

Install tree protection fencing as shown to property line and tie into any construction hoarding fencing along property line. Ensure sidewalk remains clear and usable. See Tree Protection Detail L1.02/ 1.

Carefully remove existing material around T1 and T2 in root zone by hand and minimize disturbance. Prune for crown cleaning and reduction. Monitor construction impacts.

Legend	
	Existing Deciduous Trees to be removed
	Existing Deciduous Trees to be retained
	Existing Coniferous Trees to be removed
	Tree Protection Zone Hoarding

**Tree Inventory**

Tree No.	Botanical Name	Common Name	DBH (cm)	Condition	Impact	TPZ
1	<i>Acer saccharinum</i>	Silver Maple	115	Fair	Preserve	6m
2	<i>Acer saccharinum</i>	Silver Maple	119	Good	Preserve	6m
3	<i>Juglans nigra</i>	Black Walnut	17/17/17	Good	Remove	N/A
4	<i>Acer negundo</i>	Manitoba Maple	47	Fair-Poor	Remove	N/A
5	<i>Acer negundo</i>	Manitoba Maple	32/37	Poor-Fair	Remove	N/A
6	<i>Acer negundo</i>	Manitoba Maple	29	Poor	Remove	N/A
7	<i>Acer negundo</i>	Manitoba Maple	18	Fair	Remove	N/A
8	<i>Juglans nigra</i>	Black Walnut	88	Good	Remove	N/A
9	<i>Acer negundo</i>	Manitoba Maple	40	Fair	Remove	N/A
10	<i>Fraxinus spp.</i>	Ash	39	DEAD	Remove	N/A
11	<i>Ulmus americana</i>	American Elm	20	Good-Fair	Remove	N/A
12	<i>Acer negundo</i>	Manitoba Maple	16/25/28	Fair	Remove	N/A
13	<i>Acer saccharum</i>	Sugar Maple	34	Good	Remove	N/A
14	<i>Acer negundo</i>	Manitoba Maple	35/14/11	Fair	Remove	N/A
15	<i>Acer negundo</i>	Manitoba Maple	15	Fair-Good	Remove	N/A
16	<i>Thuja occidentalis x hybrid</i>	Dwarf Cedar	2m ht	Good	Preserve	1.8m
17	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
18	<i>Pyrus spp.</i>	Ornamental Pear	15	Fair-Good	Preserve	1.8m
19	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
20	<i>Pyrus spp.</i>	Ornamental Pear	20	Fair-Good	Preserve	2.4m
21	<i>Picea pungens</i>	Colorado Blue Spruce	20	Good	Preserve	2.4m
22	<i>Tilia spp.</i>	Linden	7	Fair-Poor	Remove	N/A
23	<i>Tilia spp.</i>	Linden	7	Fair-Good	Preserve	1.8m
24	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair	Remove	N/A
25	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair	Preserve	1.8m
26	<i>Acer x freemanii</i>	Hybrid Maple	7	Fair-Good	Preserve	1.8m
27	<i>Populus spp.</i>	Poplar	10	Fair	Remove	N/A
28	<i>Robinia pseudoacacia</i>	Black Locust	5	Good	Remove	N/A

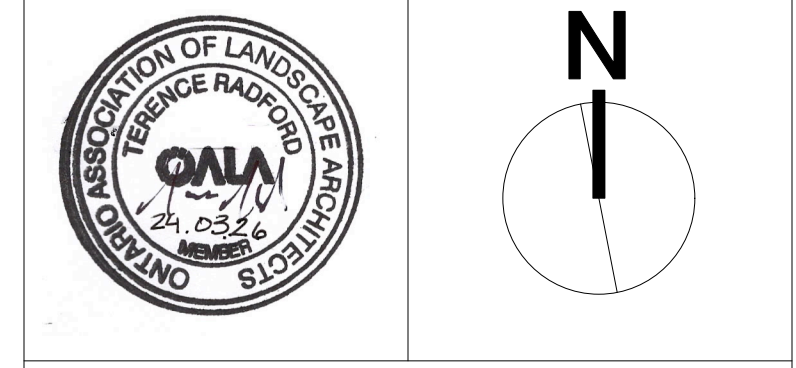
**Proposed Tree Planting**

TREE SPECIES	SIZE (cm)	QUANTITY	% BY GENUS
Armstrong Maple	6cm cal.	3	6%
Spring Flurry Serviceberry	6cm cal.	8	15%
Apple Serviceberry	6cm cal.	2	4%
American Hornbeam	6cm cal.	1	2%
Pagoda Dogwood	6cm cal.	8	15%
Tulip Tree	6cm cal.	3	6%
Black Tulip Magnolia	175cm ht	8	15%
Eastern White Pine	200cm ht	10	19%
Northern Red Oak	6cm cal.	3	6%
Eastern Arborvitae	250cm ht	6	12%
<b>TOTAL NEW TREES: 52</b>			



Legend:

No.	Description	Date	By
8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR



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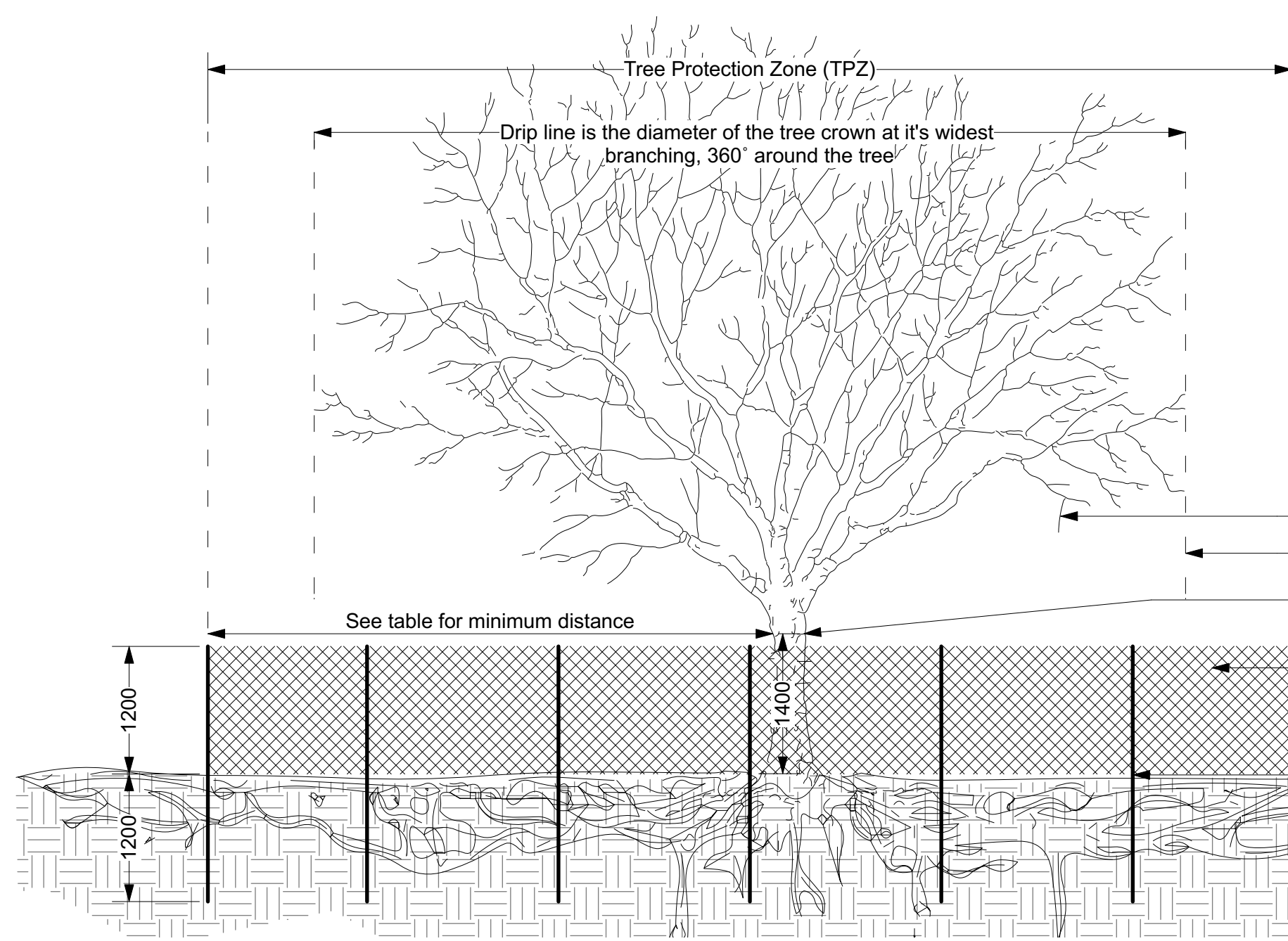
**NOT FOR CONSTRUCTION**

Client:  
**RH Gay Holdings Co.**

Project:  
**Proposed Mixed-Use Development  
1697 Durham Regional Hwy 2,  
Courtice, ON**

Drawing Title:  
**Tree Inventory and Preservation Plan**

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: <b>T 1.1</b>
Approved By: TR	
Date: 22/11/15	



**TABLE: TREE PROTECTION ZONES**

Trunk Diameter (DBH)*	Minimum Protection Distance Required**
20-40 cm	2.4m
41-50 cm	3.0m
51-60cm	3.6m
61-70cm	4.2m
71-80cm	4.8m
81-90cm	5.4m
91-100+cm	6.0m

\*\*"DBH" means diameter at breast height when measured at 1.4m above grade  
\*\* Tree Protection Zone (TPZ) distances are measured from the outside edge of the tree base

**General Tree Protection Notes**

- All dimensions shown in millimetres.
- This detail does not represent any particular tree species.
- No construction activity, grade changes, surface treatment, compaction, excavation or stockpiling of any kind is permitted within the protected area unless noted otherwise on the drawings and confirmed during pre-construction meeting.
- Maintain (Mow as required and when directed by contract administrator) existing vegetative cover within fenced area during construction.
- Tree protection to remain in place for duration of construction.
- Tree protection to be adjusted only when needed to complete those activities shown within TPZ. Upon completion tree protection shall be reinstated in consultation with the project arborist.
- No contaminants will be dumped or flushed where feeder roots of protected trees exist.
- No rigging cables will be wrapped around or installed in trees and/or protected areas.
- The developer and/or contractor will take every precaution necessary to prevent damage to trees, shrubs or other plants to be retained.
- Construction activities shown within the TPZ shall be conducted under the guidance and in consultation with an approved ISA Certified Arborist.

**Protection and Preservation of Existing Vegetation**

\* Tree Inventory and assessment completed by Gina Brouwer, ISA Certified Arborist ON-0937A on November 25, 2022.

All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully and in accordance with accepted arboricultural practices.

Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

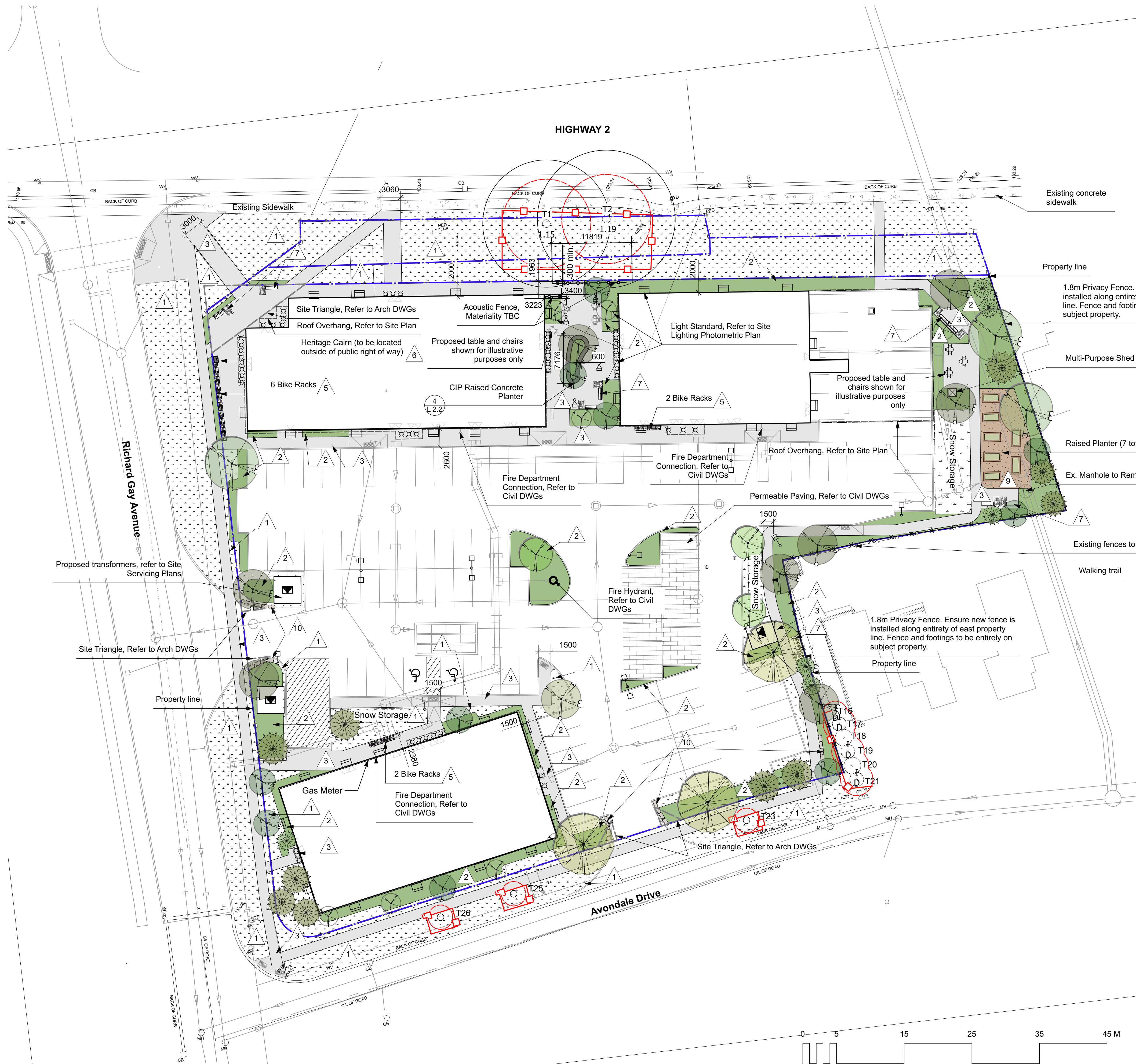
Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

All excavation within the Tree Protection Zone (TPZ) around existing trees to be retained shall be hand dug.

**1 Tree Protection Detail**  
Scale: 1:50





LANDSCAPE MATERIALS			
1	Maintained Lawn Area	Sod and, min 150mm depth growing medium.	4 L 2.1
2	Shrub and Tree Area	Min 450mm depth growing medium finished w 75mm depth Four Season mulch	3 L 2.1
3	Cast in Place Concrete	See civil dwg's for details	
9	Shredded Cedar Mulch 100mm depth		3 L 2.3

LANDSCAPE STRUCTURES/FURNISHINGS			
4	Table and Chairs	Shown for Illustrative Purposes Only. To be supplied by owners	
5	Bike Rack (10 total)	Surface Mount Racks, Maglin MBR100 Series Item# MBR-0150-00002 or approved equivalent	2 L 2.2
6	Heritage Cairn	2x3' heritage cairn made with bricks from original house on site. Plaque with QR code to be detailed and designed by owner.	1 L 2.4
7	Bench (6 total) w Curb Stop	1800mm length Surface Mount Bench, Maglin 2300 Series MBE-2300-00056 or approved equivalent.	1 L 2.2
8	Raised Garden Planter	Cedar Timber Planter complete with seating edge. Contractor to fill planters with growing medium as specified and mulch.	1 L 2.3
10	Armour Stone	Armourstone; Colour: Dark; Size: ~600x600x100mm (WX+HxL).	1 L 1.3
	1.8m Wood Privacy Fence		2 L 2.3
	Acoustic Fence	Materiality and Style TBC	
	Multipurpose Eco-Shed	4x4' Green Pod Eco-Shed by Cedarshed Industries or approved equivalent.	5 L 2.3

PLANT MATERIALS			
TPZ	Existing Deciduous Trees to be retained- See T.1.1 for Tree Protection Plan		
ID DBH	Proposed Deciduous Trees- See plant list for additional details	2 L 2.1	
	Proposed Coniferous Trees- See plant list for additional details	1 L 2.1	
ID	Proposed Shrub/Perennial/Vine- See plant list for additional details	3 L 2.1	
	Tree Protection Zone Hoarding- See T.1.1 for Tree Planting and Preservation Plan	1 T 1.1	

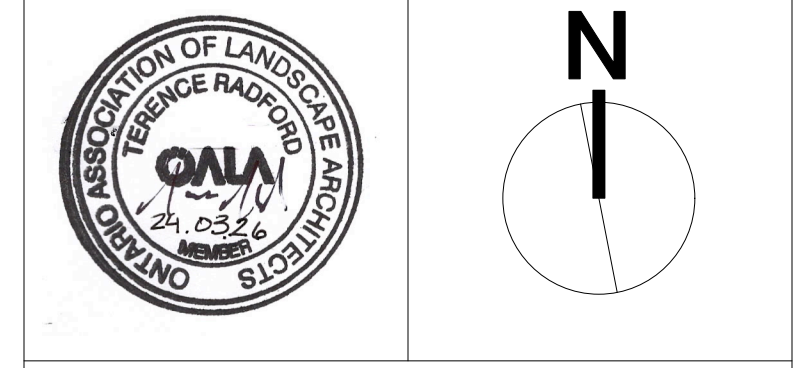


Legend:

Property Line

No.	Description	Date	By
8			
7			
6			
5			
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Issue / Revision Schedule



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**NOT FOR CONSTRUCTION**

Client:  
**RH Gay Holdings Co.**

Project:  
**Proposed Mixed-Use Development**  
1697 Durham Regional Hwy 2, Courtice, ON

Drawing Title:  
**Landscape Plan Preservation Plan**

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: <b>L 1.1</b>
Approved By: TR	
Date: 22/11/15	

**Owners Note**  
We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the 'Landscape Completion Notification Certificate' from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

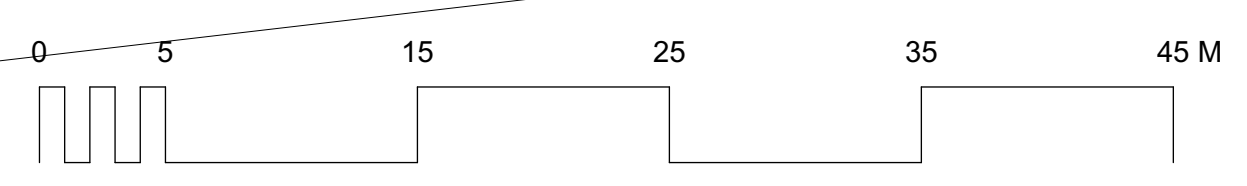
Signature of Owner: *[Signature]*  
Name of Owner:  
Address:  
Date: March 26, 2024

**Municipal Road Occupancy**  
\*Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to the Clarington Engineering Services Department staff at 905-623-3379.\*  
\*A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30th.\*  
\*All restoration or work done in the road allowance must be completed as per municipal field staff direction.\*  
\*The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory.\*

**BOULEVARD PLANTING**  
\*The applicant will be responsible to acquire the necessary approvals from the utility companies and the responsible road authority (i.e. Clarington Public Works Department) prior to the installation of the landscape works on the municipal boulevard.\*

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect: *[Signature]*  
Name of Landscape Architect: Terence Radford  
Date: March 26, 2024







**Plant List**

ID	Quantity	Common Name	Latin Name	Scheduled Size
<b>TREES</b>				
ArA	3	Armstrong Maple	Acer rubrum 'Armstrong'	60mmCT/WB
Alm	8	Spring Flurry Serviceberry	Amelanchier laevis 'Spring Flurry'	60mmCT/WB
Amg	2	Apple Serviceberry	Amelanchier x grandiflora	200cm ht WB, Multi-stem
Cc	1	American Hornbeam	Carpinus caroliniana	60mmCT/WB
Ca	8	Pagoda Dogwood	Cornus alternifolia	200cm ht, Multi-stem
Lit	3	Tulip Tree	Liriodendron tulipifera	60mmCT/WB
MBT	8	Black Tulip Magnolia	Magnolia 'Black Tulip'	175cm ht WB
Ps	10	Eastern White Pine	Pinus strobus	200cm ht WB
Qr	3	Northern Red Oak	Quercus rubra	75mmCT/WB
To	6	Eastern Arborvitae	Thuja occidentalis	250cm ht WB
<b>SHRUBS, GRASSES AND PERENNIALS</b>				
Ag	53	Big Bluestem	Andropogon gerardii	2 gal pot
Cs	29	Red Osier Dogwood	Cornus sericea	50cm ht potted
EpM	188	Magnus Purple Coneflower	Echinacea purpurea 'Magnus'	1 gal pot
Hv	2	Witch Hazel	Hamamelis virginiana	80cm ht potted
Hse	37	Elegans Plantain Lily	Hosta sieboldiana 'Elegans'	1 gal pot
Hp	24	Fire and Ice Hydrangea	Hydrangea paniculata 'Fire and Ice'	3 gal pot
JpG	24	Blue Pfitzer Juniper	Juniperus x pfitzeriana 'Glaucia'	50cm ht potted
Mat	104	Ostrich Fern	Matteuccia struthiopteris	1 gal pot
Pv	177	Switch Grass	Panicum virgatum	2 gal pot
PaR	77	Redhead Fountain Grass	Pennisetum alopecuroides 'Redhead'	1 gal pot
Ra	58	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	50cm ht potted
RIB	2	Tiger Eyes® Staghorn Sumac	Rhus typhina 'Bailtiger'	60cm ht potted
Rf	29	Goldsturm Black Eyed Susan	Rudbeckia fulgida 'Goldsturm'	1 gal pot
Sch	193	Little Bluestem	Schizachyrium scoparium	1 gal pot
Sf	19	Firecracker Stonecrop	Sedum 'Firecracker'	9cm PT
Sac	9	Goldmoss Sedum	Sedum acre	9cm PT
Sb	20	Lamb's-ears	Stachys byzantina	#1 pot
TmH	40	Hick's Yew	Taxus x media 'Hicksii'	50cm ht potted
To-1	5	Eastern White Cedar	Thuja occidentalis	150cm ht potted
ToLG	15	Little Giant Cedar	Thuja occidentalis 'Little Giant'	60cm ht
Ts	16	Creeping Thyme	Thymus serpyllum	9cm PT
TsGW	26	Gentsch White Variegated Hemlock	Tsuga canadensis 'Gentsch White'	3 gal pot

**Plant List Notes:**  
 - Refer to planting Details and General Landscape Specifications  
 - Plan quantities supersede plant list quantities  
 - Layout to be confirmed on-site with the Landscape Architect  
 - CT: caliper tree measured at 15cm above root collar  
 - WB: wire basket

**Owners Note**

We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the Landscape Completion Notification Certificate from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner:

Name of Owner:  
Address:

Date: March 26, 2024

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**BOULEVARD PLANTING**

\*The applicant will be responsible to acquire the necessary approvals from the utility companies and the responsible road authority (i.e. Clarington Public Works Department) prior to the installation of the landscape works on the municipal boulevard.\*

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect:

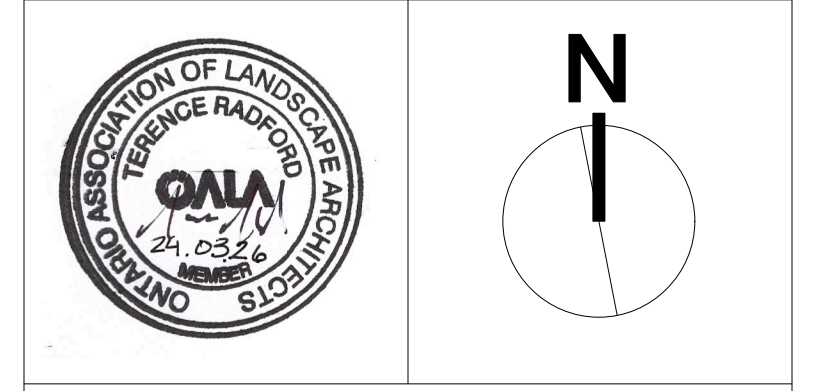
Name of Landscape Architect: Terence Radford

Date: March 26, 2024



**Legend:**

No.	Description	Date	By
8			
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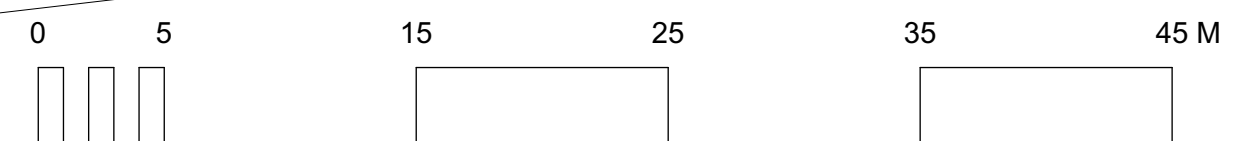
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Client:  
**RH Gay Holdings Co.**

Project:  
**Proposed Mixed-Use Development**  
 1697 Durham Regional Hwy 2,  
 Courtice, ON

Drawing Title:  
**Landscape Planting Plan**  
**Preservation Plan**

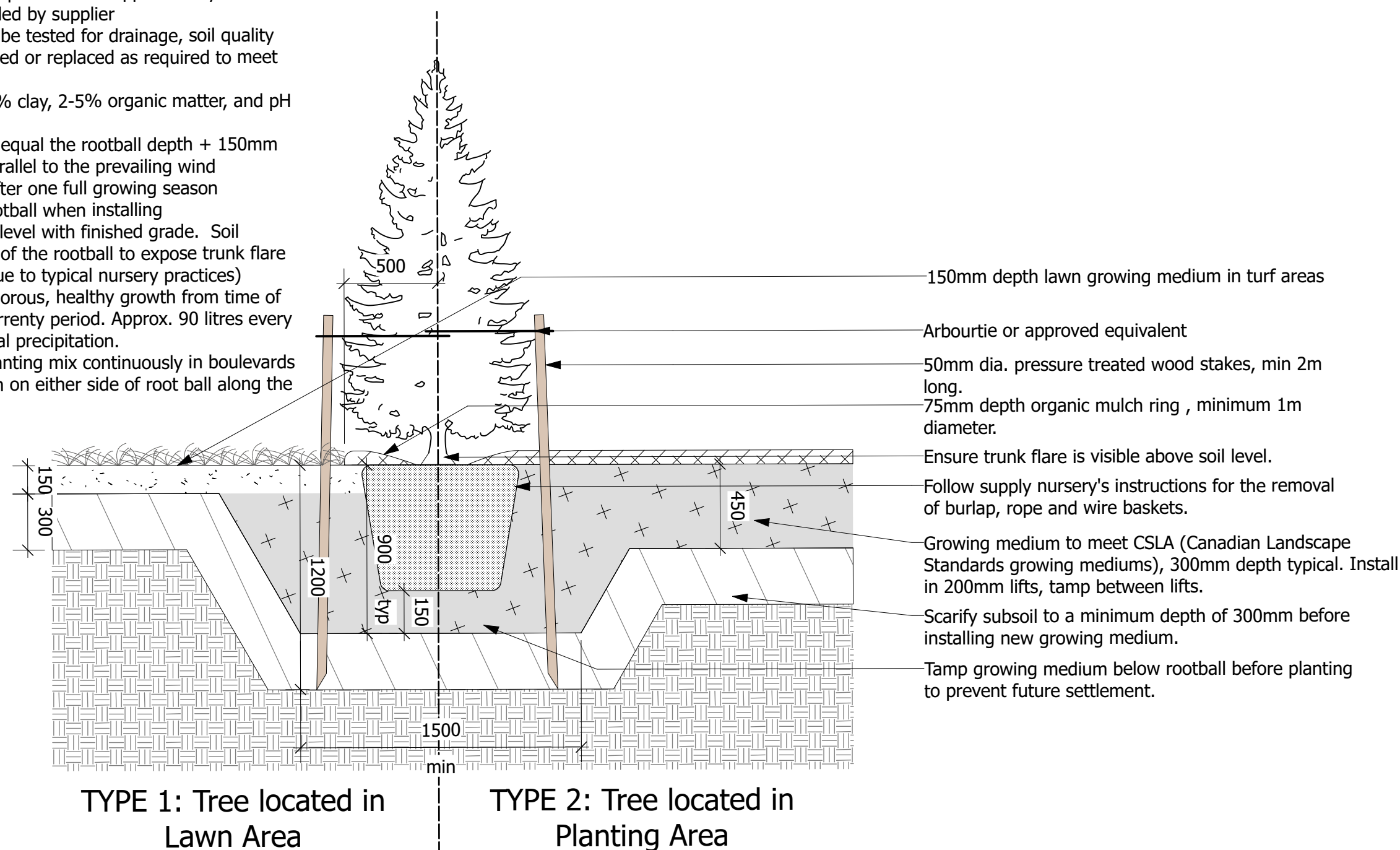
Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: <b>L 1.2</b>
Approved By: TR	
Date: 22/11/15	





**General Notes**

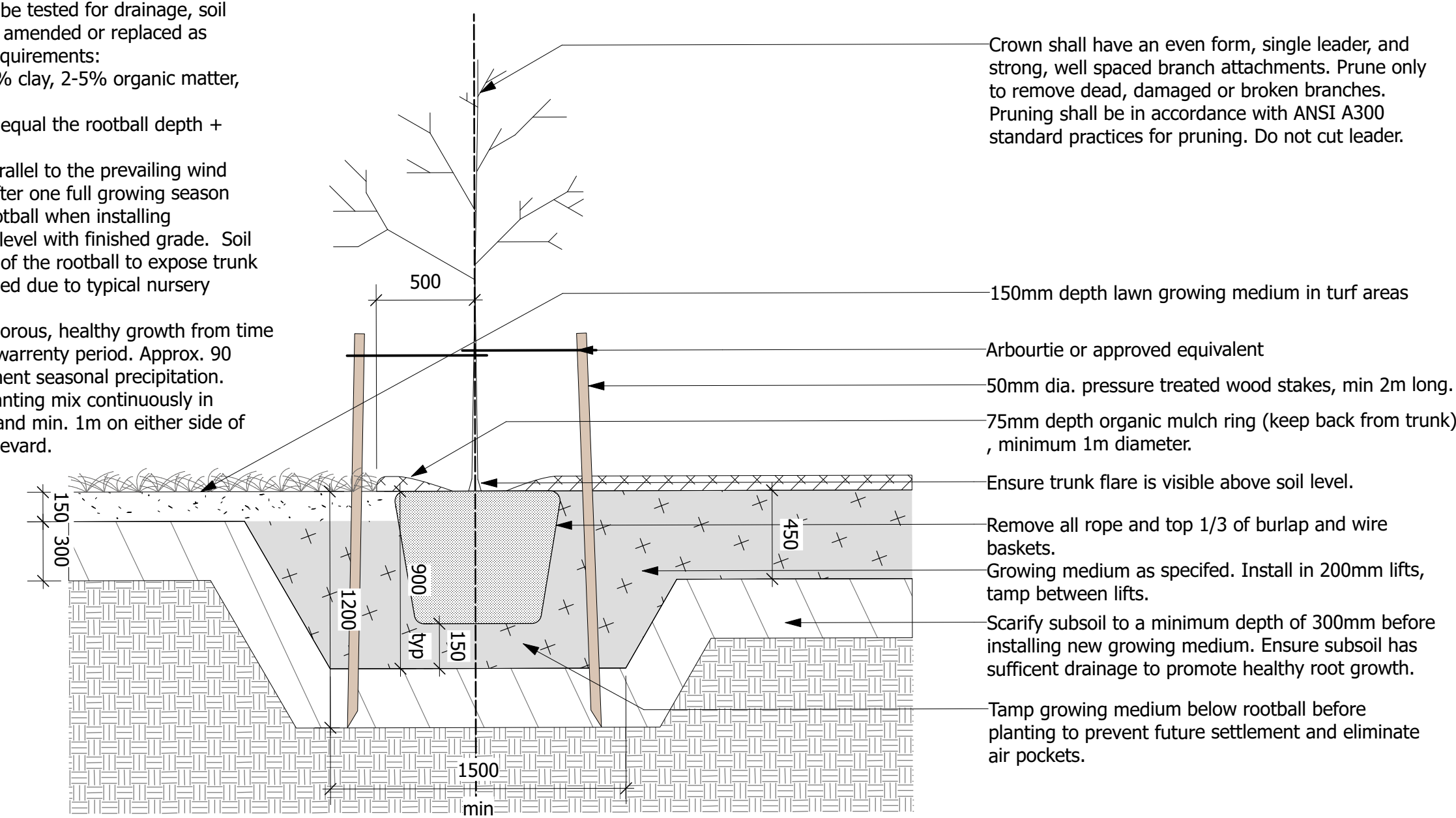
1. Planting mix: 2/3 native soil from the tree pit excavation or stockpile and 1/3 commercially prepared triple mix. Add approved mycorrhizal inoculant in quantities recommended by supplier
2. All proposed planting areas shall be tested for drainage, soil quality and pH. Poor soil shall be amended or replaced as required to meet the following requirements: 50-60% sand, 20-40% silt, 6-10% clay, 2-5% organic matter, and pH between 6.5-7.5.
3. Max depth of planting pit should equal the rootball depth + 150mm
4. Tree stakes should be placed parallel to the prevailing wind
5. Wooden stakes to be removed after one full growing season
6. DO NOT drive stakes through rootball when installing
7. Set tree so base of trunk flare is level with finished grade. Soil should be removed from the top of the rootball to expose trunk flare (often the trunk flare is buried due to typical nursery practices)
8. Water thoroughly to maintain vigorous, healthy growth from time of delivery installation to end of warranty period. Approx. 90 litres every 7-10 days to supplement seasonal precipitation.
9. Excavate and prepare tree pit planting mix continuously in boulevards less than 1.5m wide and min. 1m on either side of root ball along the length of boulevard.



**1 Coniferous Tree Detail**  
Scale: 1:25

**General Notes**

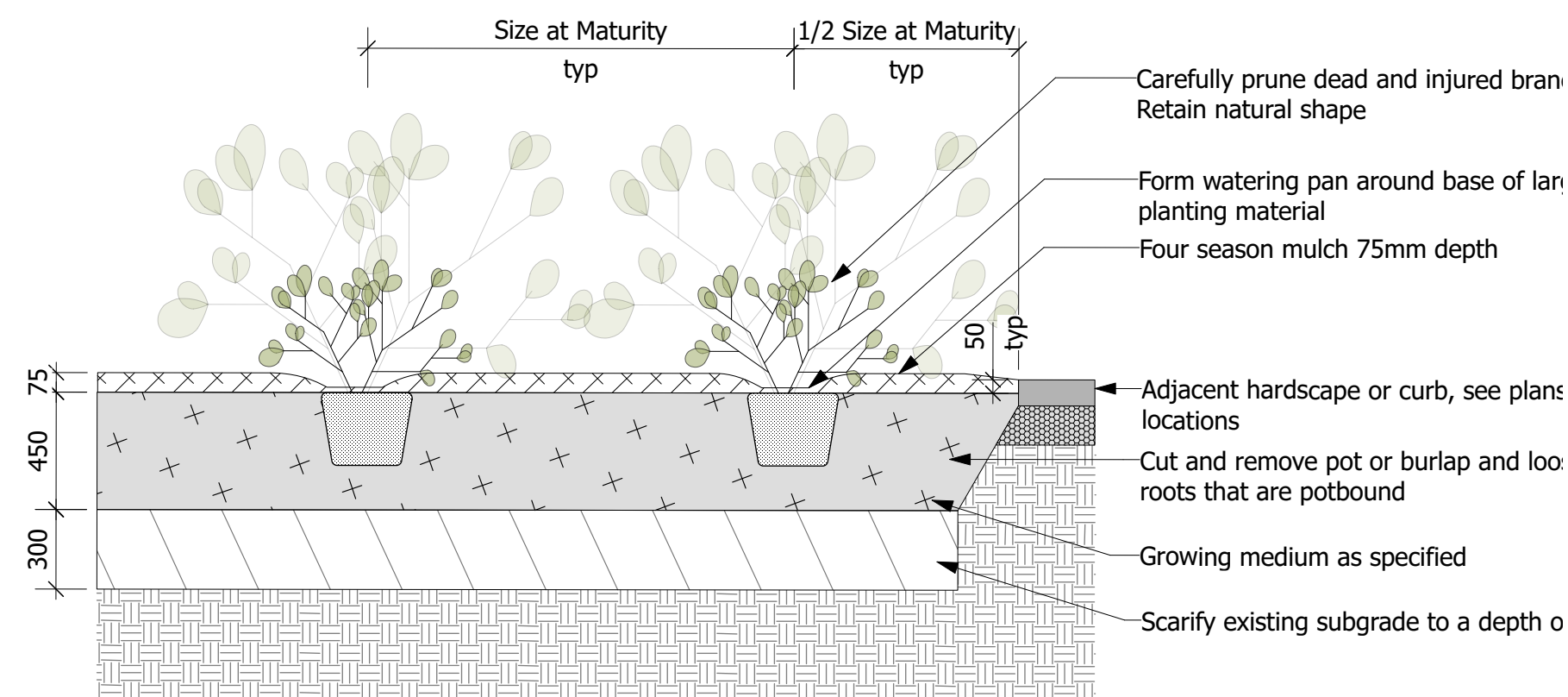
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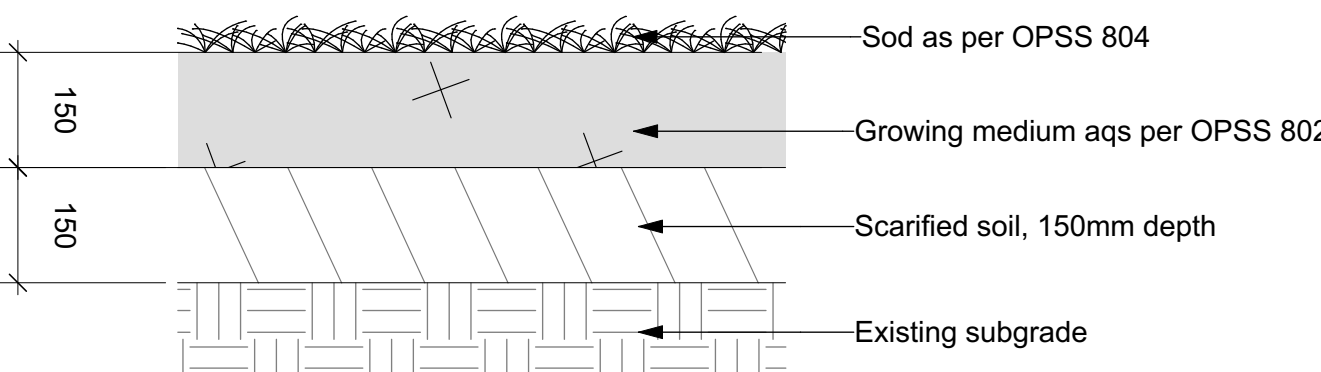
**2 Deciduous Tree Planting**  
Scale: 1:25

**General Notes**

1. Excavate continuous planting bed where perennial plants and woody shrubs are mass planted as shown on planting plan
2. All perennials and shrubs are to be planted in continuous planting beds except where noted otherwise
3. Continuously mulch planting beds with 100 depth approved shredded bark mulch. Mulch to be shredded tub-ground bark mulch (the material remaining after bark is peeled from the hardwood logs at a sawmill), free from debris, construction waste and hardwood chips. Submit sample for approval.
4. Planting mix: existing soil mixed 2:1 with imported triple mix
5. Water thoroughly after installation



**3 Shrub Planting**  
Scale: 1:25



**4 Sod Detail**  
Scale: 1:10

**Landscape Notes**

The Contractor shall review all existing conditions and utilities prior to commencement of work. Protect all existing plant material, structures and adjacent areas from damage. Layout shall be approved by the Contract Administrator prior to commencement of work. All work shall comply with the CSLA Canadian Landscape Standards.

**TOPSOIL & SOD**

All areas requiring sod shall first be neatly prepared for 100mm depth on site. Topsoil requirements set out in these specifications. All topsoil shall be free from native till or clay, roots, vegetation, weeds or debris, stones and clods over 50mm diameter. Topsoil shall be fertile, loamy, screened material. All topsoil to be used for sod, seed and planting shall be tested by an approved laboratory at the Contractor's expense and amended based on the report recommendations. Topsoil test results shall be provided to the Landscape Architect for approval one week prior to work commencing. Topsoil infested by the seeds of noxious weeds will not be acceptable.

Sod all disturbed areas. All sod shall meet the requirements of Ontario Sod Grower's Association for Fine Fescue Kentucky Bluegrass Commercial Grade Turfgrass Nursery Sod. The sod shall be taken from good loamy soil and shall be healthy well permeated with roots have uniform texture and appearance and be free from weeds. Sod must be laid within thirty-six (36) hours of being cut. Care must be taken during its transportation and placement to prevent any drying out. Sod shall match flush with all adjacent surfaces and shall have no open gaps, overlapping edges or uneven joints. Where adjacent or fronting lands have already been sodded, care must be taken to ensure drainage is maintained and a smooth transition is achieved. Laid sod shall be immediately rolled to produce an even surface and watering shall commence immediately thereafter and shall continue on a regular basis until healthy roots are well established and permanent. If sod fails to establish immediately it shall be removed and replaced. No attempt shall be made to try to re-establish weak/dead sod through continual watering unless specific permission is granted by the Contract Administrator. Any sod deemed unfit by the Contract Administrator shall be immediately removed from the site and replaced.

**Protection and Preservation of Existing Vegetation**

Refer to Tree Inventory and Preservation Plan drawing T 1.1 and arborist report.

\* Tree Inventory and assessment completed by Gina Brouwer, ISA Certified Arborist ON-0937A on November 25, 2022.

All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully and in accordance with accepted arboricultural practices.

Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry walling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

All excavation within the Tree Protection Zone (TPZ) around existing trees to be retained shall be hand dug.

**Planting**

All plant material shall be nursery grown, true to type, conforming to the current edition of the Canadian Nursery Landscape Association's Canadian Standards for Nursery Stock and CSLA Canadian Landscape Standards. All plants shall be healthy and vigorous with all parts free from defects, decay, disfigurement, injury, disease and pests.

All trees shall have a reasonably straight trunk, free of any decay or wounds. Trees shall have a balanced canopy with a minimum of 12 branches. The branching height shall be a minimum of 1.8m from the root ball. Columnar trees shall possess one main trunk and no multiple competing stems. Branching shall be uniform and characteristic of the growing habit for the species. The root ball must be solid with little or no movement at the trunk and free of girdling roots.

Prior to any plant material arriving on site, an onsite meeting between the landscaper, contractor, and Developer's Landscape Architect must be held to review planting locations and procedures. The Developer's landscaper shall ensure that trees are planted under ideal seasonal conditions and according to the following procedures:

1. All tree pits shall be prepared in accordance with the Tree Planting Detail shown in this package.
2. Trees shall be placed so that the root flare is 50mm above the finished boulevard grade. Sub-grade levels will not be accepted. The ball or basket must be untied with the trunk free from choking ties. All trunk wrap must be removed after planting. The top 1/3 of the wire basket and burlap must be removed, (not bent down). The remainder of the basket must be clipped randomly throughout the remaining 2/3. Waste from these procedures shall be properly disposed of off site.
3. The hole shall be backfilled halfway with a blended mix of topsoil. The hole shall be backfilled and compacted to remove all air pockets and to ensure the tree is stable without the installation of tree stakes.
4. The tree planting pit surface and all planting beds shall be mulched with 75mm of shredded bark mulch. Wood chips will not be accepted. Mulch must not be placed against the trunk of the tree. A sample of mulch shall be submitted for approval.

The Contract Administrator may reject any plant material, whether planted or not, that does not conform to the specifications. Substitutions for specified plants will not be accepted unless approved in writing by the Contract Administrator. Plant material shall be unwrapped prior to inspection with labels left on. The Contract Administrator shall inspect and provide written acceptance of installation.

The client reserves the right to investigate, inspect and reject any standard material, tree or procedure at any time during, or subsequent to, the planting process. Immediately following planting, each tree shall be inspected for damage. Damaged trees shall be replaced or treated in accordance with proper horticultural standards, as directed.

The Developer's landscaper shall implement an ongoing maintenance program of all trees and plant material and shall monitor their progress at the beginning and end of each growing season. Any plant material showing signs of distress shall be treated or replaced immediately, as directed. The Contractor shall maintain all plant material and assume full responsibility for protection of all planted areas until final acceptance of all project work at the end of the specified warranty period (1 year). The Contractor shall water plants as necessary with sufficient quantities to maintain healthy growth.

All plants that are dead, or not in healthy, satisfactory growing condition, or which in any way do not meet the specifications, shall be replaced within two weeks of notification at the Contractor's expense.

The Contractor shall remove all stakes and staking material at the end of the warranty period. The Contract Administrator shall inspect and provide final acceptance.

Key Plan:

Legend:

No.	Description	Date	By
8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
1	Issued for SPA	22.12.09	TR

Issue / Revision Schedule



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**NOT FOR CONSTRUCTION**

Client:

RH Gay Holdings Co.

Project:

**Proposed Mixed-Use Development**  
1697 Durham Regional Hwy 2,  
Courtice, ON

Drawing Title:

**Landscape Details Preservation Plan**

Designed By: TR

Project #: 22.49

Drawn By: TR

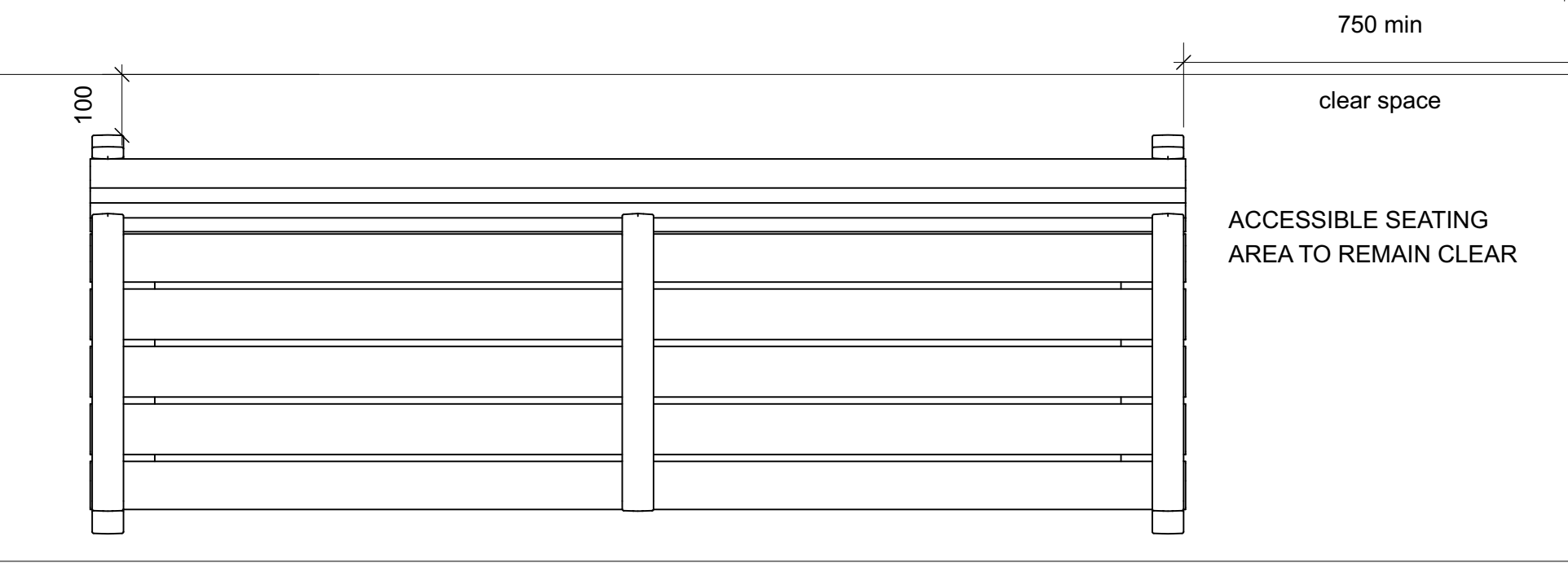
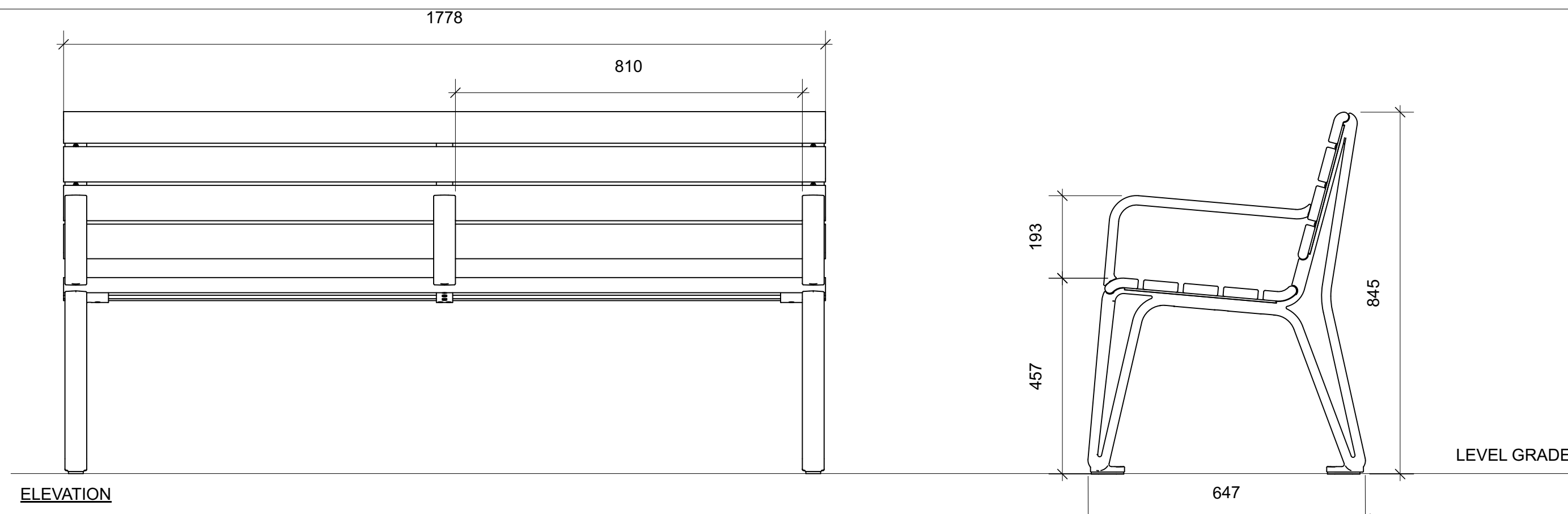
Drawing #:

Approved By: TR

**L 2.1**

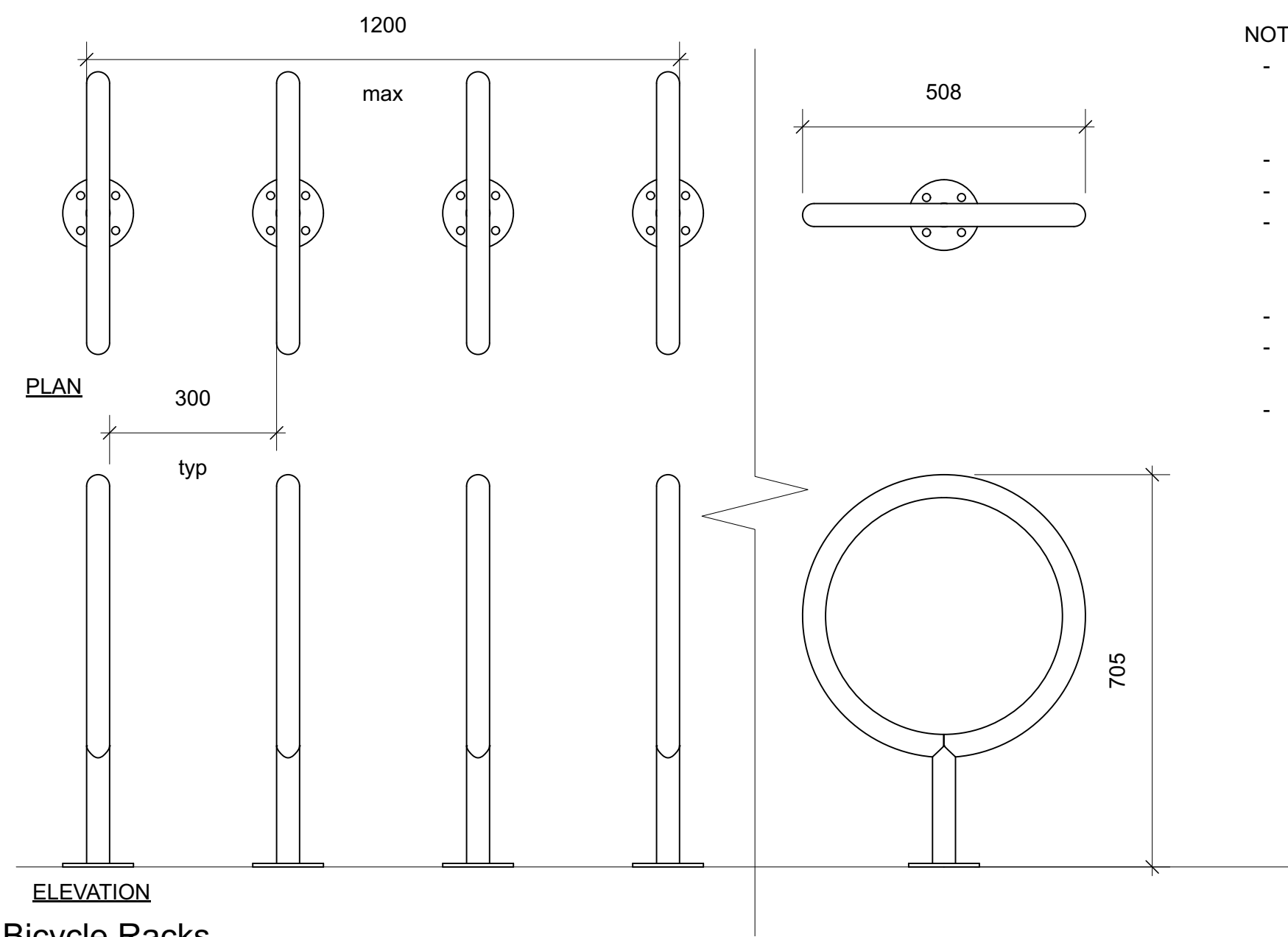
Date: 22/11/15





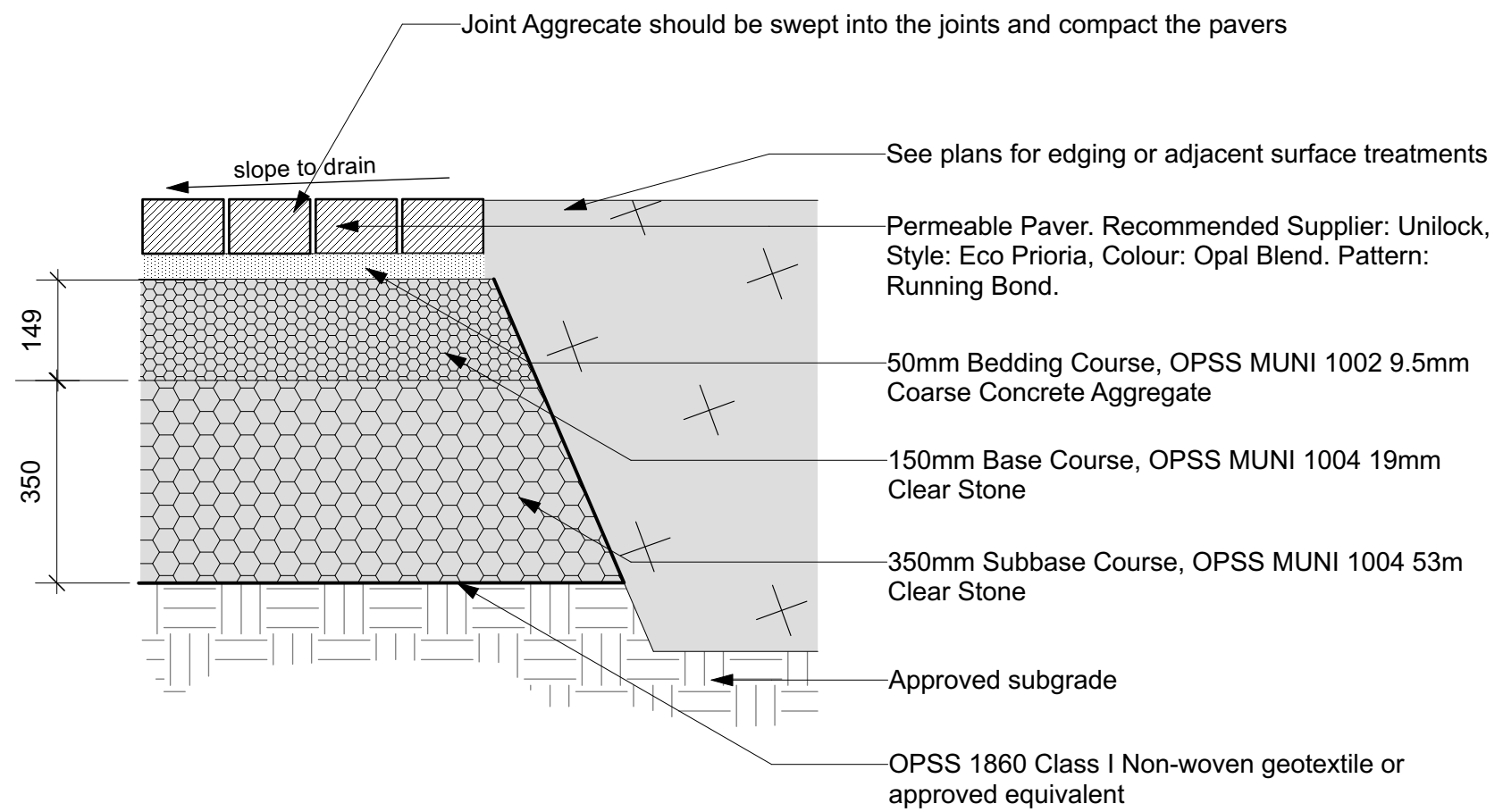
- NOTES**
- BENCH MODEL MBE-2300-00056 BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
  - THERMALLY MODIFIED ASH WITH SIDE AND CENTRE ARMS
  - SPECIFY POWDERCOAT COLOUR AS GUNMETAL
  - SURFACE MOUNT ON HORIZONTALLY LEVEL CONCRETE PAD
  - INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
  - 7/16" HOLES PROVIDED IN EACH FOOT FOR ANCHORING
  - APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
  - DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

1 **Bench**  
Scale: 1:10



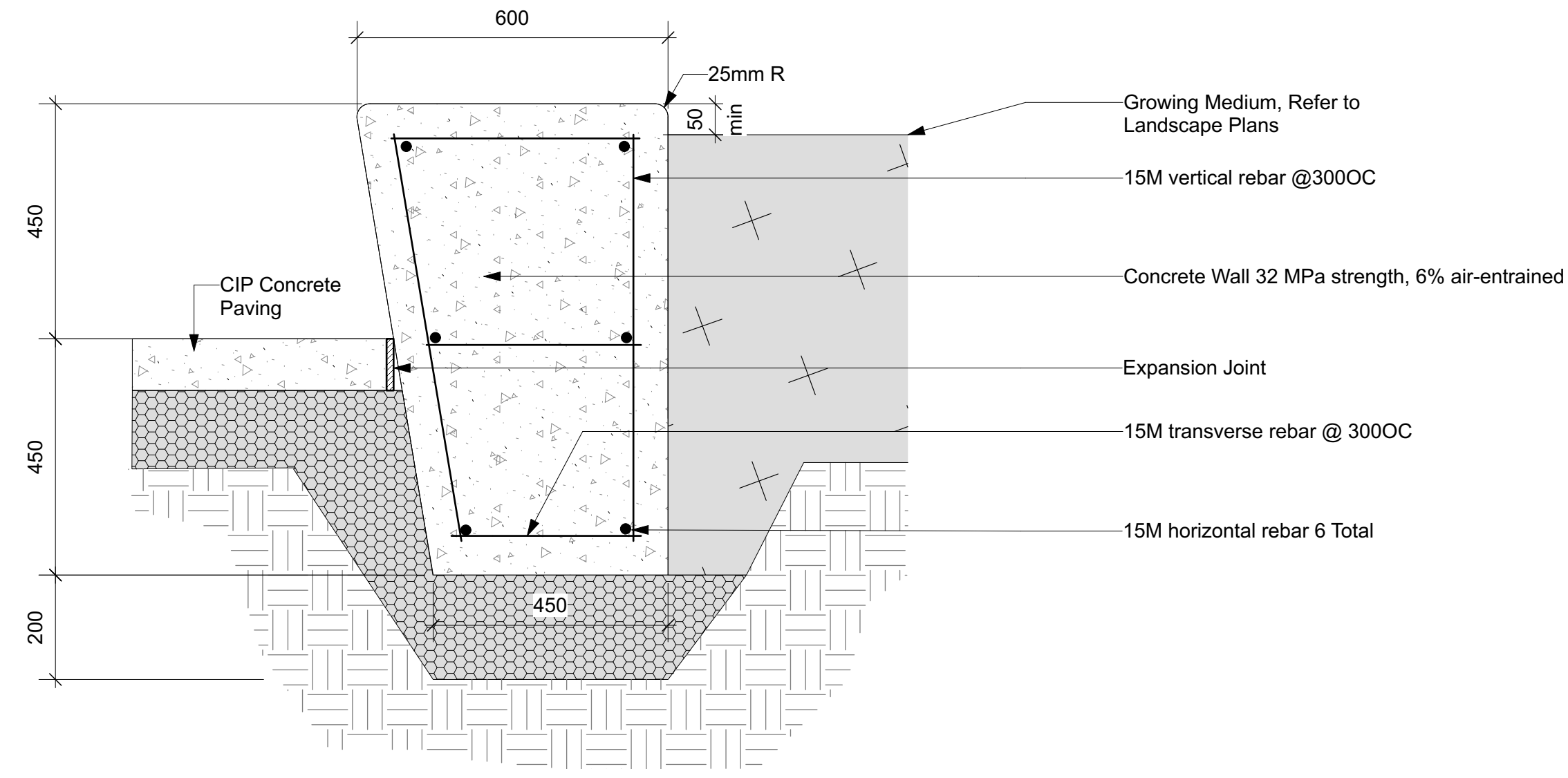
- NOTES**
- BIKE RACK MODEL MBR-0150-0000 BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
  - SPECIFY POWDERCOAT COLOUR AS GUNMETAL
  - SURFACE MOUNT ON CONCRETE PAD
  - INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
  - HOLES PROVIDED FOR ANCHORING
  - APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
  - DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

2 **Bicycle Racks**  
Scale: 1:10



- Notes**
- The subgrade should be properly prepared, shaped, and graded toward positive drainages. The prepared subgrade should be carefully proof rolled in the presence of a geotechnical engineer, and any soft or wet spots or other obvious deleterious materials should be sub-excavated and properly replaced with OPSS MUNI 1010 Granular B Type I and compacted.
  - OPSS 1860 Class I Non-woven geotextile or approved equivalent should be used. geotextile should be placed not only between subbase course (53 mm Clear Stone) and subgrade but also be extended to cover permeable interlocking concrete pavement sides (subgrade excavation sides). A minimum of 0.6 m geotextile overlap is recommended.
  - Clear Stone base /subbase course should be vibrated to a dense state.
  - Joint aggregate (OPSS MUNI 1002 9.5 mm Coarse Concrete Aggregate) should be swept into the joints and compact the pavers.
  - Proper drainage should be designed by civil engineer.

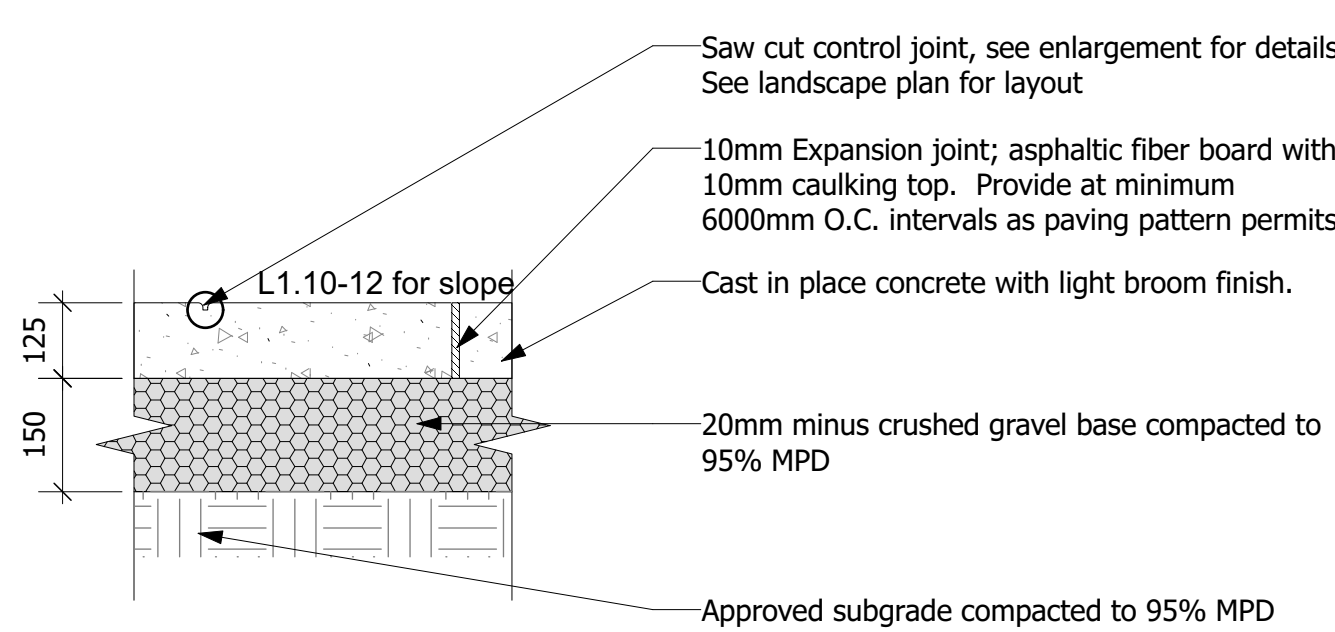
3 **Permeable Unit Pavers**  
Scale: 1:10



4 **CIP Rased Concrete Planter**  
Scale: 1:10

- GENERAL NOTES**
- Drawing is in metric scale. All dimensions are in millimeters. Do not scale drawings.
  - Plus/Minus (+/-) dimensions are for general verification purposes only and are NOT to be used to establish layout of any feature(s), ever.
  - The contractor shall verify all field dimensions onsite during the quotation period. No extras will be allowed for discrepancies between the drawings and the actual site conditions unless reported in writing during the quotation period.
  - It is the contractor's responsibility to locate and have staked the exact utility location with all companies involved before starting any work. Hand dig within two (2) meters of all electrical lines.
  - Keep the area outside the immediate construction zone clean, safe and usable by the public at all times. Contractor to coordinate all deliveries of materials to ensure minimal construction delays to the approval of the Landscape Architect and/or client's representative.
  - Obtain approval of layout from the Landscape Architect and/or client's representative prior to commencement.
  - All work to be guaranteed for a period of One (1) Year from the date of substantial performance.
  - Make good all damage resulting from work carried out under the contract, at no extra cost. This includes restoration of any/all construction access routes - to as new condition, to the satisfaction of the Landscape Architect and/or client's representative.

- Landscape Architect is not responsible for the accuracy of survey, engineering or architectural drawings. Contractor to verify existing grading/topographic information prior to installing granular bases.
- Construction must conform to all applicable codes and regulations of all authorities having jurisdiction.
- Ensure positive drainage for finished surfaces leaving no pockets or low points for standing water.
- All drawings, specifications and related documents are the copyright of the Landscape Architect noted on the drawings. Reproduction of any part is forbidden without the Landscape Architect's permission.
- Wherever any material is specified by name and/or number thereof, such specifications shall be deemed to be used for the purpose of facilitating a description of the materials and establishing quality, and shall be deemed and construed to be followed by the words 'or approved equal'.
- No substitutions will be permitted which have not been submitted for prior approval by the Landscape Architect or client's representative. All materials shall be new and without flaws or defects and shall be the best of their class and kind. Sufficient descriptive literature and/or samples must be submitted as 'Equal' substitutes.
- These notes apply to all parts of this contract.



5 **CIP Concrete Paving**  
Scale: 1:10

Key Plan:

Legend:

No.	Description	Date	By
8			
7			
6			
5			
4	Issued for Conditional SPA	24.03.26	TR
3	Issued for Revised SPA	24.01.26	TR
2	Issued for Revised SPA	23.10.31	TR
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**NOT FOR CONSTRUCTION**

Client:  
**RH Gay Holdings Co.**

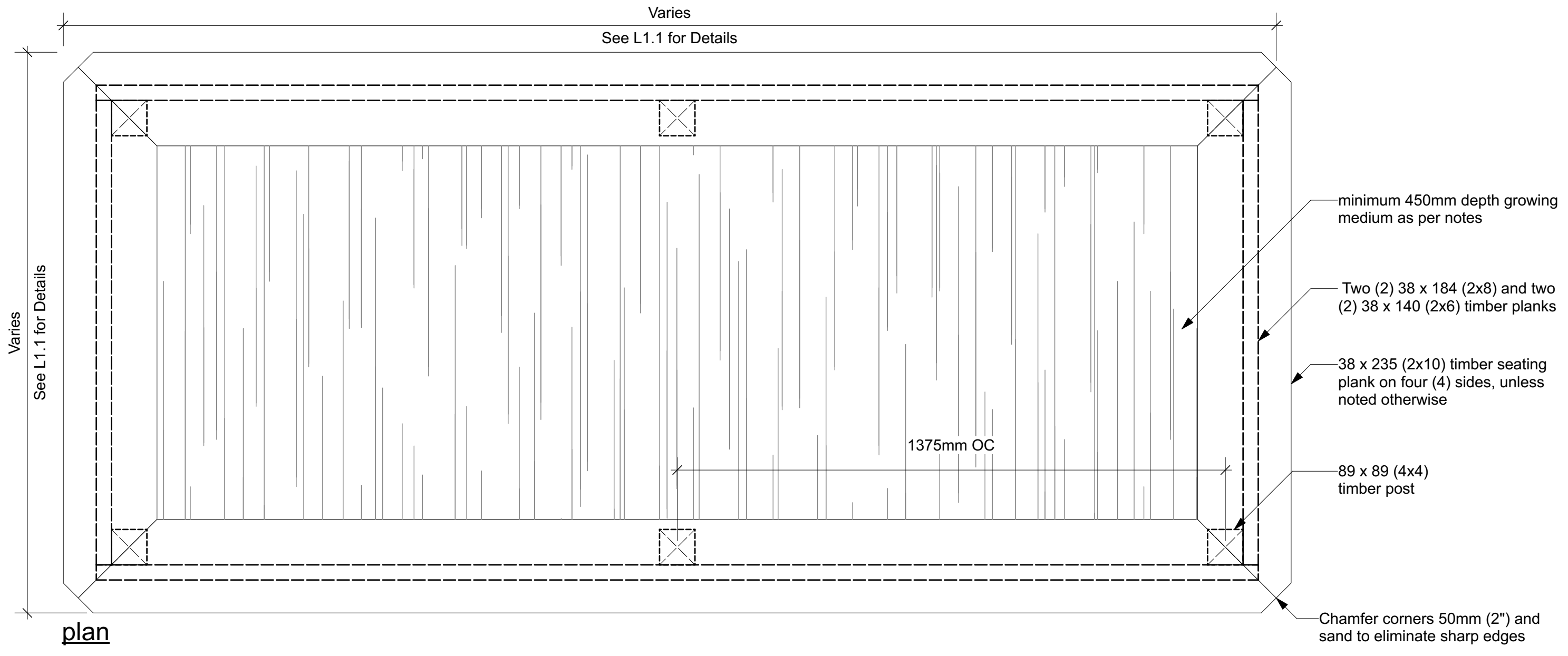
Project:  
**Proposed Mixed-Use Development  
1697 Durham Regional Hwy 2,  
Courtice, ON**

Drawing Title:  
**Landscape Details  
Preservation Plan**

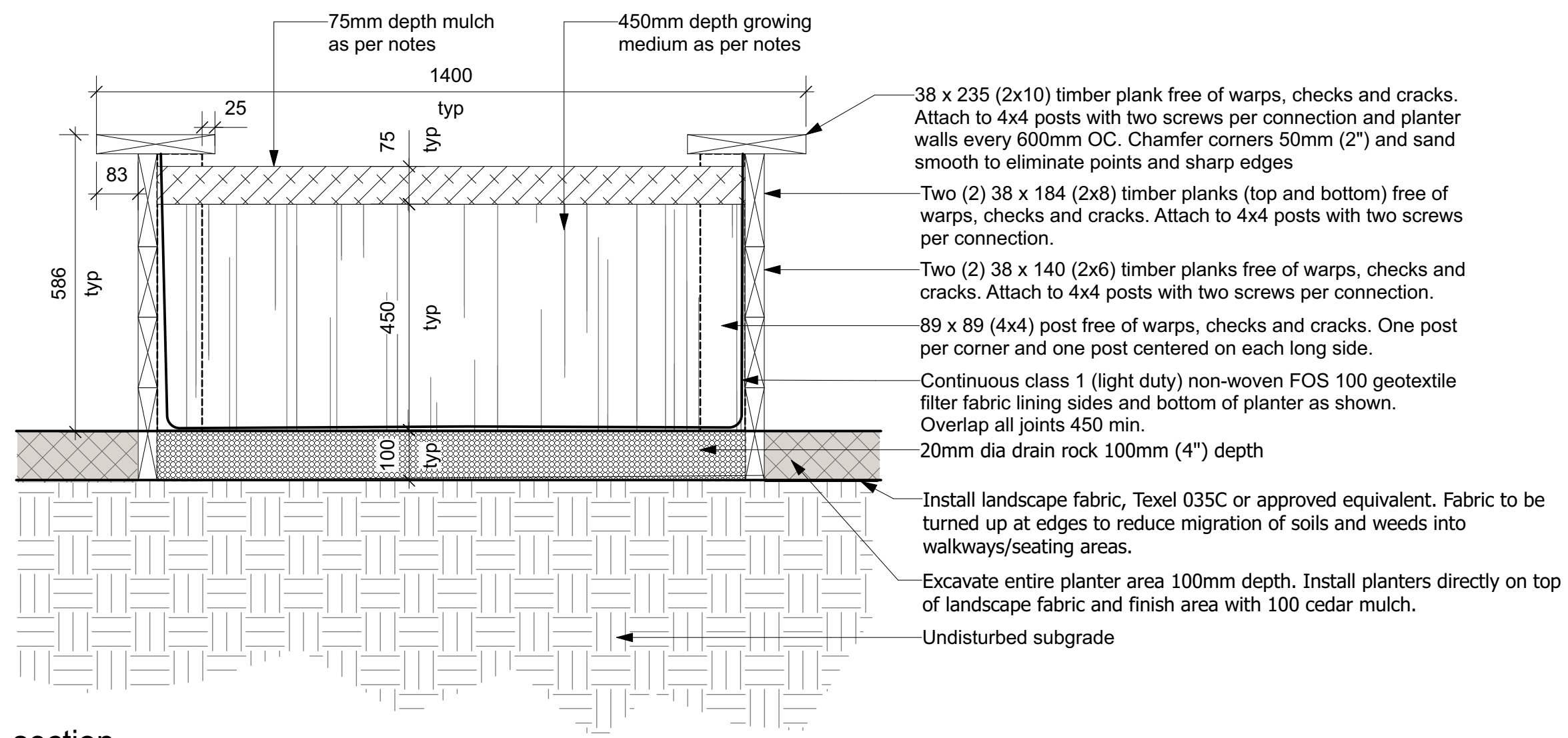
Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #: <b>L 2.2</b>
Approved By: TR	
Date: 22/11/15	



approved  
equally



plan



section

1 Raised Garden Beds  
Scale: 1:10

- Notes**
- All dimensions are in millimeters. Do not scale drawing.
  - Specified depths of mulch, topsoil and planting mix are depths after settlement. Specified depth of granular bases is compacted depth.
  - Where more than one planter is installed in a linear configuration, use a string line to layout and align (line up) planters.
  - Planting mix- approved 3-way mix, or as specified by the landscape architect and/or clients representative. Add 0.75 kg superphosphate per cu m of soil.
  - Mulch: Shredded bark mulch (cedar/pine)
  - Timber: All timber to be nominal dimension S4S Cedar or Eastern Hemlock.
  - Finish: All exposed surfaces to be finished with two coats semi-transparent waterproofing stain and sealer. Colour: Cedar. Contractor to provide product sample and confirm colour selection prior to purchase.
  - Planter construction to be to the satisfaction of the Landscape Architect and/or Owners representative.

Revised 03/03/08

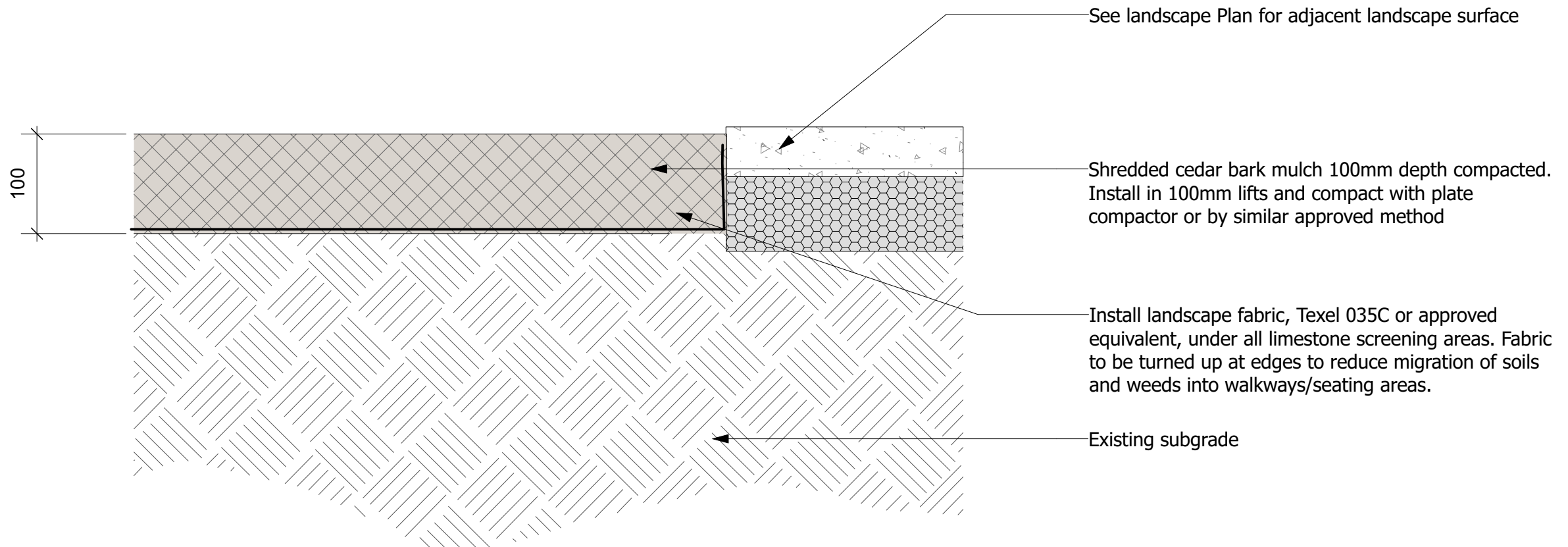
**GREEN POD 4x4**  
PANELIZED GARDEN BUILDING  
INSTRUCTIONAL MANUAL

Cedarshed Industries (1992) Inc.  
9770 - 159A Street  
Langley, B.C. V1M 2X7  
Canada

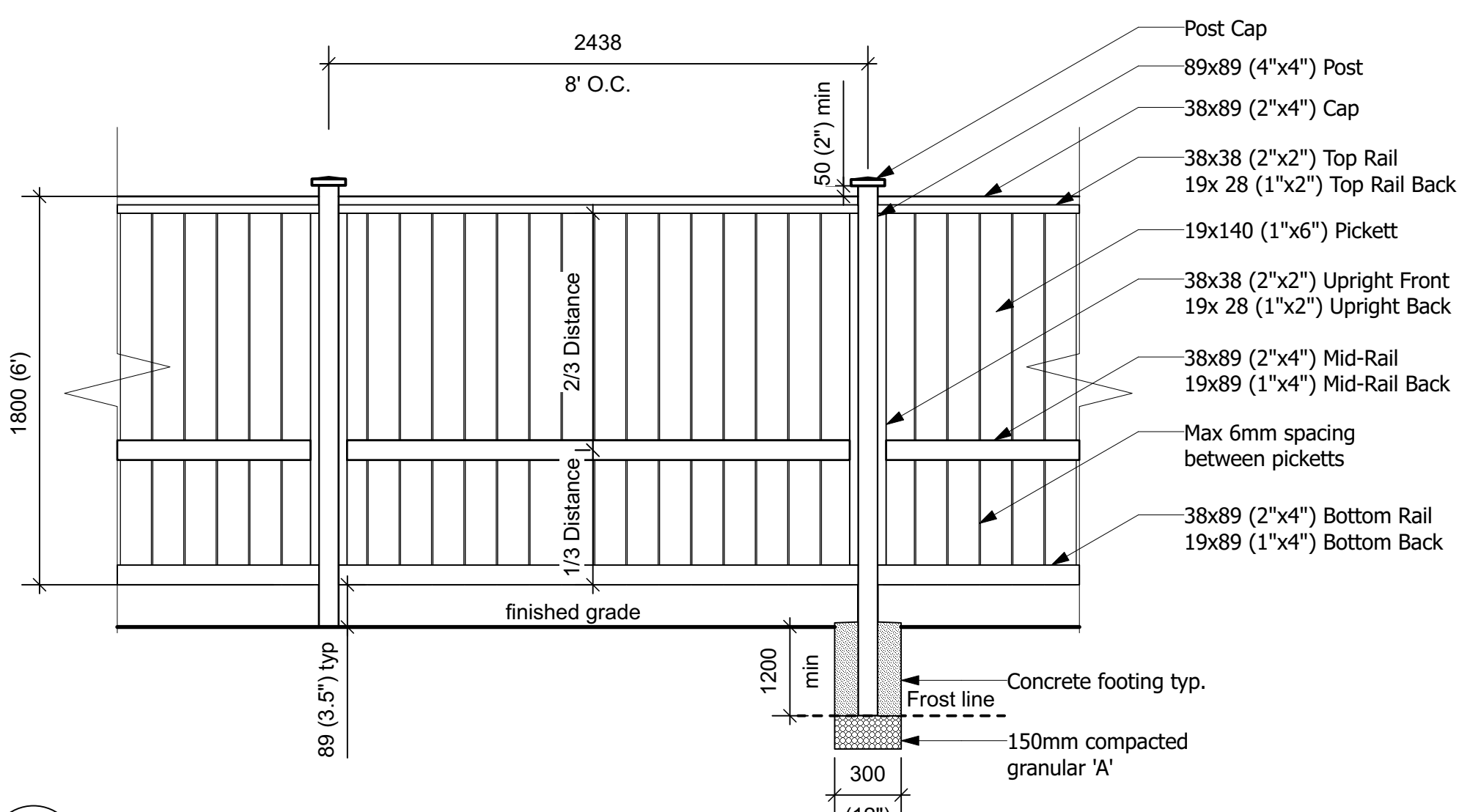
WWW.CEDARSHED.COM email: sales@cedarshed.com TOLL FREE: 1-800-830-8033



5 4x4' Green Pod Eco-Shed  
Scale: N.T.S.

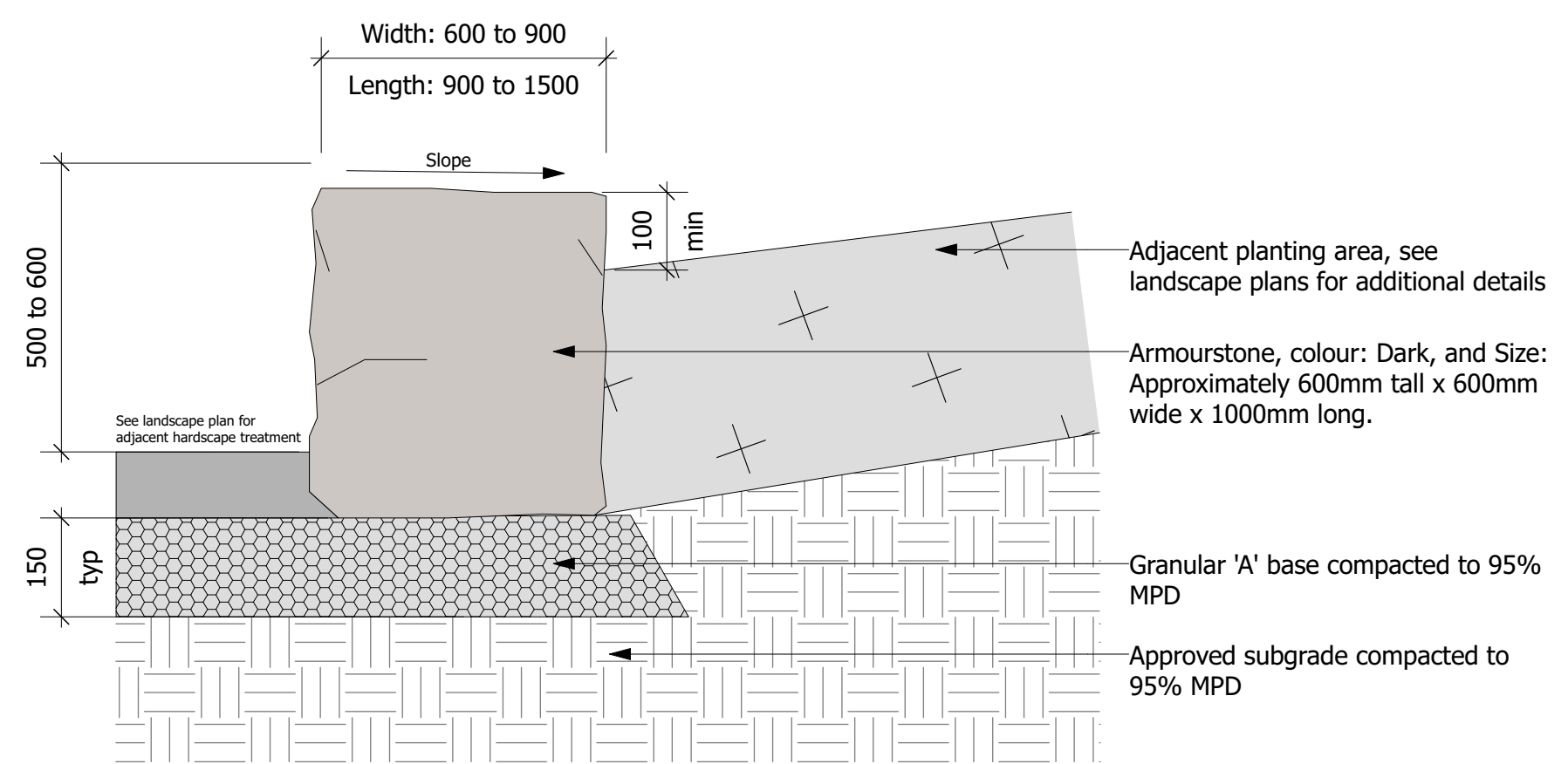


3 Shredded Cedar Mulch  
Scale: 1:10



- General Notes**
- All fasteners to be galvanized.
  - All lumber to be pressure treated, nominal dimensions.
  - Step fence panels as required on moderate slopes of 5% or less.
  - Ensure a minimum 50mm (2") and maximum 150mm (6") space below bottom rail and slope.
  - All fence picketts to have rough side facing inward.
  - All fence panels to be 6' in height
  - All structural fence rails to be on the rear side of fence picketts

2 1.8m Wooden Privacy Fence Detail  
Scale: 1:25



- Armour Stone Installation Notes**
- All dimensions are in millimeters. Do not scale drawing;
  - Specified depths of mulch and topsoil are depths after settlement. Specified depth of granular base is compacted depth;
  - Install all armour stone with a minimum 50mm below finished grade of adjacent surface;
  - Ensure that all armour stone are stable and free from all movement after installation is complete;
  - Gaps between adjacent armour stones are to be minimized to the greatest extent possible. Gaps are to be less than 50mm.
  - Gaps greater than 50mm shall be parged with a concrete mix or filled by alternative method to the satisfaction of the Landscape Architect. Contractor to approve method of filling prior to completing;
  - Ensure that all armour stone are installed with a maximum 2% slope;
  - Ensure all armour stone seating surfaces are level with adjacent armour stone; and
  - Installation of armour stone to be to the satisfaction of the Design Consultant and/or clients representative.

4 Armour Stone  
Scale: 1:10

Key Plan:

Legend:

No.	Description	Date	By
8			
7			
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Issue / Revision Schedule



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Project:  
**Proposed Mixed-Use Development**  
1697 Durham Regional Hwy 2,  
Courtice, ON

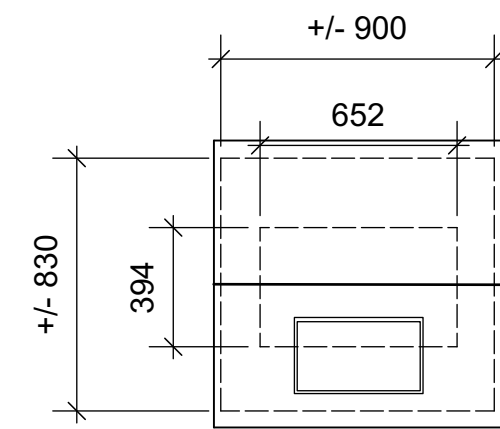
Drawing Title:  
**Landscape Details Preservation Plan**

Designed By: TR	Project #: 22.49
Drawn By: TR	Drawing #:
Approved By: TR	<b>L 2.3</b>
Date: 22/11/15	

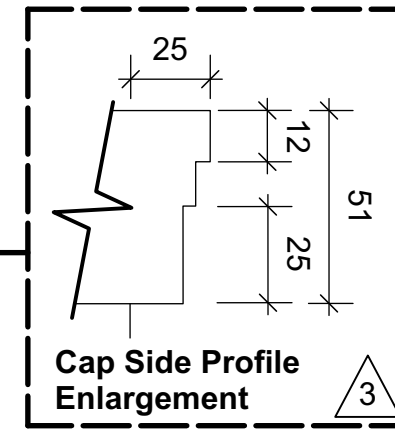


**General Notes**

- All dimensions are in millimeters. Do not scale drawing.
- Sealants to be 'Hydrozoo Concrete Repellency Agent' (Penetrating Stain Sealant); and 'Hydrozoo Enviroseal 7' Masonry Repellency Agent.
- Ties to be hot-dipped galvanized horizontal reinforcement, BL-42 adjustable veneer tabs as supplied by Simcoe Block.
- Plaque to include QR code linked to website, description of site history, homeowners and builder of original home. Final details and design to be provided by owner
- Brickwork to match images and style of original home (see right).
- Cairn construction to be to the satisfaction of the Landscape Architect and/or Owners representative.



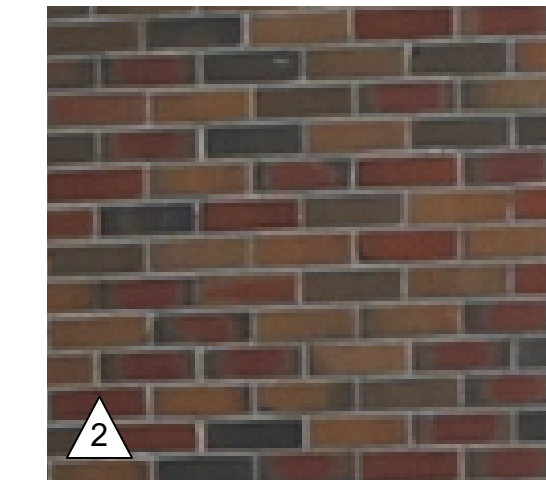
PLAN VIEW



Cap Side Profile Enlargement



Unique brickwork transition to overhang.



Original brick to be reused.

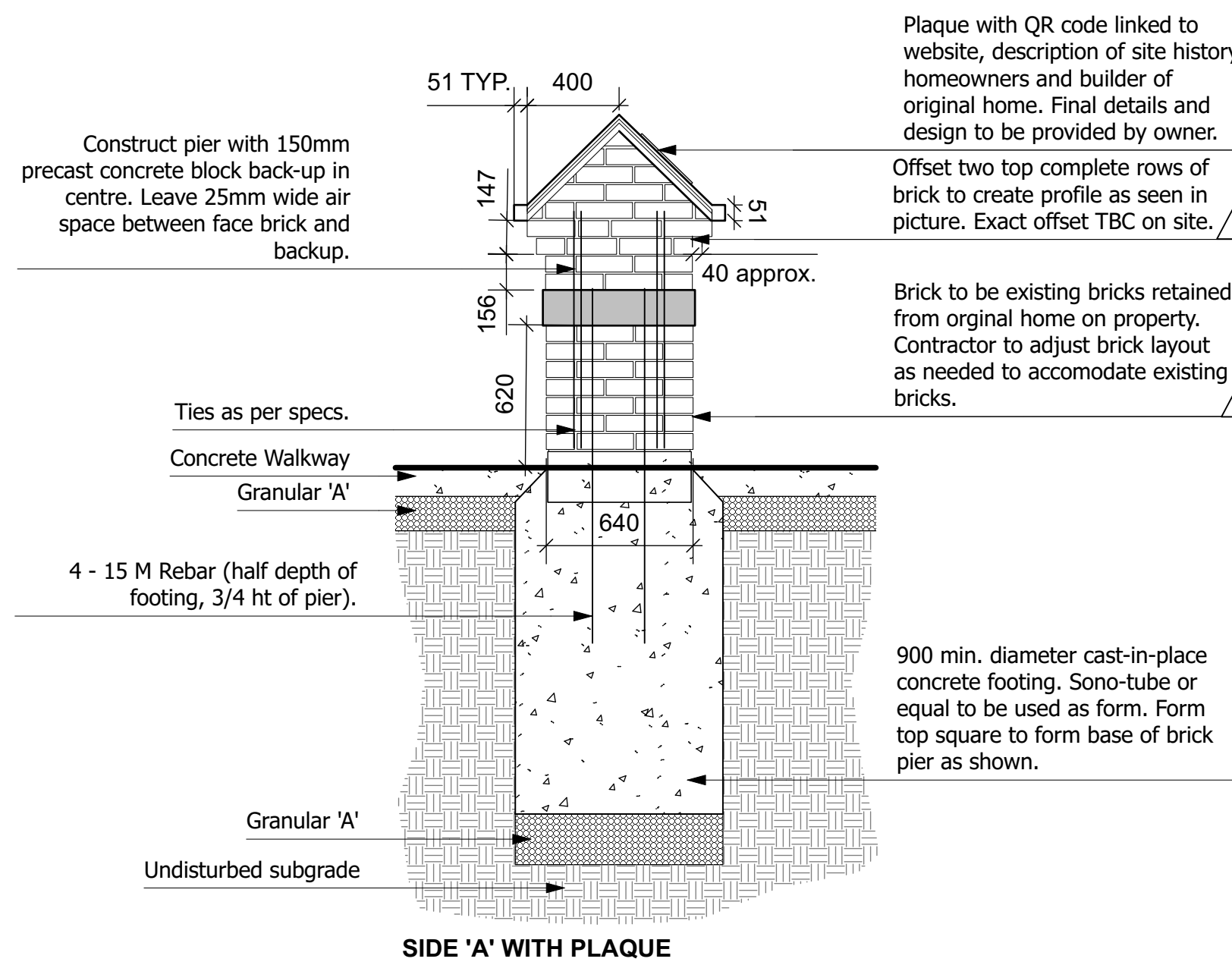


Concrete overhang profile to match overhang of original home.

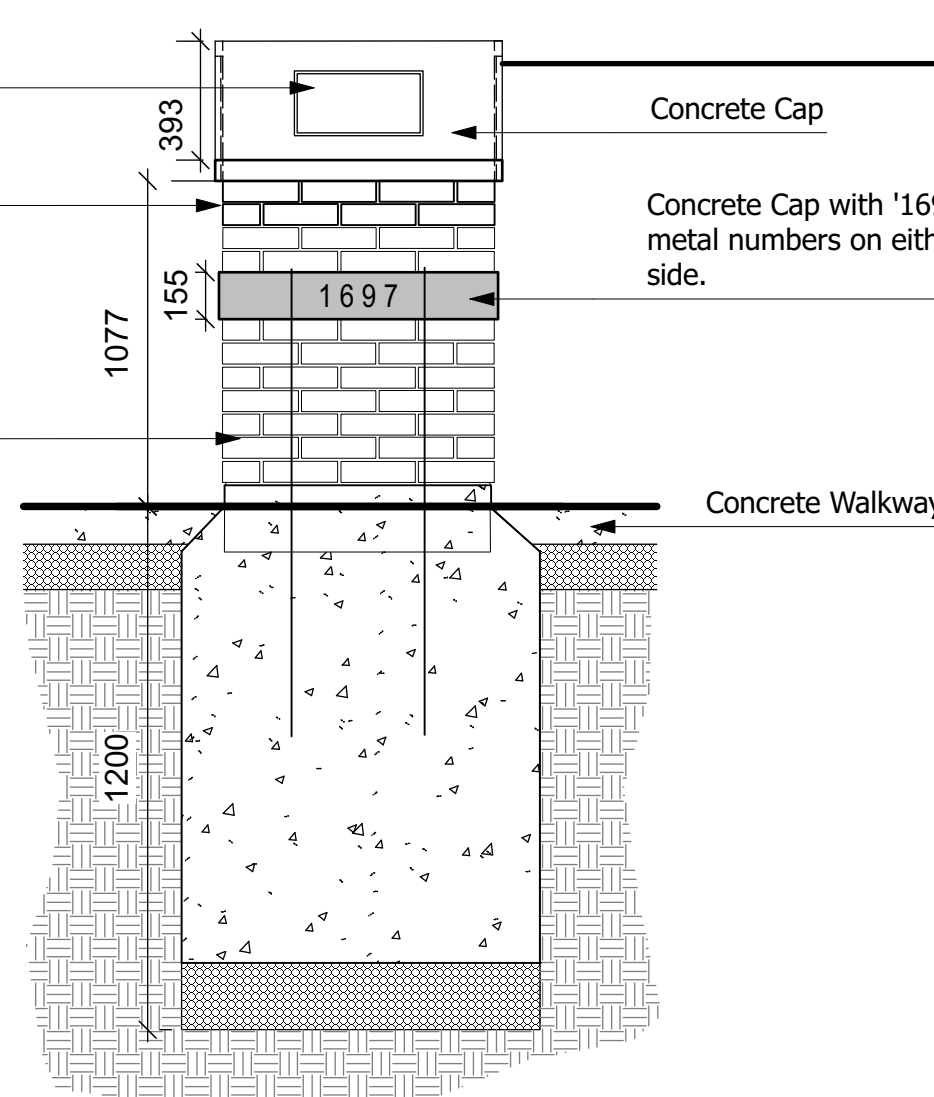
Images depicting Original Home. Images courtesy of Gay Company Ltd., 2024.



Original Home



SIDE 'A' WITH PLAQUE



BACK WITH NUMBERS

Plaque with QR code linked to website, description of site history, homeowners and builder of original home. Final details and design to be provided by owner.

Offset two top complete rows of brick to create profile as seen in picture. Exact offset TBC on site.

Brick to be existing bricks retained from original home on property. Contractor to adjust brick layout as needed to accommodate existing bricks.

900 min. diameter cast-in-place concrete footing. Sono-tube or equal to be used as form. Form top square to form base of brick pier as shown.

Construct pier with 150mm precast concrete block back-up in centre. Leave 25mm wide air space between face brick and backup.

Ties as per specs.

Concrete Walkway

Granular 'A'

4 - 15 M Rebar (half depth of footing, 3/4 ht of pier).

Granular 'A'

Undisturbed subgrade

**1 Heritage Cairn**

Scale: 1:25  
Refer to L.1.1 for location.

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Drawn By: TR	Drawing #:
Approved By: TR	<b>L 2.4</b>
Date: 22/11/15	