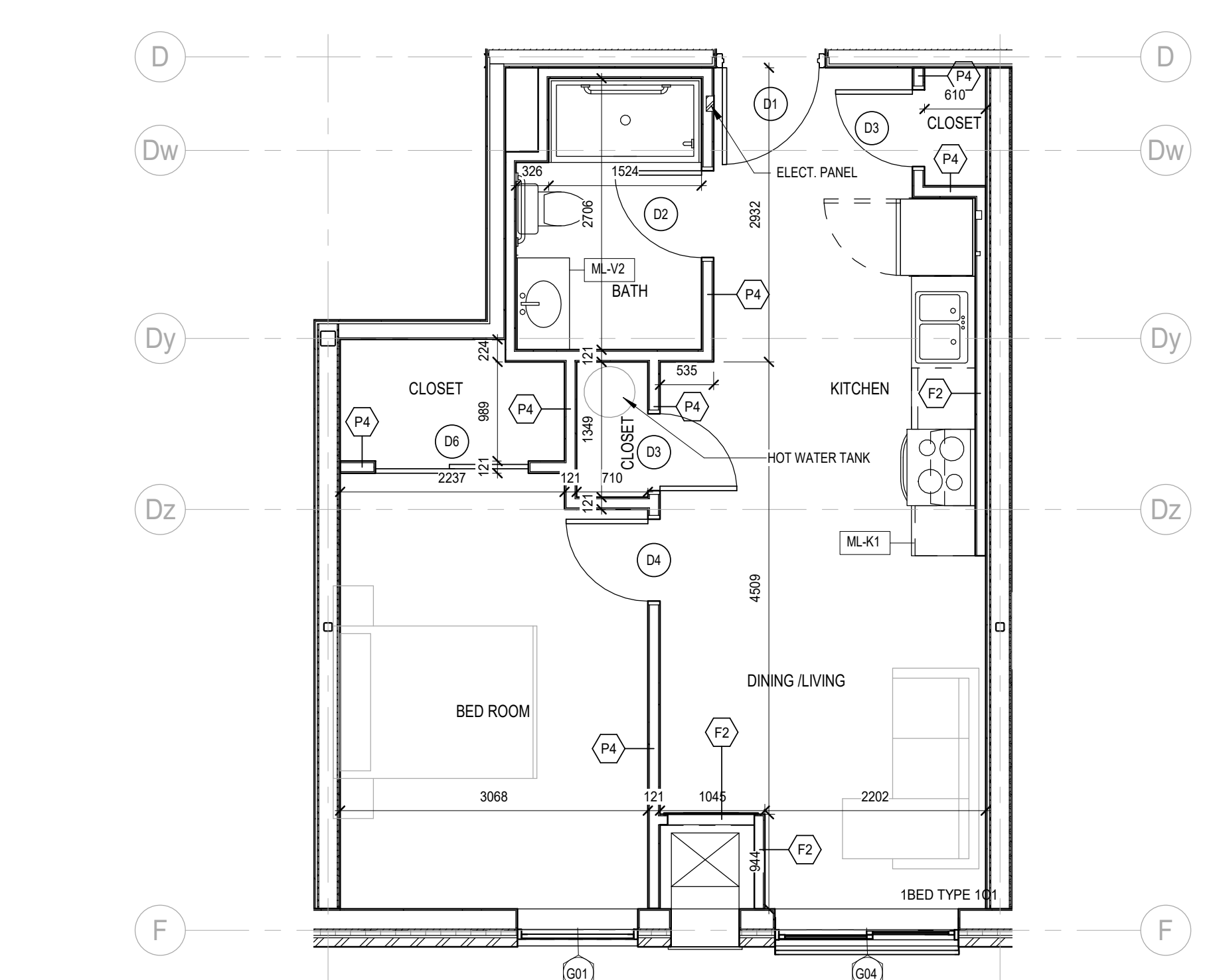
15mm GYPSUM BOARD ON METAL STUD FRAMING w/ CEILING LEVEL. USE CEMENT BOARD IN SHOWER AREAS

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NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30, 2024	RG
2	ISSUED FOR PERMIT AND TENDER	Aug 30, 2024	RG
3	ADDENDUM # 1	Sep 10, 2024	RG



4 TYPE 1C CEILING
1:50
A222



1 TYPE 1C1
1:50
A222

NO.	REVISIONS	DATE	BY

PROJECT:
Mixed-Use Building Development (BLDG.#3) PHASE 1
1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
UNIT PLANS

BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers

201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 666-5258
Fax: (905) 666-5258
e-mail: bba@bba-arch.com

DESIGN BY: AA
DRAWN BY: AA/JP
CHECKED BY: AA/NS
DATE: 2023-11-03
SCALE: As Indicated
FILE: Drawings - Current - CECC.RVT

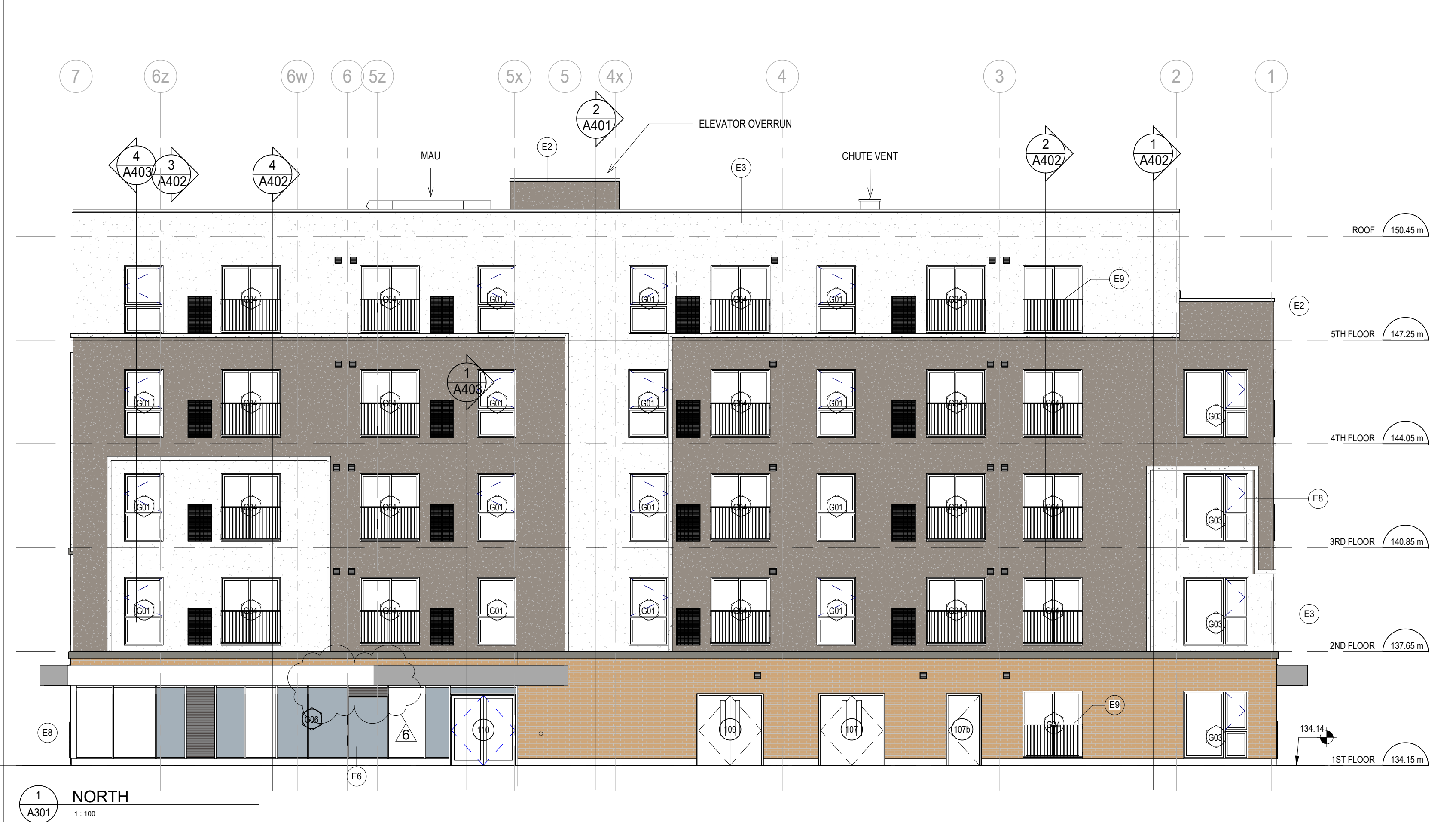
PROJECT NO: **21046**
DRAWING NO: **A222**



3 SOUTH
A301 1:100



4 WEST
A301 1:100



1 NORTH
A301 1:100



2 EAST
A301 1:100

LEGEND

E1 BRICK MASONRY	E3 EIFS2 (LIGHT-TBD)	E5 METAL CANOPY	E7 STOREFRONT GLAZING	E9 JULIETTE BALCONY
E2 EIFS1 (DARK-TBD)	E4 EIFS BANDING1 CHARCOAL	E6 SPANDREL PANEL	E8 VINYL WINDOW	

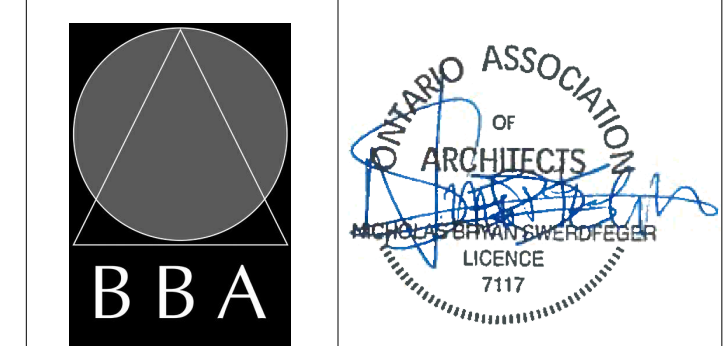
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NO.	ISSUES	DATE	BY
1	SPA	Dec 09 2022	AA
2	SPA.R1	Nov 03 2023	AA
3	SPA.R2	Jan 26 2024	AA
4	ISSUED FOR PERMIT	Apr 30 2024	RG
5	ISSUED FOR PERMIT AND TENDER	Aug 30 2024	RG
6	ADDENDUM # 1	Sep 10, 2024	RG

NO.	REVISIONS	DATE	BY

PROJECT:
Mixed-Use Building Development (BLDG.#3) PHASE 1
1697 Durham Regional Hwy 2, Courtice, ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
ELEVATIONS



DESIGN BY: AA
DRAWN BY: AA/JP
CHECKED BY: AA/NS
DATE: 2023-11-03
SCALE: As indicated
FILE: Drawings - Current - CECC.RVT

PROJECT NO: **21046**
DRAWING NO: **A301**

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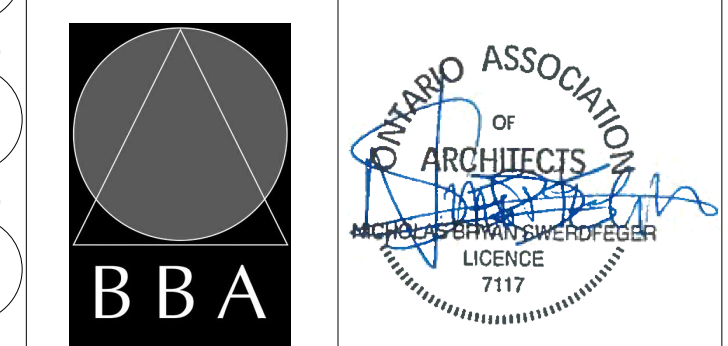
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30, 2024	RG
2	ISSUED FOR PERMIT AND TENDER	Aug 30, 2024	RG
3	ADDENDUM # 1	Sep 10, 2024	RG

NO.	REVISIONS	DATE	BY

PROJECT:
**Mixed-Use Building
Development (BLDG.#3)
PHASE 1**

1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
MILLWORK DETAILS

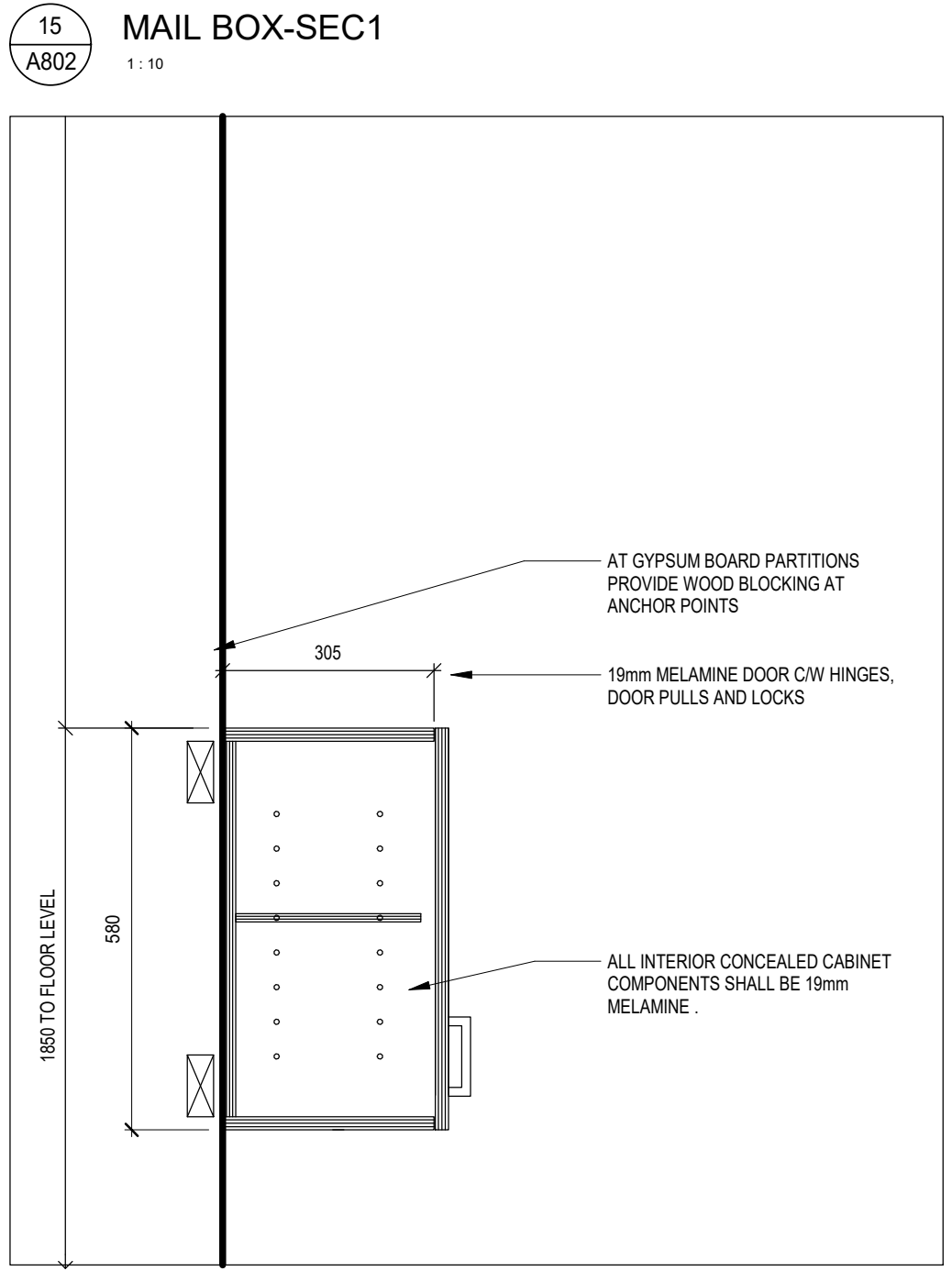
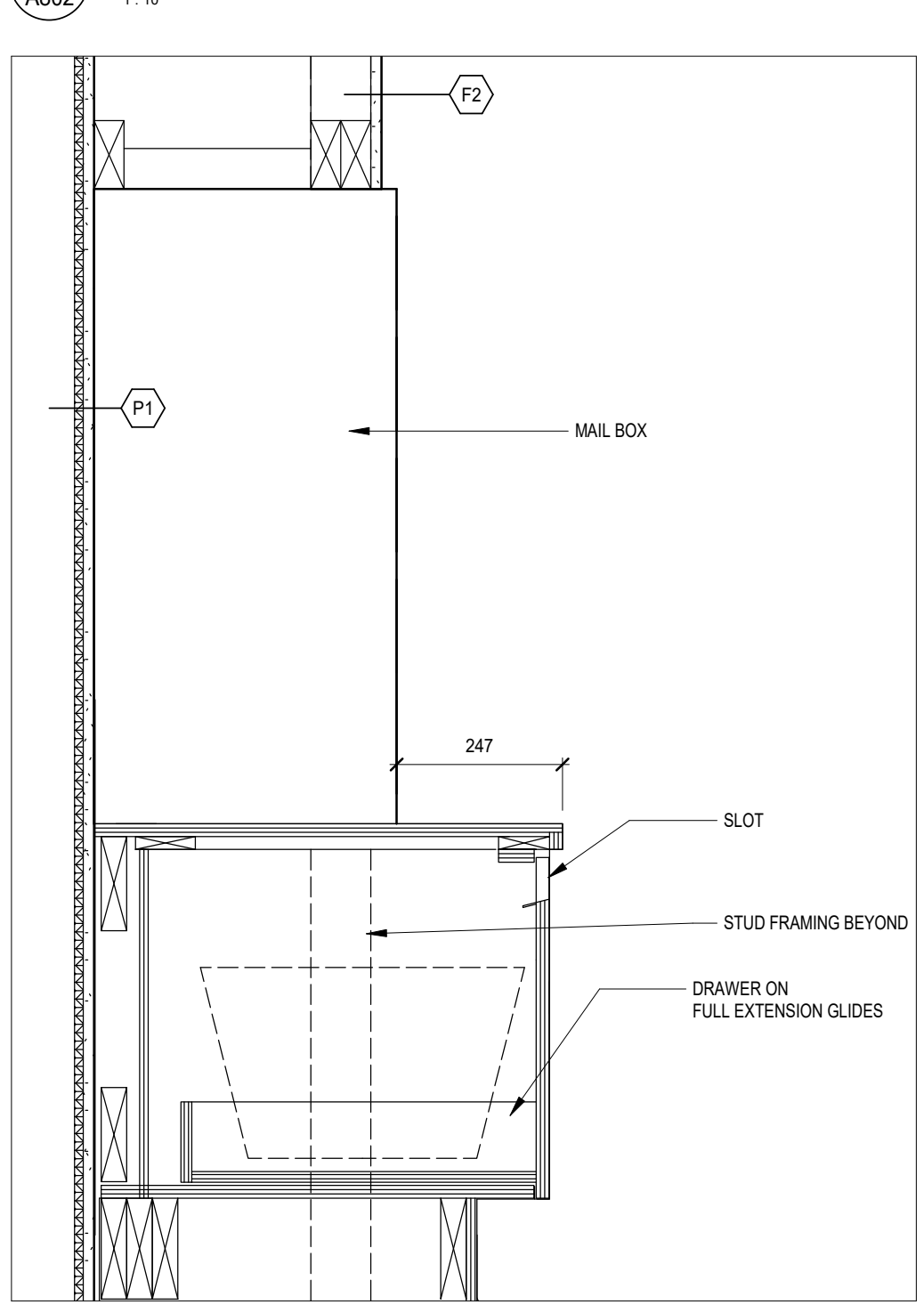
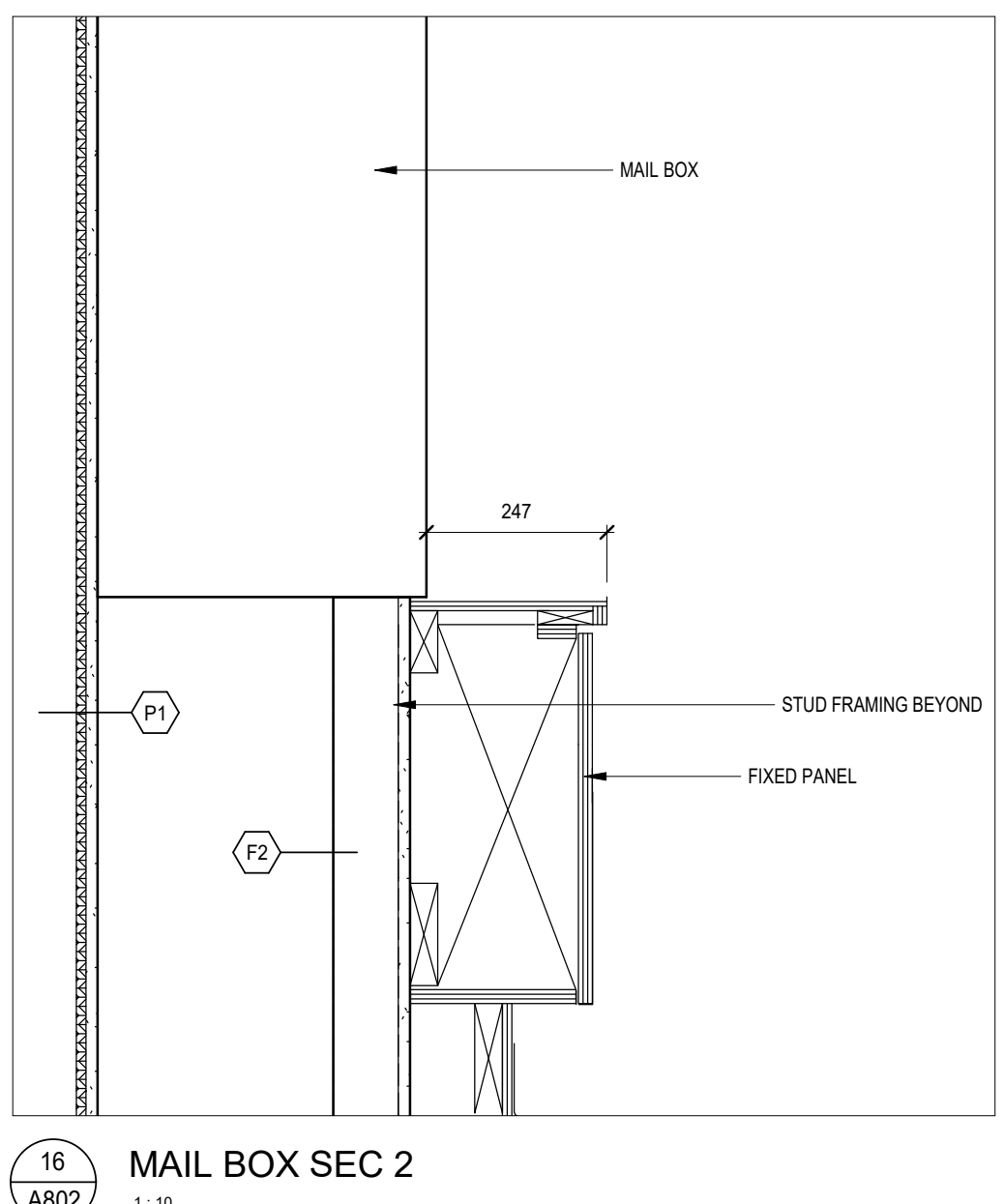
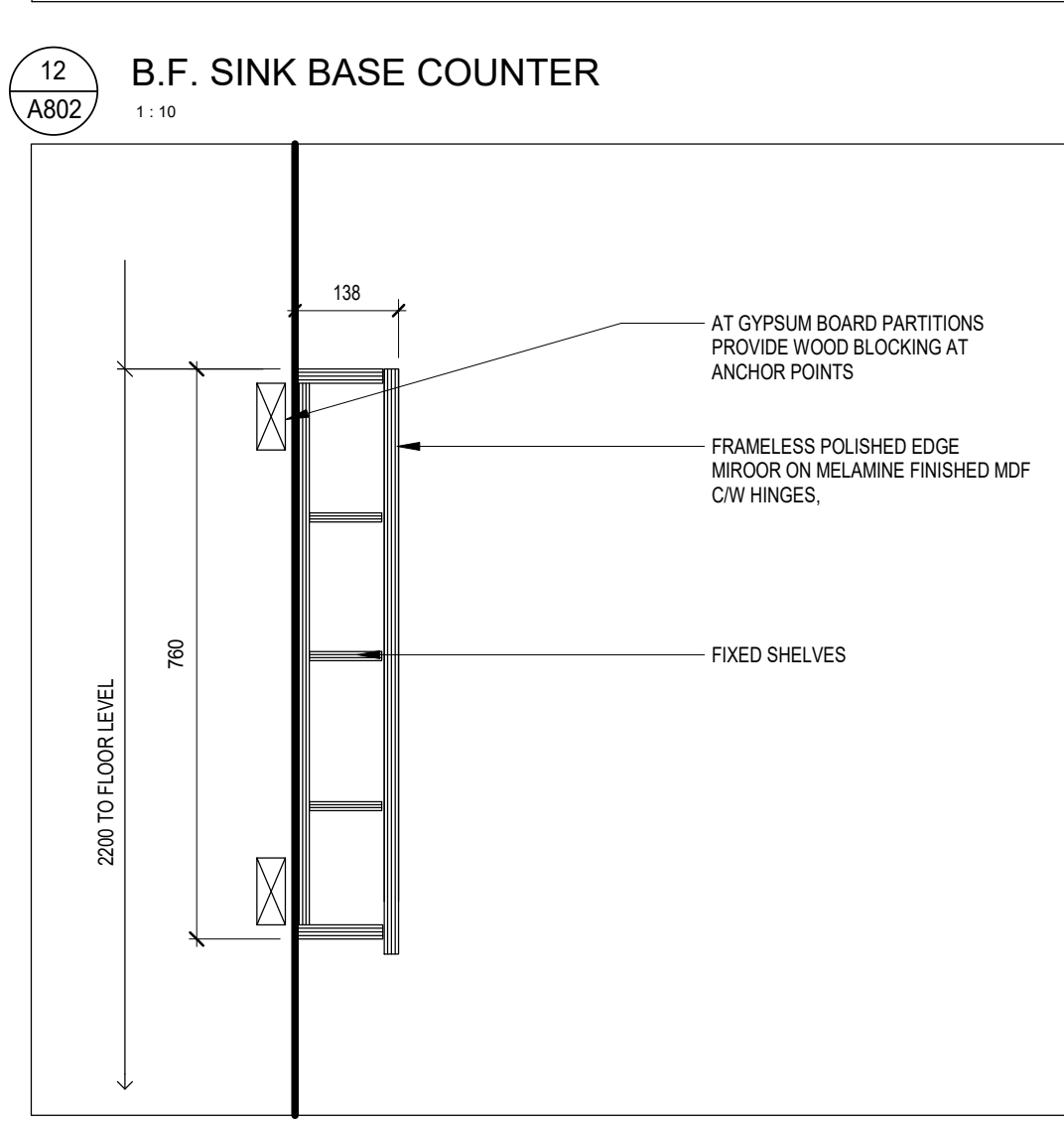
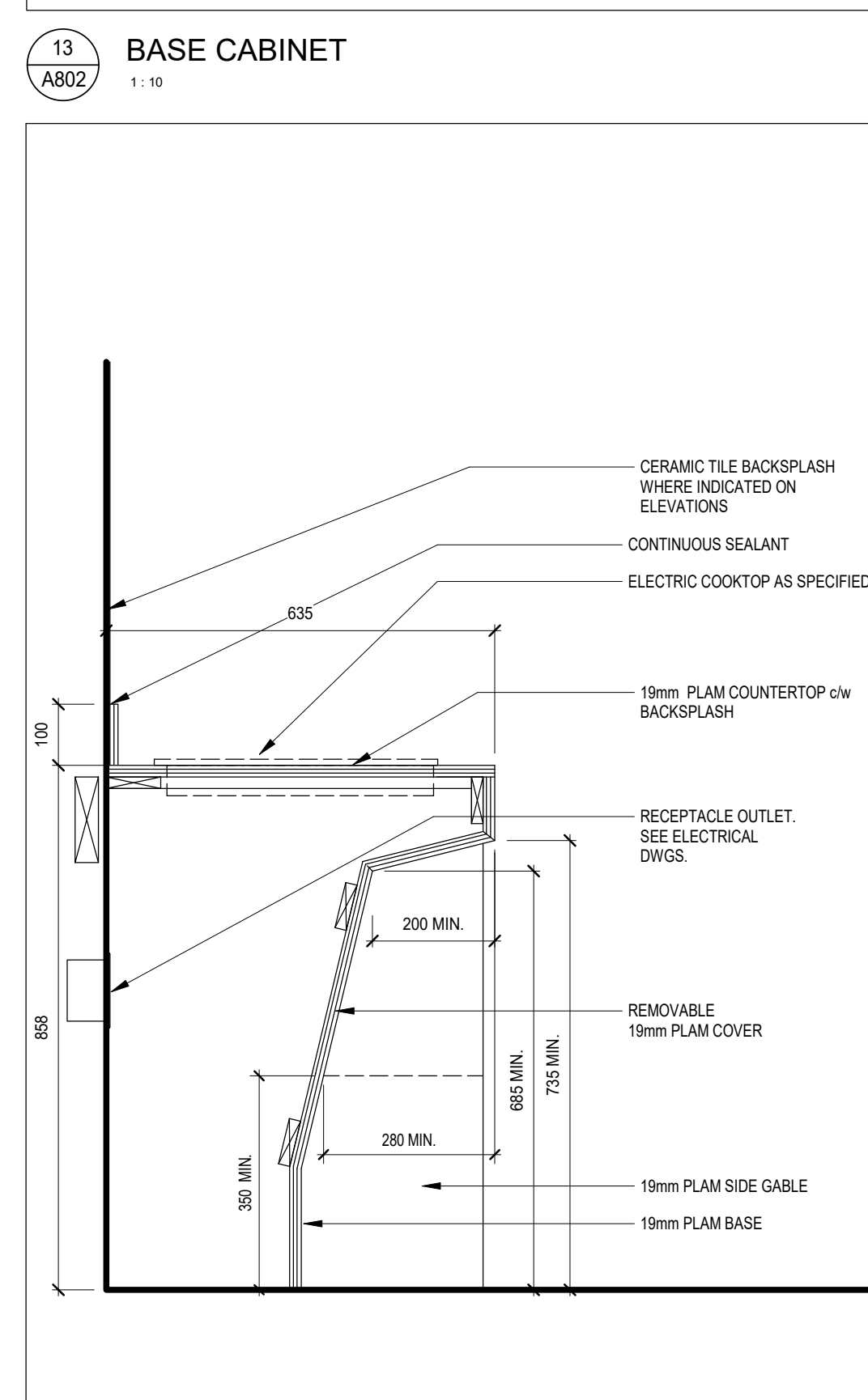
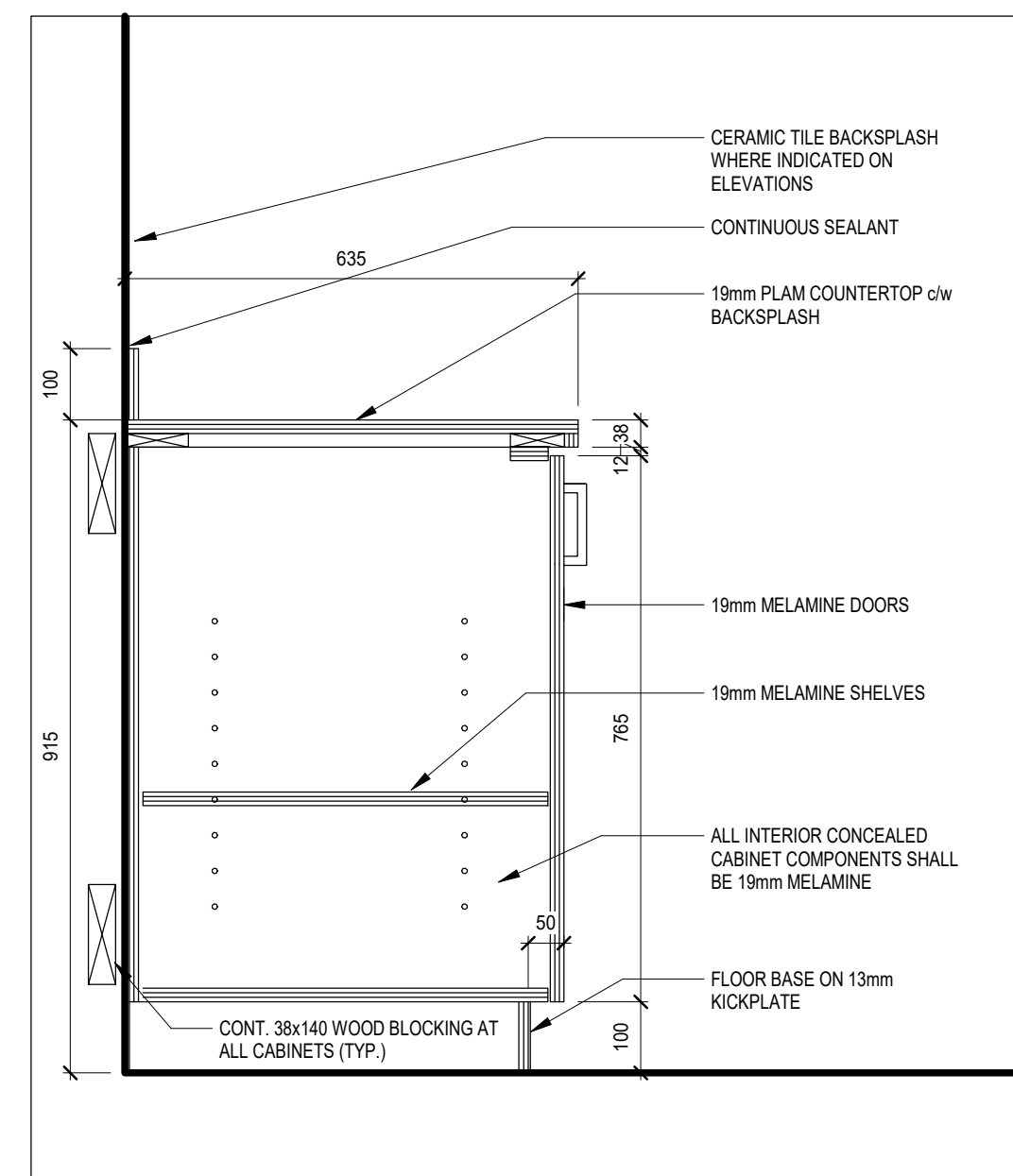
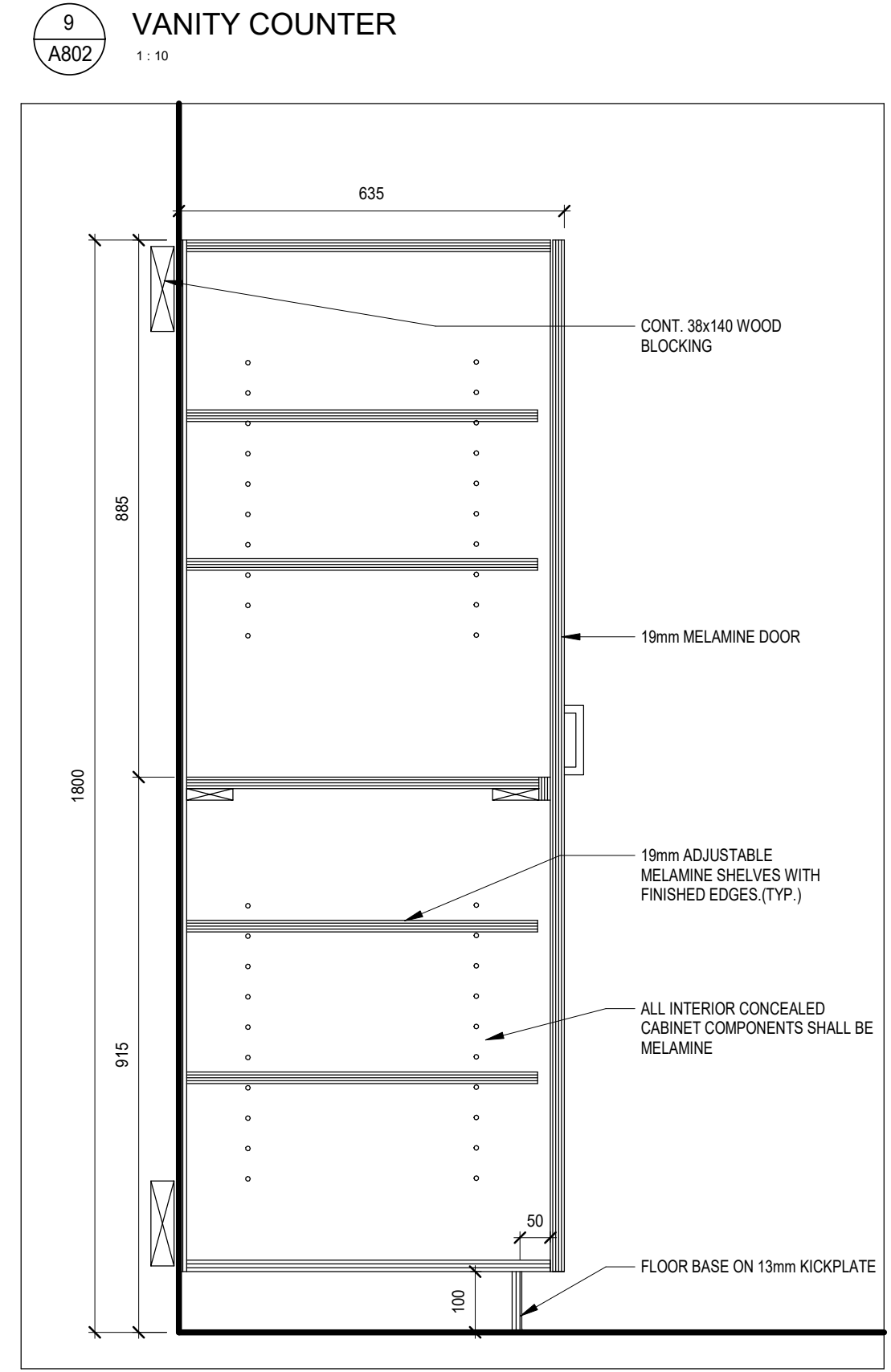
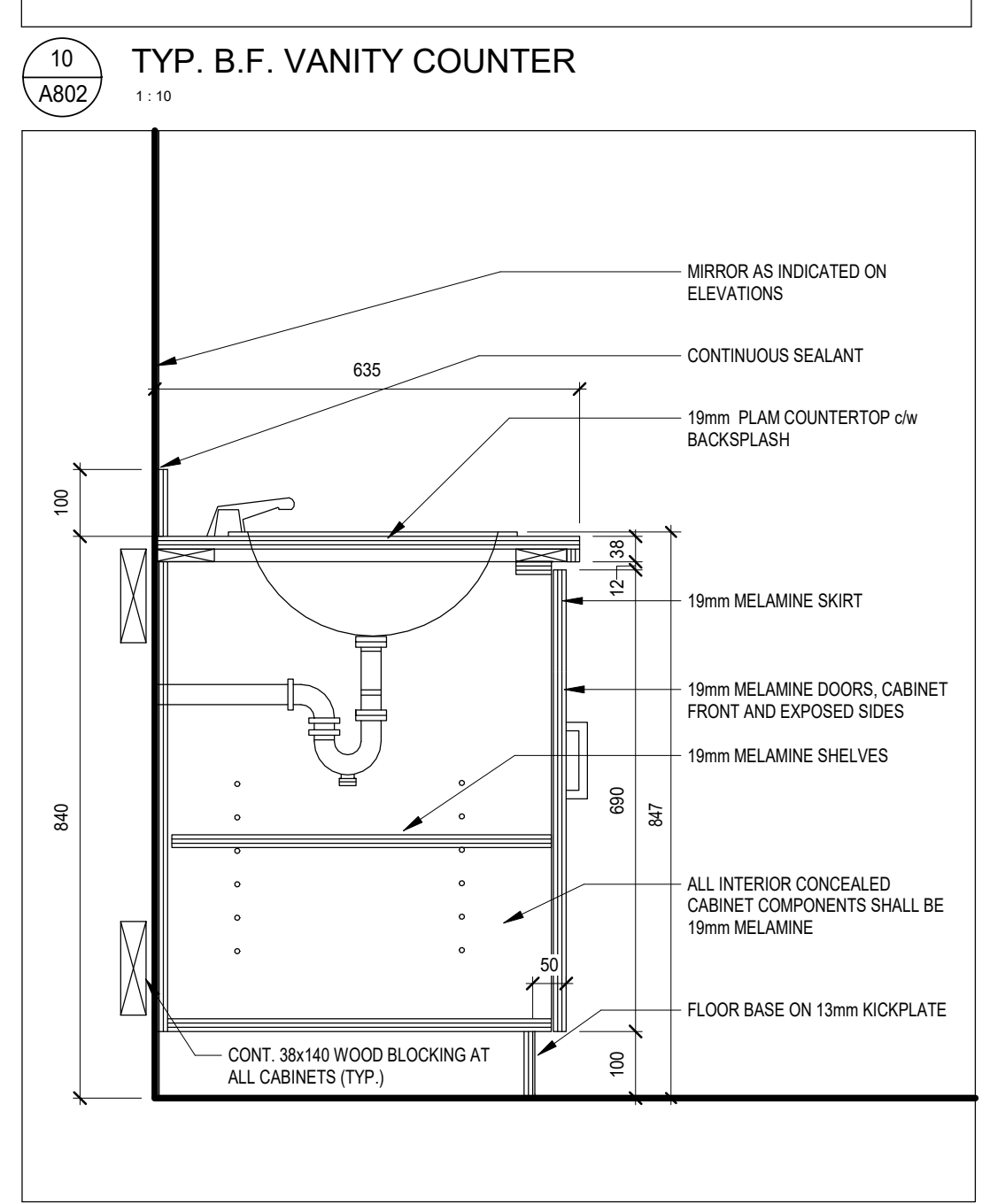
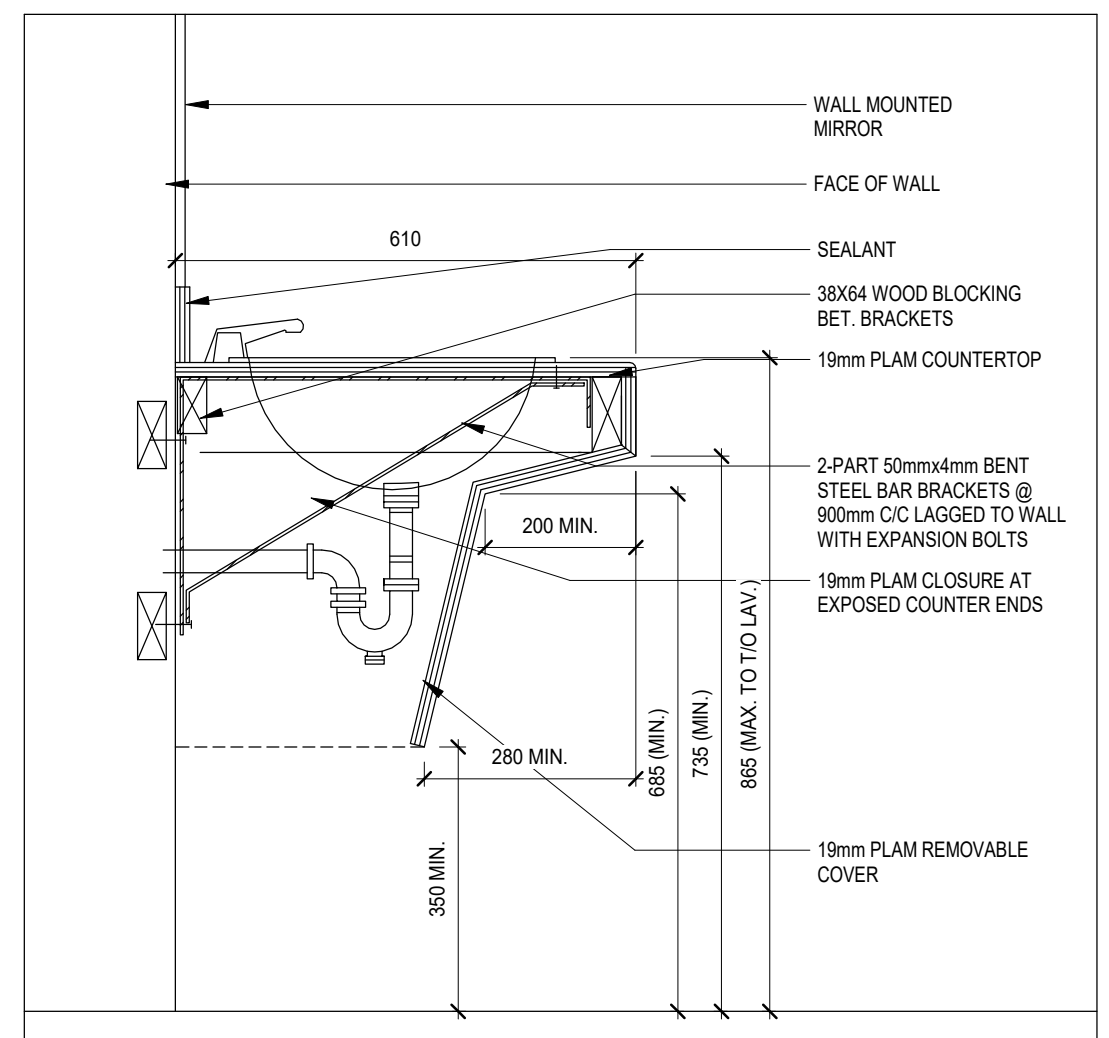
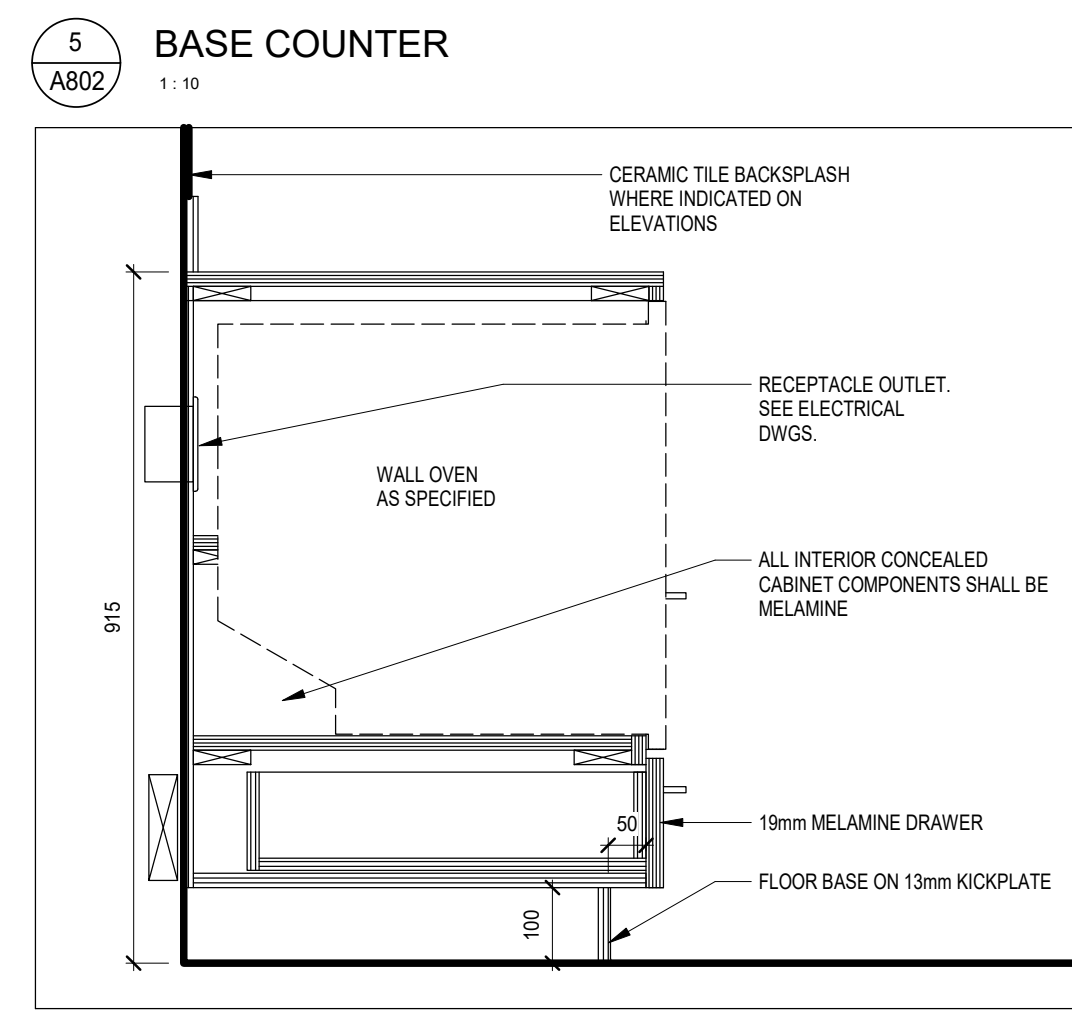
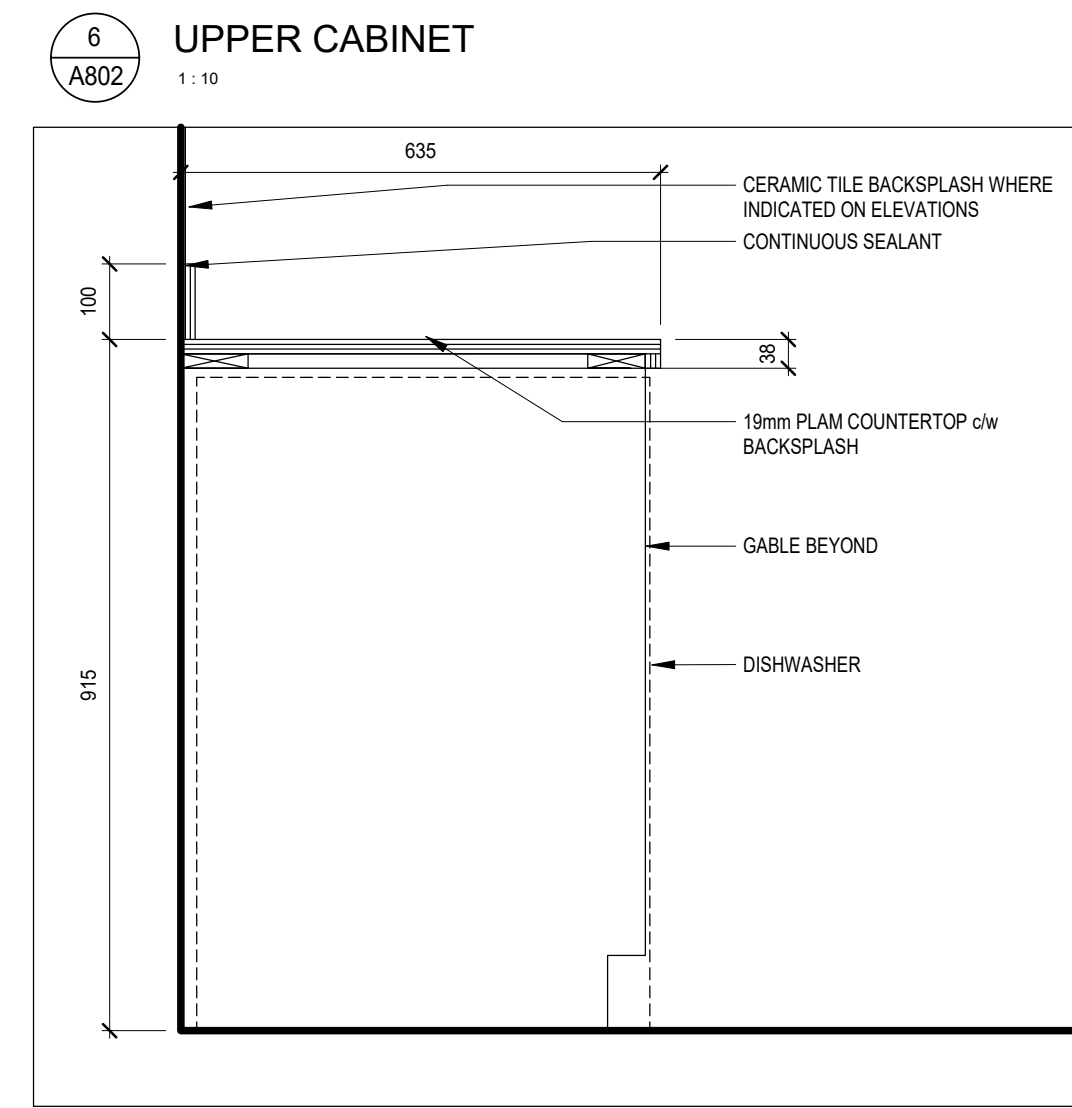
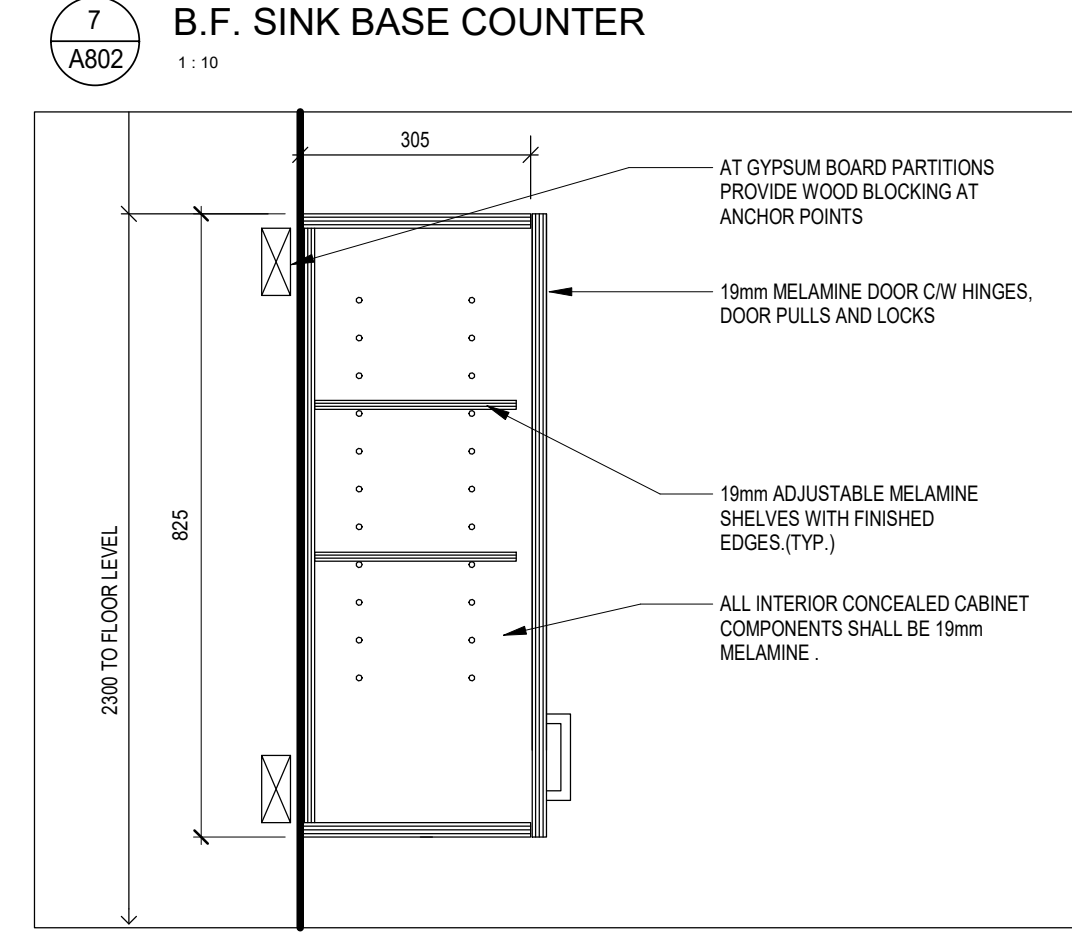
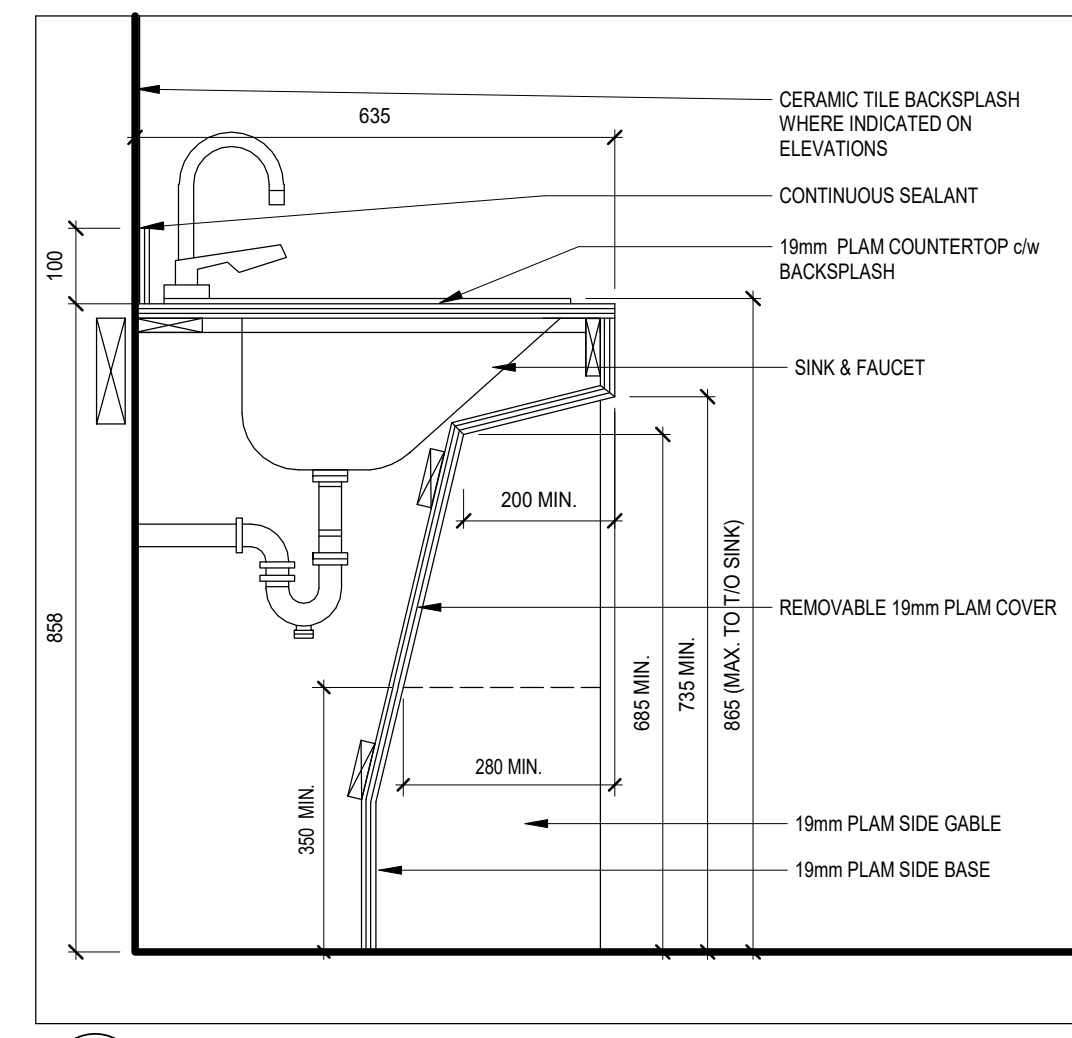
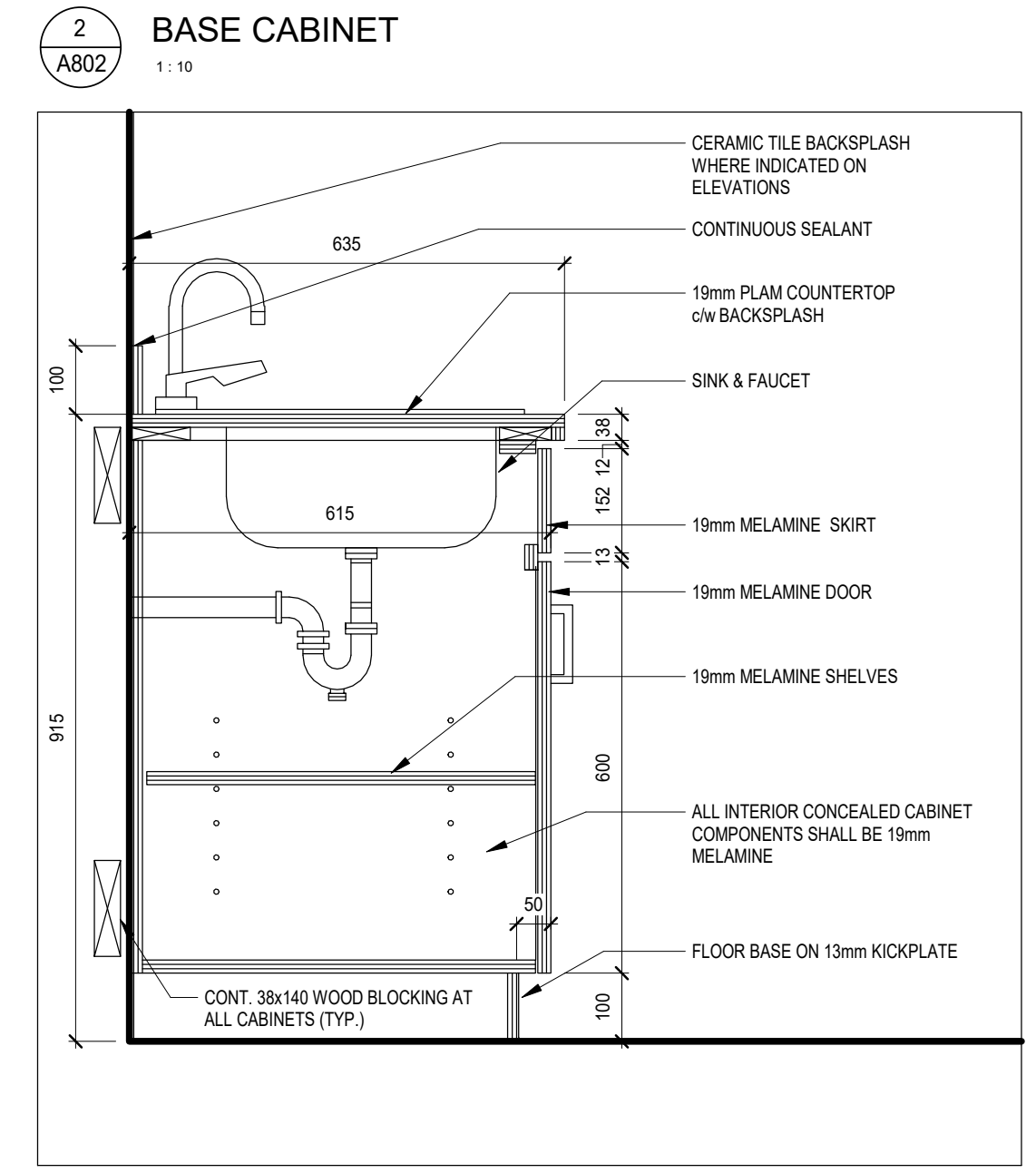
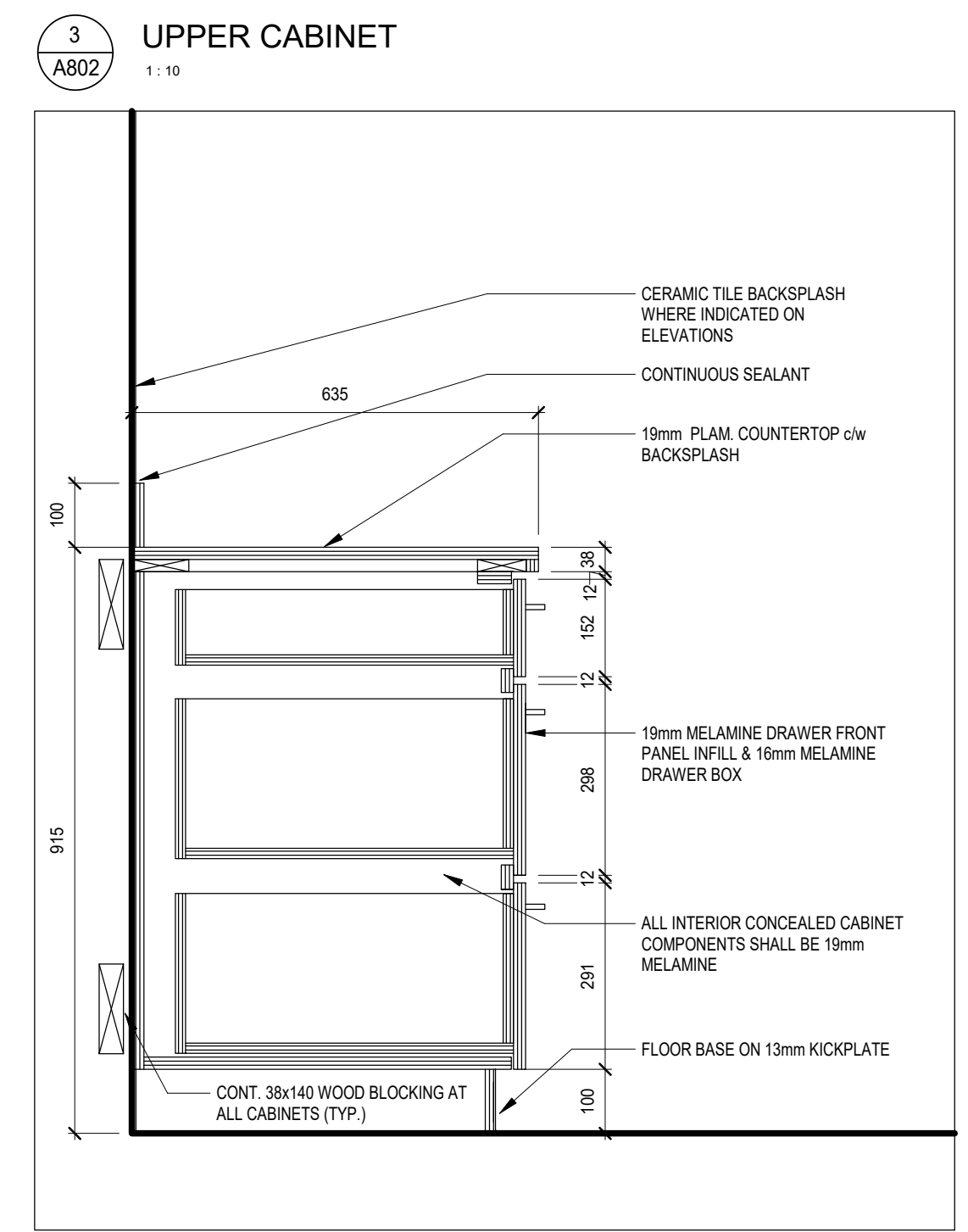
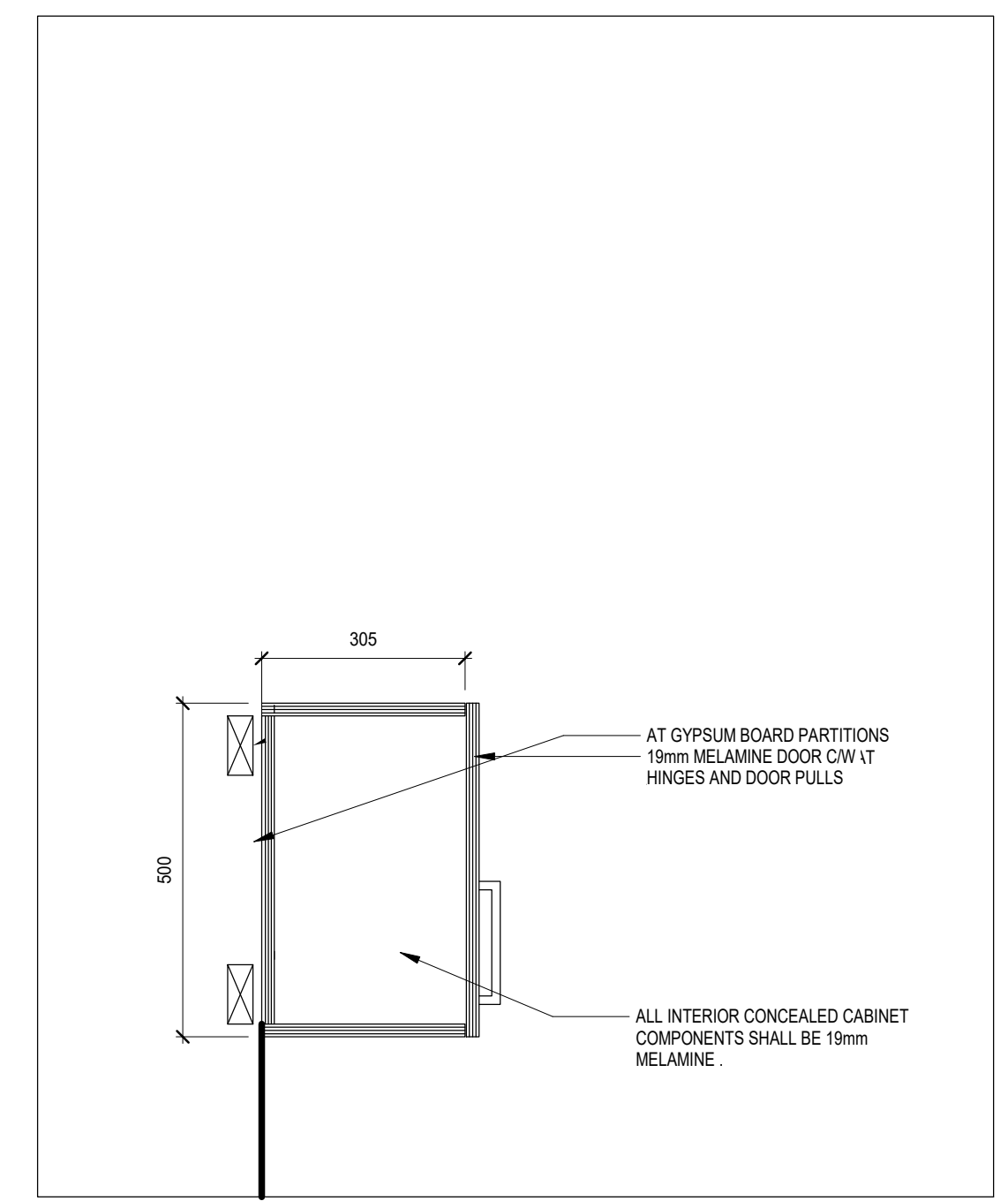


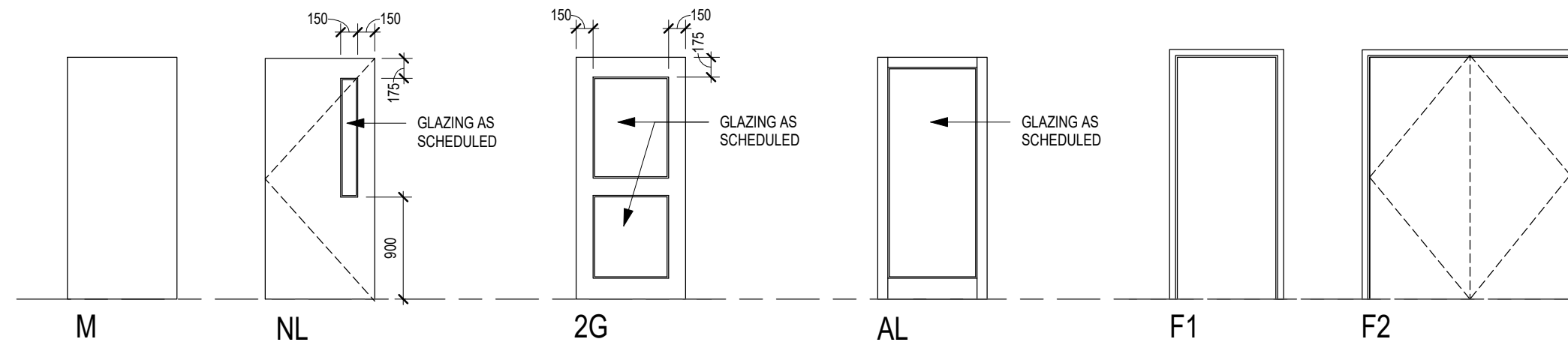
BARRY BRYAN ASSOCIATES
Architects
Engineers
Project Managers

DESIGN BY: BBA
DRAWN BY: NV
CHECKED BY: Checker
DATE: 05/07/20
SCALE: 1:10
FILE: Drawings - Current - CECC.RVT

201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-arch.com

PROJECT NO: **21046**
DRAWING NO: **A802**





DOOR TYPES

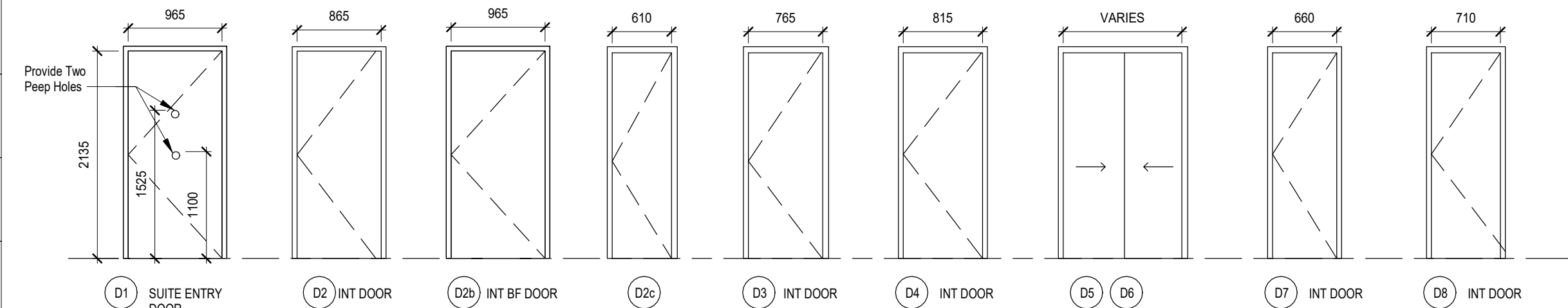
FRAME TYPES

GLAZING LEGEND

GL1 INSULATED DOUBLE GLAZED SEALED UNITS (EXTERIOR)
SP1 INSULATING GLAZED SPANDREL UNITS

GENERAL NOTES

- GLASS PANELS IN DOORS TO COMPLY WITH BARRIER FREE VISIBILITY REQUIREMENTS.
- ALL EXTERIOR DOORS TO HAVE THERMALLY BROKEN INSULATED FRAMES.
- PREPARE DOORS AND FRAMES FOR ELECTRONIC HARDWARE WHERE INDICATED AND WHERE REQUIRED. CONDUITS SHALL BE CONCEALED.
- ALL DOORS IN FIRE SEPARATION LOCATIONS SHALL HAVE LATCHING DEVICE.
- ALL DOORS TO BE OFFSET FROM WALL 100mm ON HINGED SIDE U.N.O.
- DOOR SCHEDULE: STAIRS SHOWS TYPICAL DOORS AT STAIRWELLS. PROVIDE QUANTITIES AS REQUIRED. (ONE PER FLOOR) WHERE APPLICABLE.
- DOOR SCHEDULE: UNITS SHOWS TYPICAL DOOR TYPES AT EACH RESIDENTIAL UNIT. PROVIDE QUANTITIES AS REQUIRED.



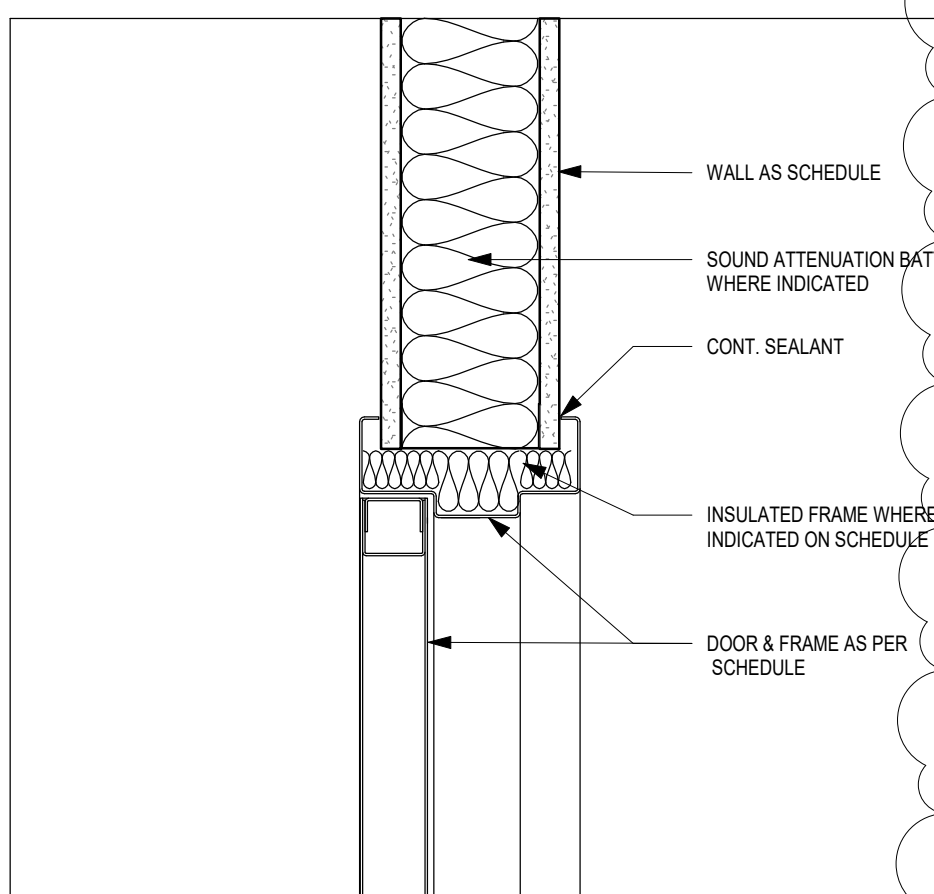
SUITE DOOR TYPES

DOOR SCHEDULE MAIN BUILDING AREAS

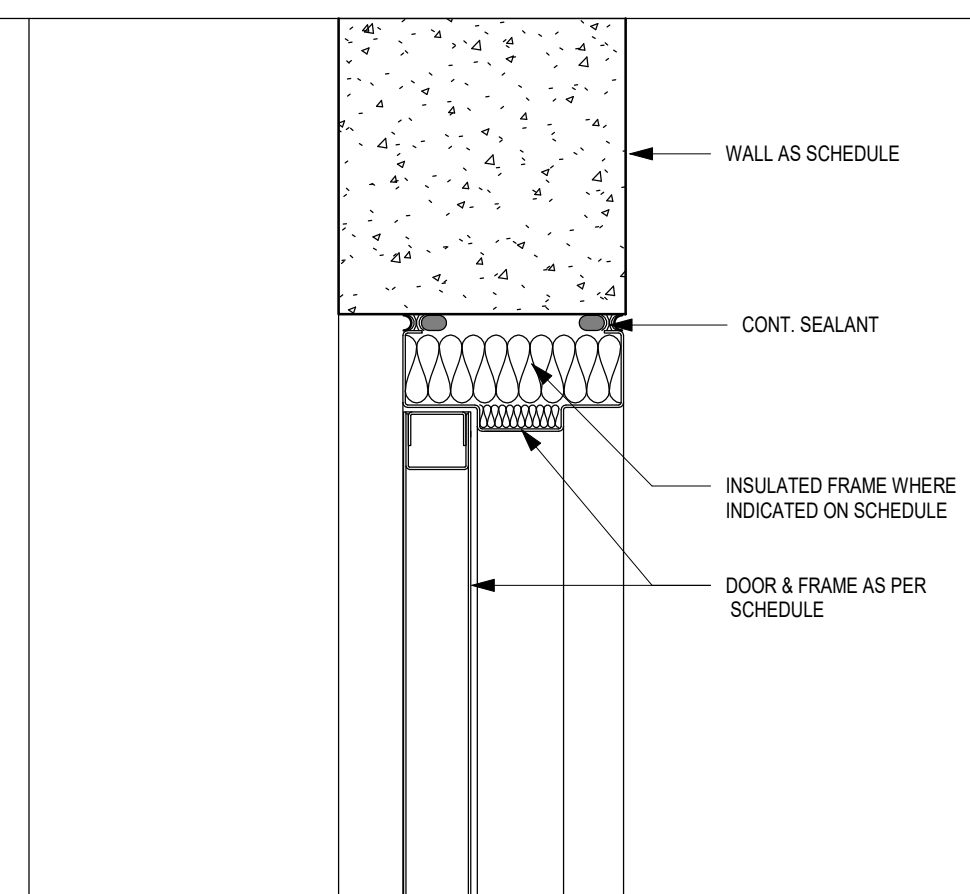
DOOR NO.	SINGLE / PAIR	PANEL 1	PANEL 2	HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	GLASS	FRAME TYPE	JAMB DETAIL	HEAD DETAIL	FRAME MATERIAL	FRAME FINISH	FIRE RATING	EXTERIOR	DOOR OPERATOR	BUTT HINGE	EXIT / PANIC DEVICE	PUSH PLATE / DOOR PULL	LOCKSET	LATCHSET	PRIVACY SET	PUSH TO LOCK	CLOSER	DOOR STOP	KICKPLATE	THRESHOLD	WEATHERSTRIPPING	DOOR SWEEP	CARD READER	MAGLOCK	ELECTRIC STRIKE	HARDWARE GROUP	COMMENTS			
1ST FLOOR																																						
107	PAIR	965	965	2150	44	NL	HM	PAINT		F2	J3	H3	PS	PAINT																						Provide Elec Strike For Both Doors		
107a	SINGLE	965		2135	44	M	HM	PAINT		F1	J1	H1	PS	PAINT	1.5HR																							
107b	SINGLE	965		2150	44	M	HM	PAINT		F1	J3	H3	PS	PAINT																								
109	PAIR	965	965	2150	44	NL	HM	PAINT		F2	J3	H3	PS	PAINT																							Provide Elec Strike For Both Doors	
109a	PAIR	965	965	2150	44	M	HM	PAINT		F2	J1	H1	PS	PAINT	3/4HR																							
109c	SINGLE	965		2135	44	M	HM	PAINT		F1	J1	H1	PS	PAINT																								
109d	SINGLE	965		2135	44	M	HM	PAINT		F1	J1	H1	PS	PAINT	1.5HR																							
110	PAIR	985	985	2182	44	AL	GLASS		GL1	F1	J3	H3	-																							Provide Elec Strike For Both Doors		
110a	PAIR	965	965	2135	44	2G	HM	PAINT	GL2	F1	J1	H1	PS	PAINT																								
112	PAIR	965	965	2150	44	2G	HM	PAINT	GL2	F2	J1	H1	PS	PAINT																							Provide Elec Strike For Both Doors	
112a	SINGLE	965		2135	44	M	HM	PAINT		F1	J1	H1	PS	PAINT																								
112b	SINGLE	965		2135	44	M	HM	PAINT		F1	J1	H1	PS	PAINT																								
113	SINGLE	965		2135	44	NL	HM	PAINT					PS	PAINT	3/4HR																							
113a	SINGLE	965		2150	44	NL	HM	PAINT			J3	H3	PS	PAINT																								
S1-01	SINGLE	965		2150	44	NL	HM	PAINT		F1	J2	H2	PS	PAINT	3/4HR																							
S1-01A	SINGLE	965		2150	44	NL	HM	PAINT			J4	H4	PS	PAINT																								
S2-01	SINGLE	965		2150	44	NL	HM	PAINT		F1	J2	H2	PS	PAINT	3/4HR																							
S2-01A	SINGLE	965		2150	44	NL	HM	PAINT		F1	J4	H4	PS	PAINT																								
2ND FLOOR																																						
201	PAIR	715	715	2150	44	M	HM	PAINT		F2	J1	H1	PS	PAINT	3/4HR																							
202	SINGLE	965		2150	44	NL	HM	PAINT		F1	J1	H1	PS	PAINT	3/4HR																							
S1-02	SINGLE	965		2150	44	NL	HM	PAINT		F1	J1	H1	PS	PAINT	3/4HR																							
S2-02	SINGLE	965		2135	44	NL	HM	PAINT		F1	J1	H1	PS	PAINT	3/4HR																							
3RD FLOOR																																						
301	PAIR	715	715	2150	44	M	HM	PAINT		F2	J1	H1	PS	PAINT																								
302	SINGLE	965		2135	44	NL	HM	PAINT		F1	J1	H1	PS	PAINT																								
S1-03	SINGLE	965		2150	44	NL	HM	PAINT		F1	J2	H2	PS	PAINT																								
S2-03	SINGLE	965		2135	44	NL	HM	PAINT		F1	J1	H1	PS	PAINT																								
4TH FLOOR																																						
401	PAIR	715	715	2150	44	M	HM	PAINT		F2	J1	H1	PS	PAINT	3/4HR																							
402	SINGLE	965		2135	44	NL	HM	PAINT		F1	J1	H1	PS	PAINT	3/4HR																							
S1-04	SINGLE	965		2150	44	NL	HM	PAINT		F1	J2	H2	PS	PAINT	3/4HR																							
S2-04	SINGLE	965		2150	44	NL	HM	PAINT		F1	J2	H2	PS	PAINT	3/4HR																							
5TH FLOOR																																						
501	PAIR	715	715	2150	44	M	HM	PAINT		F2	J1	H1	PS	PAINT	3/4HR																							
502	SINGLE	965		2135	44	NL	HM	PAINT		F1	J1	H1	PS	PAINT	3/4HR																							
S1-05	SINGLE	965		2150	44	NL	HM	PAINT		F1	J2	H2	PS	PAINT	3/4HR																							
S2-05	SINGLE	965		2150	44	NL	HM	PAINT		F1	J2	H2	PS	PAINT	3/4HR																							

DOOR SCHEDULE UNITS

Type Mark	SINGLE / PAIR	PANEL 1	PANEL 2	HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	GLASS	FRAME TYPE	JAMB DETAIL	HEAD DETAIL	FRAME MATERIAL	FRAME FINISH	FIRE RATING	EXTERIOR	DOOR OPERATOR	BUTT HINGE	EXIT / PANIC DEVICE	PUSH PLATE / DOOR PULL	LOCKSET	LATCHSET	PRIVACY SET	PUSH TO LOCK	CLOSER	DOOR STOP	KICKPLATE	THRESHOLD	WEATHERSTRIPPING	DOOR SWEEP	CARD READER	MAGLOCK	ELECTRIC STRIKE	HARDWARE GROUP	COMMENTS		
D1	SINGLE	965		2150	44	M	SCW	PAINT		F1	J1	H1	PS	PAINT	20mm																						
D2	SINGLE	965		2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							
D2b	SINGLE	965		2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							
D2c	SINGLE	610		2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							
D3	SINGLE	765		2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							
D4	SINGLE	815		2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							
D4	PAIR	610	610	2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							
D6	PAIR	782	782	2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							
D7	SINGLE	660		2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							
D8	SINGLE	710		2030	44	M	HCW	PAINT		F1	J5	H5	WD	PAINT																							



DETAIL H1



DETAIL H2

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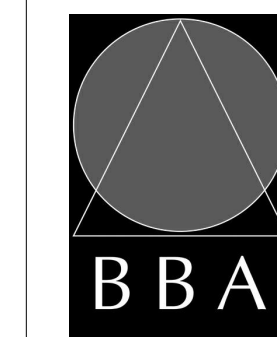
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMIT	Apr 30, 2024	RG
2	ISSUED FOR PERMIT AND TENDER	Aug 30, 2024	RG
3	ADDENDUM # 1	Sep 10, 2024	RG

NO.	REVISIONS	DATE	BY

PROJECT:
**Mixed-Use Building
Development (BLDG.#3)
PHASE1**

1697 Durham Regional Hwy 2, Courtice,
ON L1E 2R5
RH Gay Holdings Co.

DRAWING:
GLAZING SCHEDULE



**BARRY BRYAN
ASSOCIATES**

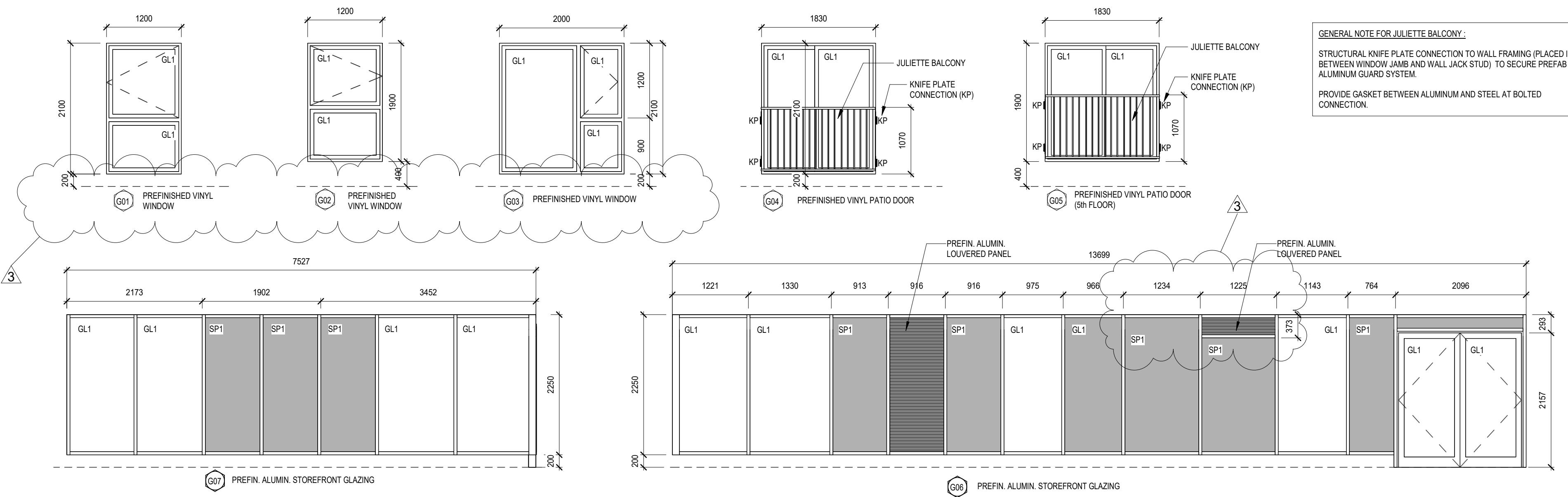
Architects
Engineers
Project Managers

201-250 Water Street
Whitby Ontario L1N 0G8
Tel: (905) 666-0262
Fax: (905) 666-5258
e-mail: bba@bba-arch.com



DESIGN BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 2023-11-03
SCALE: As indicated
FILE: Drawings - Current - CECC.RVT

PROJECT NO: **21046**
DRAWING NO: **A902**



3

Sept 11, 2024
Project: 7393

Barry Bryan Associates (BBA)
201-250 Water Street
Whitby, Ontario
L1N 0G5

Attention: Robin George

Mechanical Addendum No. M1

Project: 1697 Hwy#2, Clarington, Ontario

General

The following shall constitute the mechanical portion of the addendum to be issued by BBA, Architect. Bidders are to include the following in the tender price.

1. Drawing M13

1. Dryer vent sizes adjusted to coordinate with lintel.

2. Drawing M13-M17

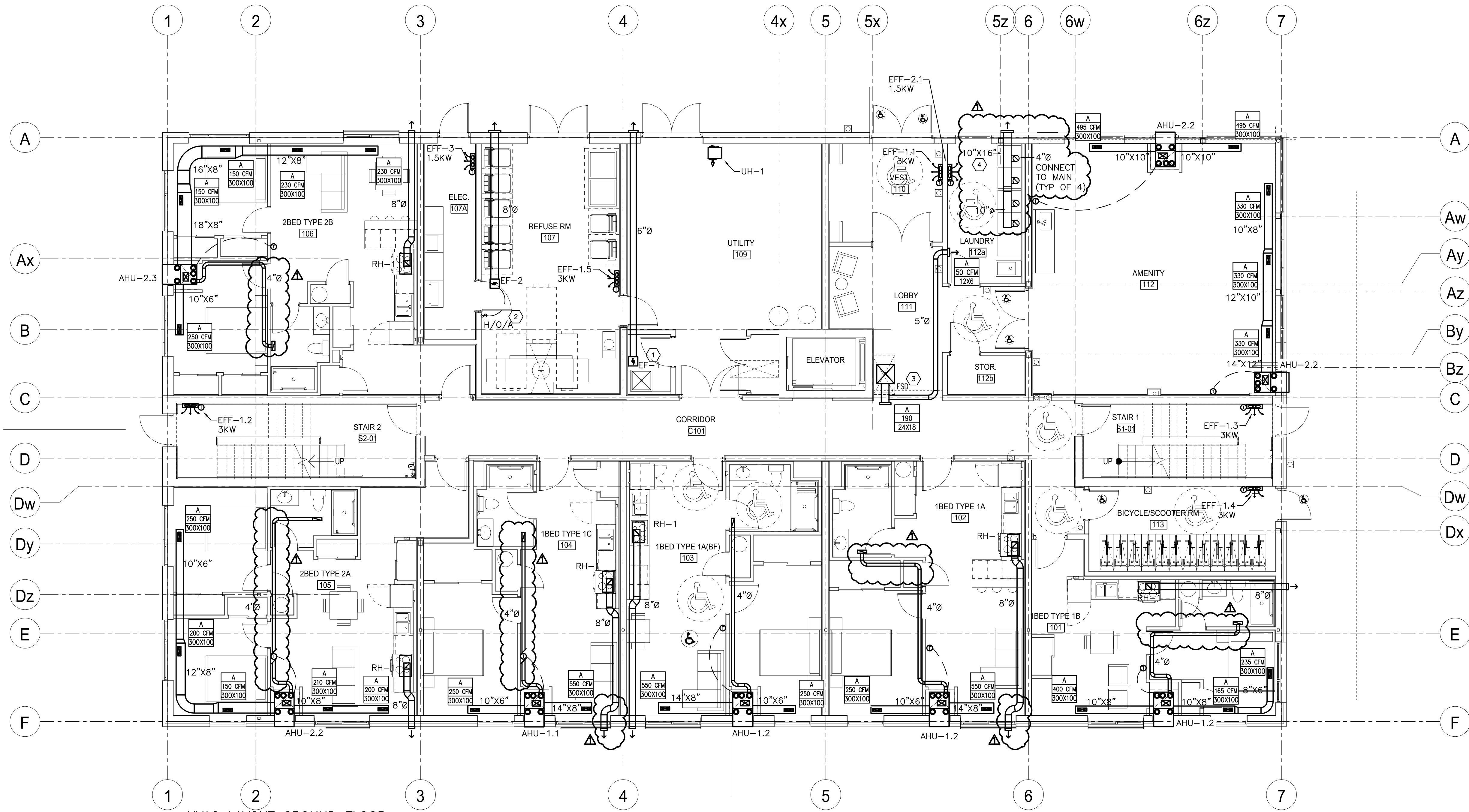
1. Some suite range hood exhaust routing adjusted to coordinate with lintel. Changes bubbled on drawing.
2. Some suite ERV return ducting adjusted to fit in bulkhead (by architectural). Changes bubbled on drawing.

End of Mechanical Addendum M1



Calvin Muller, P.Eng.
Mechanical Engineer





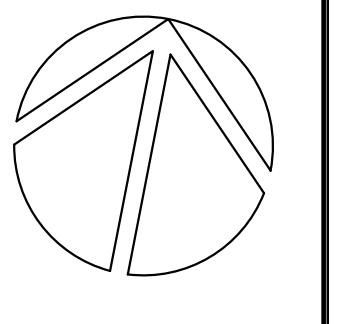
HVAC LAYOUT GROUND FLOOR
 SCALE: 1:75

- GENERAL NOTES**
- INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
 - ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL.
 - AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.
 - SUITE WASHROOM EXHAUST IS INTEGRAL TO SUITE AIR HANDLING UNIT ERV SYSTEM.

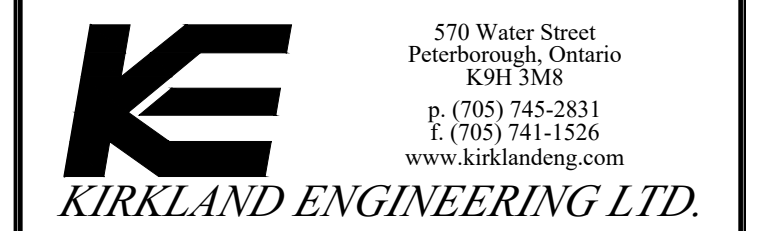
- DRAWING NOTES**
- EXHAUST FAN CONTROL INTERLOCKED WITH LIGHTING CONTROLS. EXHAUST FAN SUPPLIED AND INSTALLED BY MECHANICAL, CONTROLS BY ELECTRICAL.
 - HAND/OFF/AUTO FOR GARBAGE ROOM, BY MECHANICAL, ON AUTO SHALL BE SET TO RUN CONTINUOUSLY.
 - FSD TO BE SUPPLIED AND INSTALLED BY MECHANICAL. POWER AND INTERCONNECTION WITH SMOKE DETECTOR BY ELECTRICAL.
 - DRYER VENT SIZE WILL BE COORDINATED WITH STRUCTURAL TO SUIT LITEL. ANY CHANGES WILL BE REFLECTED IN A FUTURE ADDENDUM.

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR TENDER	2024.08.29	CSM

REVISIONS
 Kirkland Engineering Ltd BCIN: 28857



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PROJECT
COURTICE SENIOR DEVELOPMENT
 1697 HIGHWAY No 2
 CLARINGTON, ON

TITLE
GROUND FLOOR HVAC

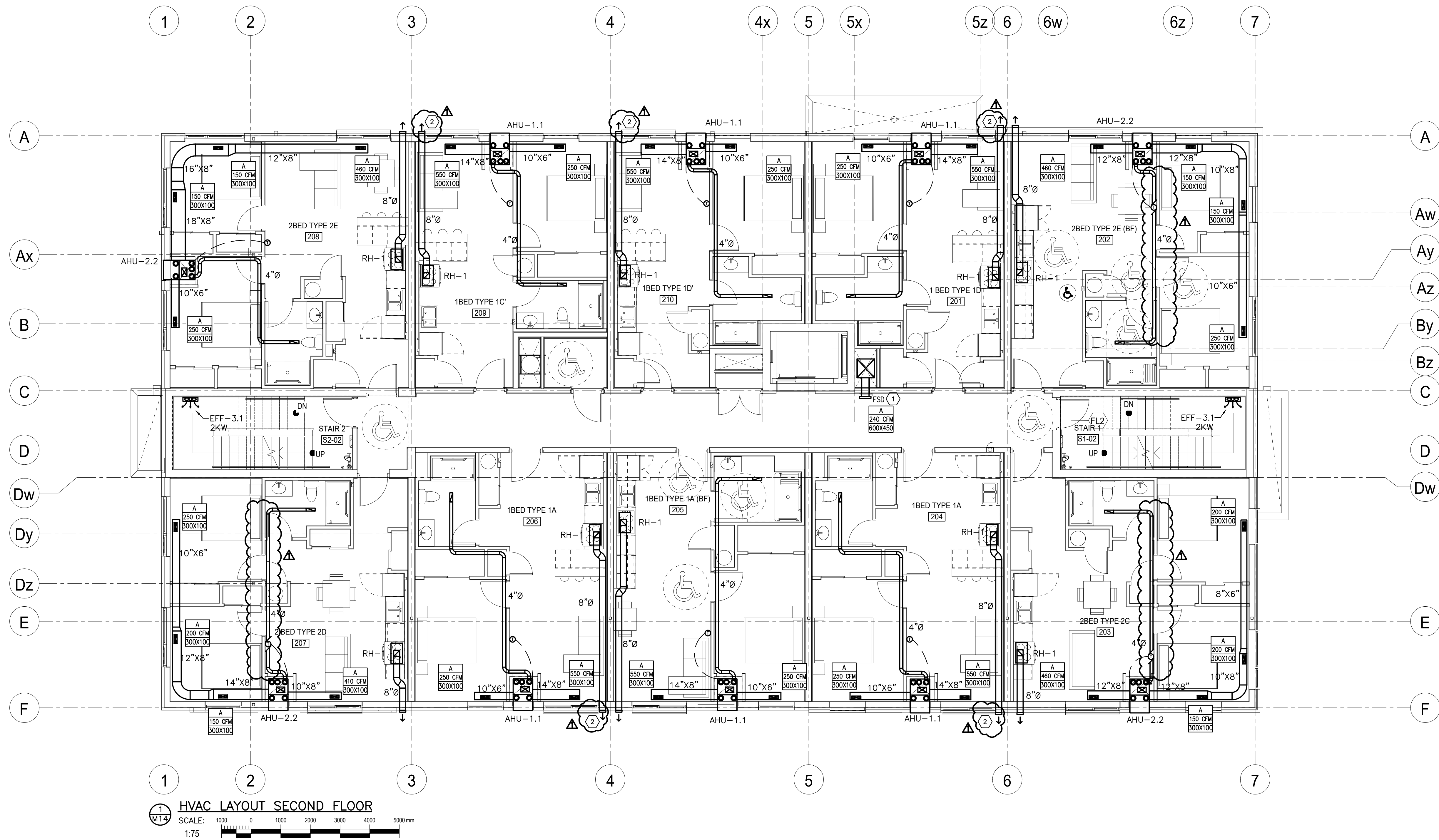
DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	M13
APPROVED	CSM	
PROJECT	7393	

VENTILATION NOTES

- 2 BEDROOM UNIT IS SHOWN, WHICH REQUIRES 46 CFM OF FRESH AIR. EACH HEAT PUMP UNIT PROVIDES 70 CFM FOR FRESH AIR, THEREFORE IS SUFFICIENT FOR BOTH THE TWO BEDROOM AND THE ONE BEDROOM UNITS.

Minimum Fresh Air Requirements				
Room Name	Occupant Load	Square Footage	Occupancy Category (ASHRAE 62.1 Table 6.2.2.1)	Fresh air Required (CFM)
Ground Floor Corridor	0	515	General - Corridor	30.9
Ground Floor Lobby	2	242	General - Conference/meeting	24.52
Ground Floor Laundry	1	135	Hotels/Motels/Resorts/Dorms - Laundry Rooms, central	21.2
2 B/R unit, typ	2	546	Residential - Dwelling Unit	42.76
Total Fresh Air Required				76.62

MUA supplies 190 CFM of fresh air to floor common spaces, satisfying the required ventilation rate of 77 cfm. HP Units to supply 70 CFM, satisfying suite requirements



HVAC LAYOUT SECOND FLOOR
 SCALE: 1:75
 0 1000 2000 3000 4000 5000mm

GENERAL NOTES

1. INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
2. ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL.
3. AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.
4. SUITE WASHROOM EXHAUST IS INTEGRAL TO SUITE AIR HANDLING UNIT ERV SYSTEM.

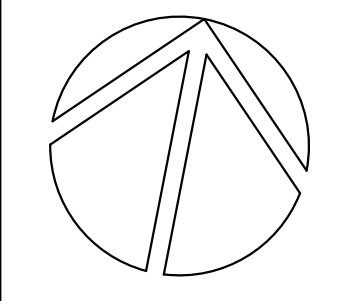
DRAWING NOTES

- 1 FSD TO BE SUPPLIED AND INSTALLED BY MECHANICAL. POWER AND INTERCONNECTION WITH SMOKE DETECTOR BY ELECTRICAL.
- 2 RANGE HOOD EXHAUST LOUVER SIZE AND LOCATION WILL BE COORDINATED WITH STRUCTURAL TO SUIT LINTEL. ANY CHANGES WILL BE REFLECTED IN A FUTURE ADDENDUM.

NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR TENDER	2024.08.29	CSM

REVISIONS

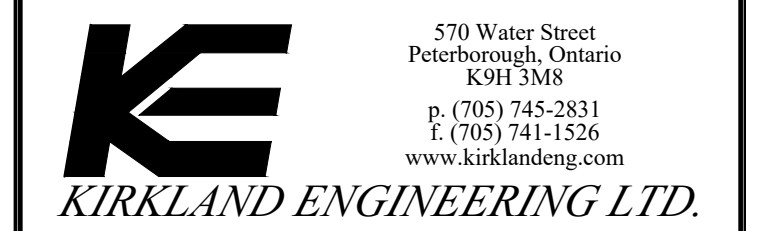
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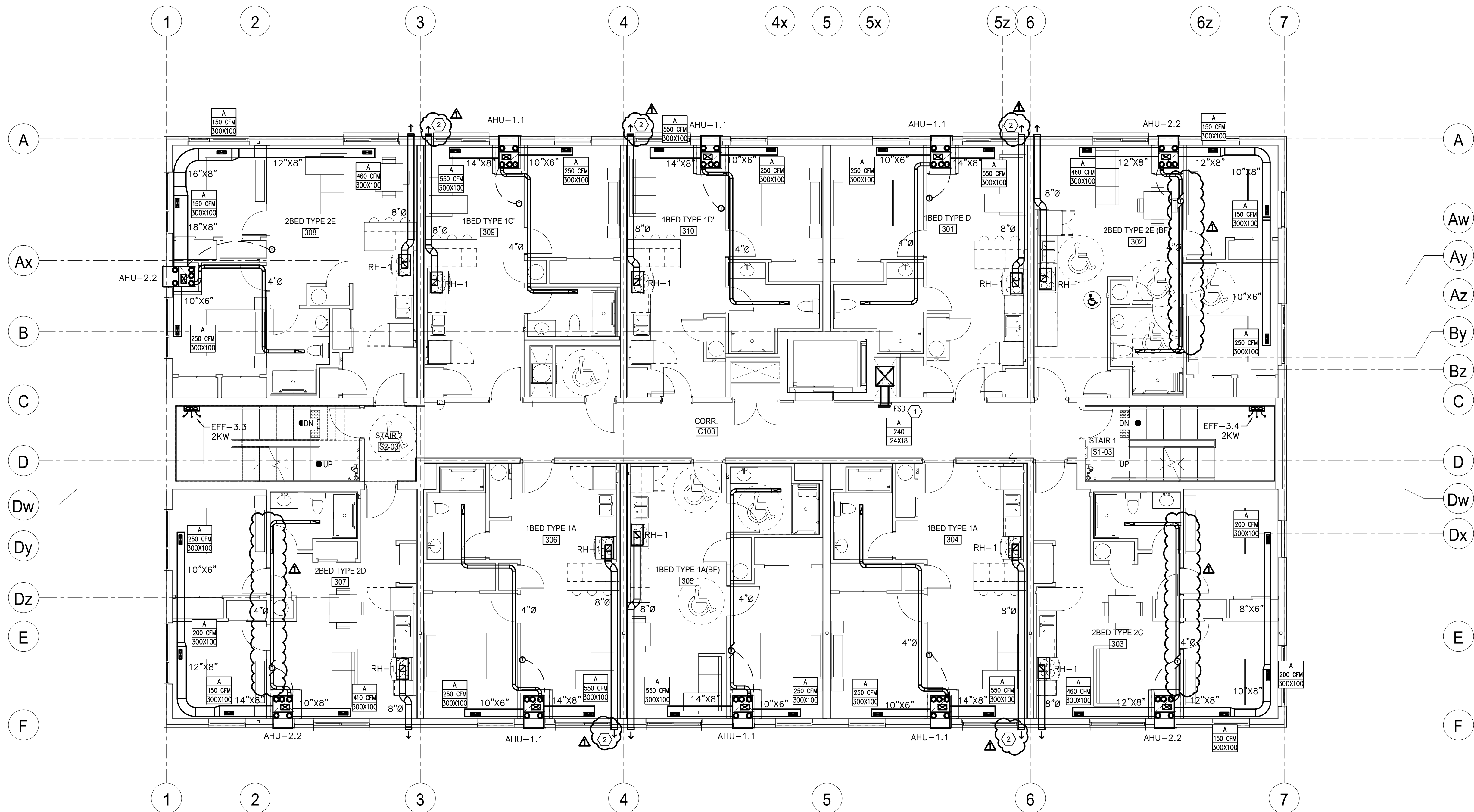
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PROJECT
COURTICE SENIOR DEVELOPMENT
 1697 HIGHWAY No 2
 CLARINGTON, ON

TITLE
SECOND FLOOR HVAC

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	M14
APPROVED	CSM	
PROJECT	7393	



HVAC LAYOUT THIRD FLOOR
 SCALE: 1:75
 1000 0 1000 2000 3000 4000 5000 mm

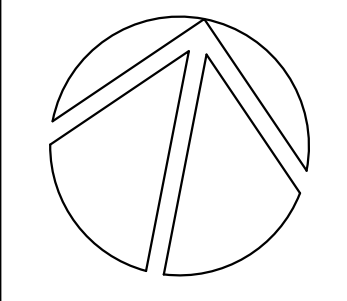
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- DRAWING NOTES**
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NO.	DESCRIPTION	DATE	BY
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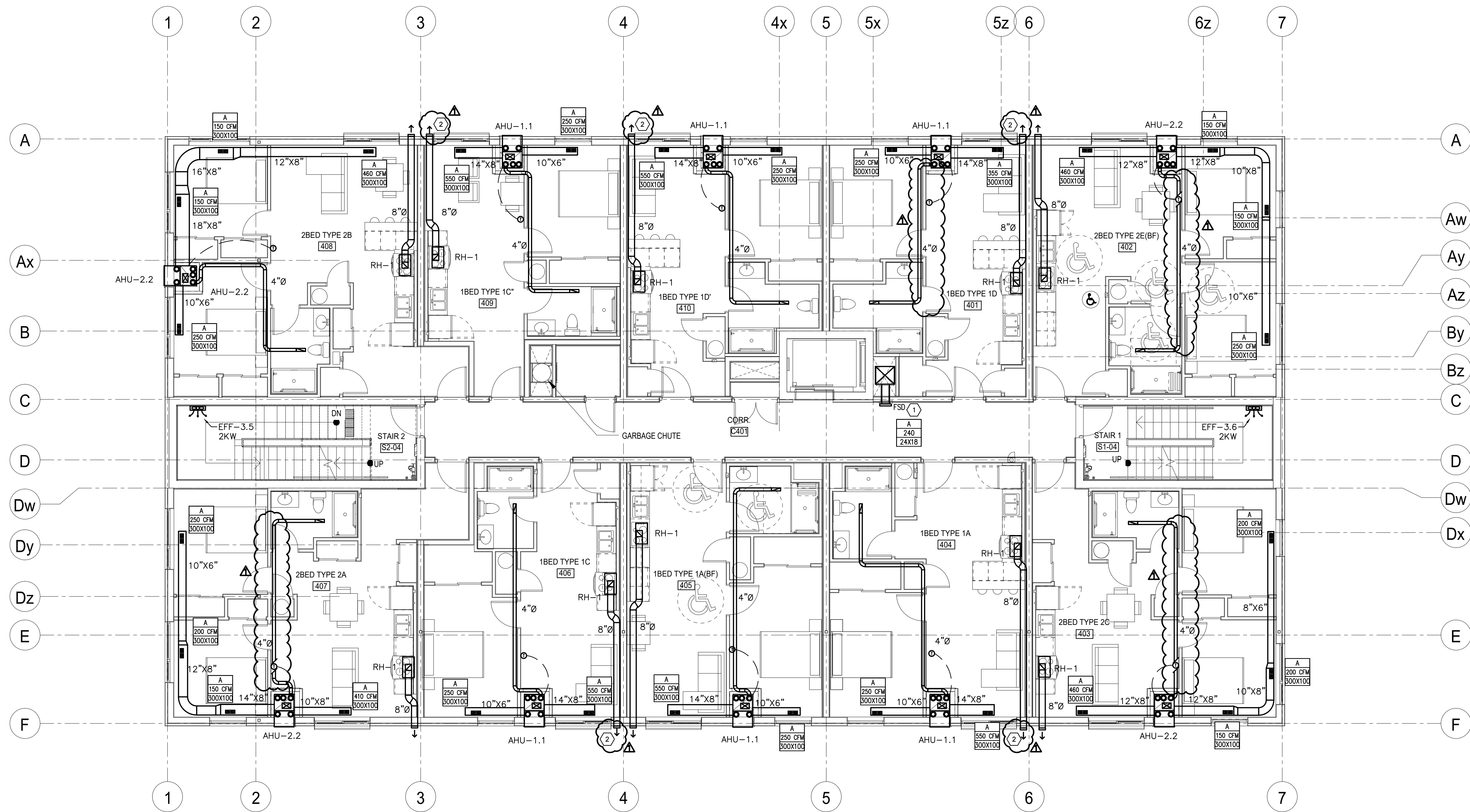
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KIRKLAND ENGINEERING LTD.

PROJECT
COURTICE SENIOR DEVELOPMENT
 1697 HIGHWAY No 2
 CLARINGTON, ON

TITLE
THIRD FLOOR HVAC

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	M15
APPROVED	CSM	
PROJECT	7393	



1
W16
HVAC LAYOUT FOURTH FLOOR
SCALE: 1:75
1000 0 1000 2000 3000 4000 5000mm

GENERAL NOTES

1. INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
2. ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL.
3. AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.
4. SUITE WASHROOM EXHAUST IS INTEGRAL TO SUITE AIR HANDLING UNIT ERV SYSTEM.
5. ALL IN-SUITE UNITS UPDATED TO VERTICAL HEAT PUMP AHU'S. DUCTING HAS BEEN MODIFIED TO SUIT.

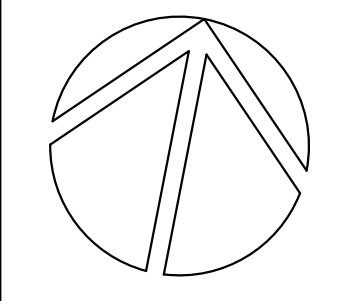
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0	ISSUED FOR TENDER	2024.08.29	CSM

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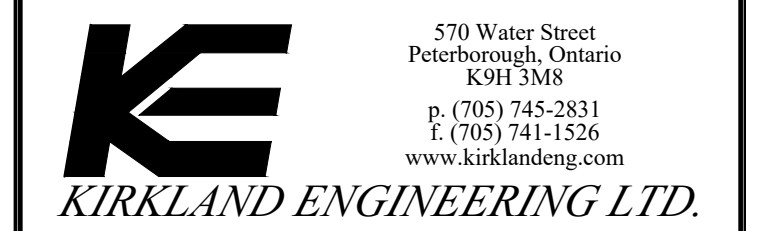
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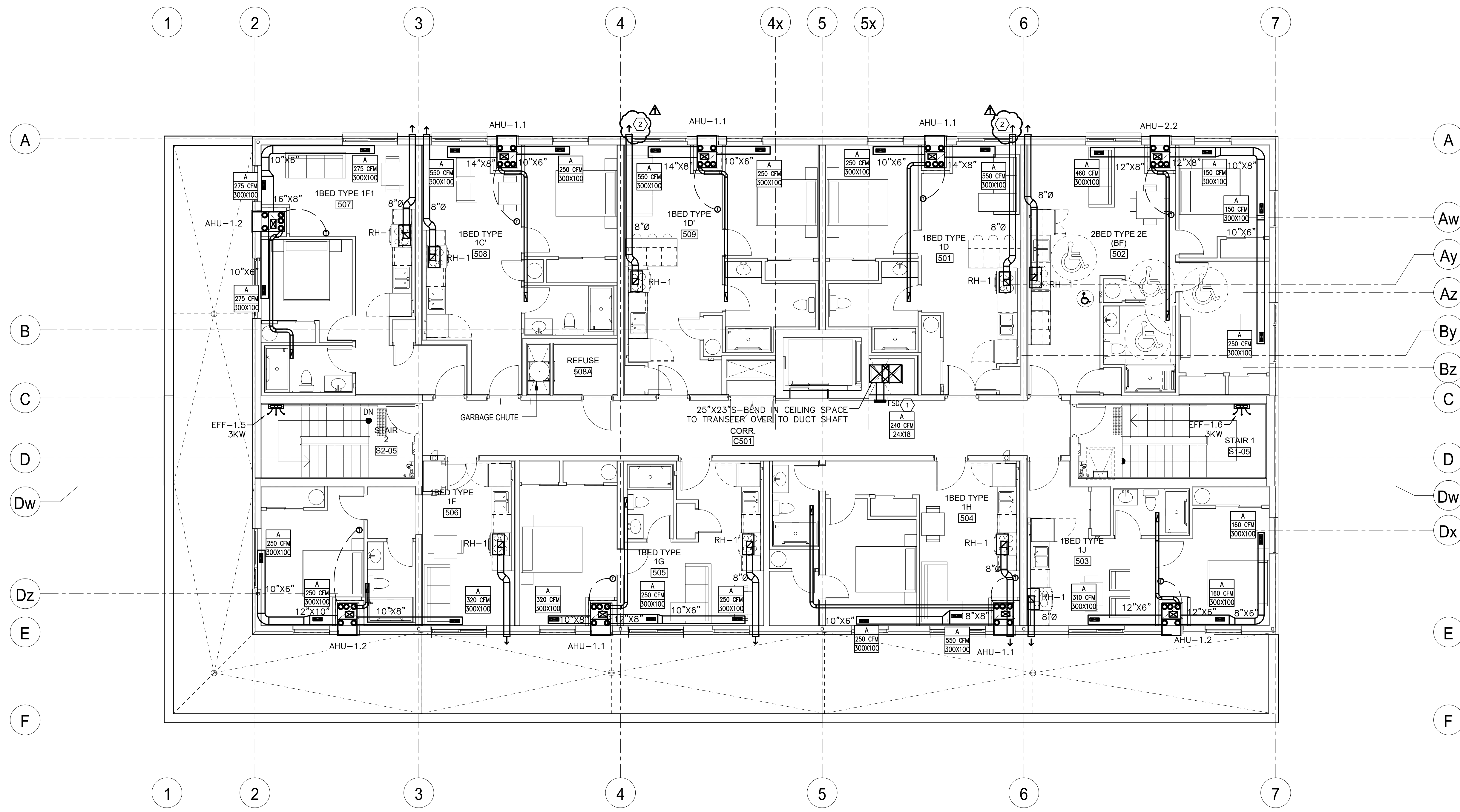
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PROJECT
COURTICE SENIOR DEVELOPMENT

1697 HIGHWAY No 2
CLARINGTON, ON

TITLE
FOURTH FLOOR HVAC

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	M16
APPROVED	CSM	
PROJECT	7393	



HVAC LAYOUT FIFTH FLOOR
 SCALE: 1:75
 1000 0 1000 2000 3000 4000 5000 mm

GENERAL NOTES

- INSULATE ALL FRESH AIR INTAKE DUCTS FROM EXTERIOR WALL TO UNIT, FOR ALL UNITS.
- ELECTRIC FAN FORCED HEATERS SUPPLIED AND INSTALLED BY MECHANICAL, POWER BY ELECTRICAL.
- AHU'S HAVE INTEGRAL SUPPLEMENTAL ELECTRIC HEAT. REFER TO SCHEDULE FOR DETAILS.
- SUITE WASHROOM EXHAUST IS INTEGRAL TO SUITE AIR HANDLING UNIT ERV SYSTEM.
- ALL IN-SUITE UNITS UPDATED TO VERTICAL HEAT PUMP AHU'S. DUCTING HAS BEEN MODIFIED TO SUIT.

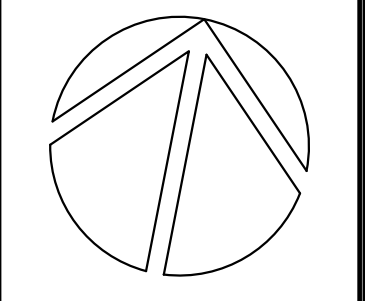
DRAWING NOTES

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NO.	DESCRIPTION	DATE	BY
0	ISSUED FOR TENDER	2024.08.29	CSM

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PROJECT
COURTICE SENIOR DEVELOPMENT
 1697 HIGHWAY No 2
 CLARINGTON, ON

TITLE
5TH FLOOR HVAC LAYOUT

DESIGN	CSM	SCALE AS NOTED
DRAWN	KCS	DWG NO.
CHECKED	CSM	M17
APPROVED	CSM	
PROJECT	7393	