

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.		
<b>CONIFEROUS TREES</b>							
PG	6	PICEA GLAUCA	WHITE SPRUCE	100CM HT.	B&B		
	6	SUBTOTAL:					
<b>DECIDUOUS STREET TREE</b>							
AI	4	ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE (JEFFERSRED) MAPLE	60MM CAL.	B&B		
QM	4	QUERCUS MACROCARPA	BURR OAK	60MM CAL.	B&B		
TA	7	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	60MM CAL.	B&B		
	15	SUBTOTAL:					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	
<b>BROADLEAF EVERGREEN</b>							
bgm	25	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	1 GAL.	POT	1 m	
ign	75	ILEX GLABRA 'NORDIC' (CHAMZIN)	NORDIC INKBERRY	1 GAL.	POT	1 m	
	103	SUBTOTAL:					
<b>CONIFEROUS SHRUBS</b>							
tmd	18	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	1 GAL.	POT	1 m	
	18	SUBTOTAL:					
<b>DECIDUOUS SHRUBS</b>							
hph	15	HYDRANGEA PANICULATA 'HYPMAD T'	WHITE DIAMONDS® PANICLE HYDRANGEA	1 GAL.	POT	1 m	
	15	SUBTOTAL:					
<b>PERENNIALS</b>							
af	29	AGASTACHE FOENICULUM	BLUE GIANT HYSSOP	1 GAL.	POT	0.8 m	
ep	32	ECHINACEA PURPUREA	CONEFLOWER	1 GAL.	POT	0.8 m	
	61	SUBTOTAL:					

NOTE:  
CITY RIGHT OF WAY BOULEVARD IS TO BE REINSTATED WITH 100MM OF TOPSOIL AND SOD PER LANDSCAPE SPECIFICATIONS 1-L2



ISSUED FOR TENDER ONLY  
NOT FOR CONSTRUCTION

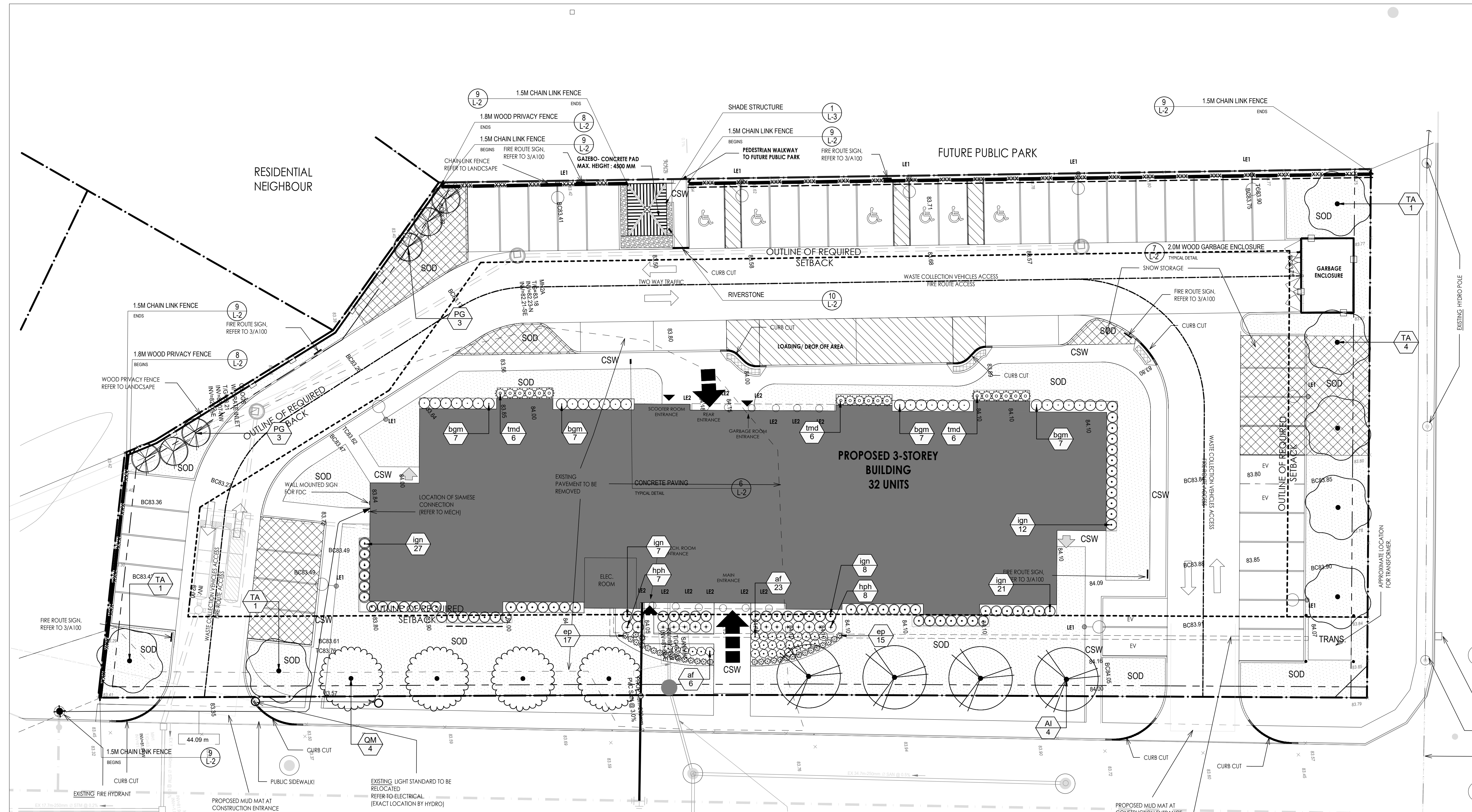
All drawings and specifications are instruments of service and will remain the property of Northumberland Landscape Architects and must be returned at the completion of the work. This drawing shall not be used for construction purposes unless the drawings are marked 'Issued for Construction' and the professional seal is signed and dated by the landscape architect.

**GENERAL NOTES**

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- Plant quantities indicated on the plan supersede the quantities from the plant list (report any discrepancies to the landscape architect).
- Do not leave any holes open overnight.
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**LEGEND**

- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- EXISTING DECIDUOUS TREE TO REMAIN
- PROPOSED CONTINUOUS SHRUB BED
- CONCRETE SIDEWALK
- SODDING



1  
L-1  
LANDSCAPE PLAN  
1:200

5.	JULY 30, 2024	ISSUED FOR TENDER
4.	FEBRUARY 12, 2023	ISSUED FOR THIRD SPA SUBMISSION
3.	OCTOBER 19, 2023	ISSUED FOR SECOND SPA SUBMISSION
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REV #	DATE	ISSUED / REVISION
	MAY 2024	
<b>PLAN SCALE</b> 1:200		
<b>FILE NO.</b> 4066A		
<b>PROJECT</b> 32 UNIT AFFORDABLE HOUSING APARTMENT BUILDING 20 SOUTH STREET TRENTON, ONTARIO		
<b>FILE NAME</b> LANDSCAPE PLAN	<b>DWG NO.</b> L1	



**LANDSCAPE SPECIFICATIONS:**

All sod shall conform to the standards of the Nursery Sod Growers Association of Ontario. All sodded areas shall be prepared with a minimum of 100mm of topsoil and sodded with #1 bluegrass - rescue nursery sod. On slopes, lay the turf pieces horizontally across the slope, starting at the bottom. For areas with a 2:1 slope or greater stake sod to hold in place with 1/2" x 1" x 12" pegs at two-foot spacings.

Unless soil tests suggest otherwise, fertilizer shall be applied as follows:  
 Sodded areas: 11-8-4 (11% nitrogen, 8% phosphorous, 4% potash) at 4.5 kg/m<sup>2</sup>  
 Planting beds: 7-7-7 (7% nitrogen, 7% phosphorous, 7% potash) at 0.12 kg/m<sup>2</sup>, and bone meal at 0.58 kg/m<sup>2</sup> of planting soil mixture as outlined below.

All planting beds are to be continuous, and excavated to a minimum depth of 600mm unless noted otherwise. Planting beds are to be filled with a soil mixture composed of 50-60% sand, 20-40% silt, 6-10% clay, and 2-5% organic material, with a pH of 7.5 or less. Sandy loam soil must be topped with a minimum 150mm of minimum 2 year old woodchip mulch. Apply mulch in two lifts. Dig-in the first lift with the sandy loam soil.

All plant material shall conform to the standards of the Canadian Nursery Trades Association. All plant material is to be clay grown stock. Install all plant material as shown on the planting plan and details. Use only viable nursery stock grown in strict accordance with proper horticultural practices which is free from damage, pests, and disease.

All beds are to be covered with a 75mm depth of clean, shredded pine bark mulch by Gro-Bark or approved equal unless noted otherwise. Guying and staking of trees shall conform to the planting details. Wrap all deciduous trees as per the specifications of the Ontario Landscape Contractors Association.

The contractor will observe proper maintenance procedures for all newly constructed landscape work as per Section 1E (Maintenance Work) of Landscape Ontario's specifications. Unless otherwise noted, this will apply during the construction period only. The contractor shall maintain all planting and sodding until final acceptance is granted by the Landscape Architect.

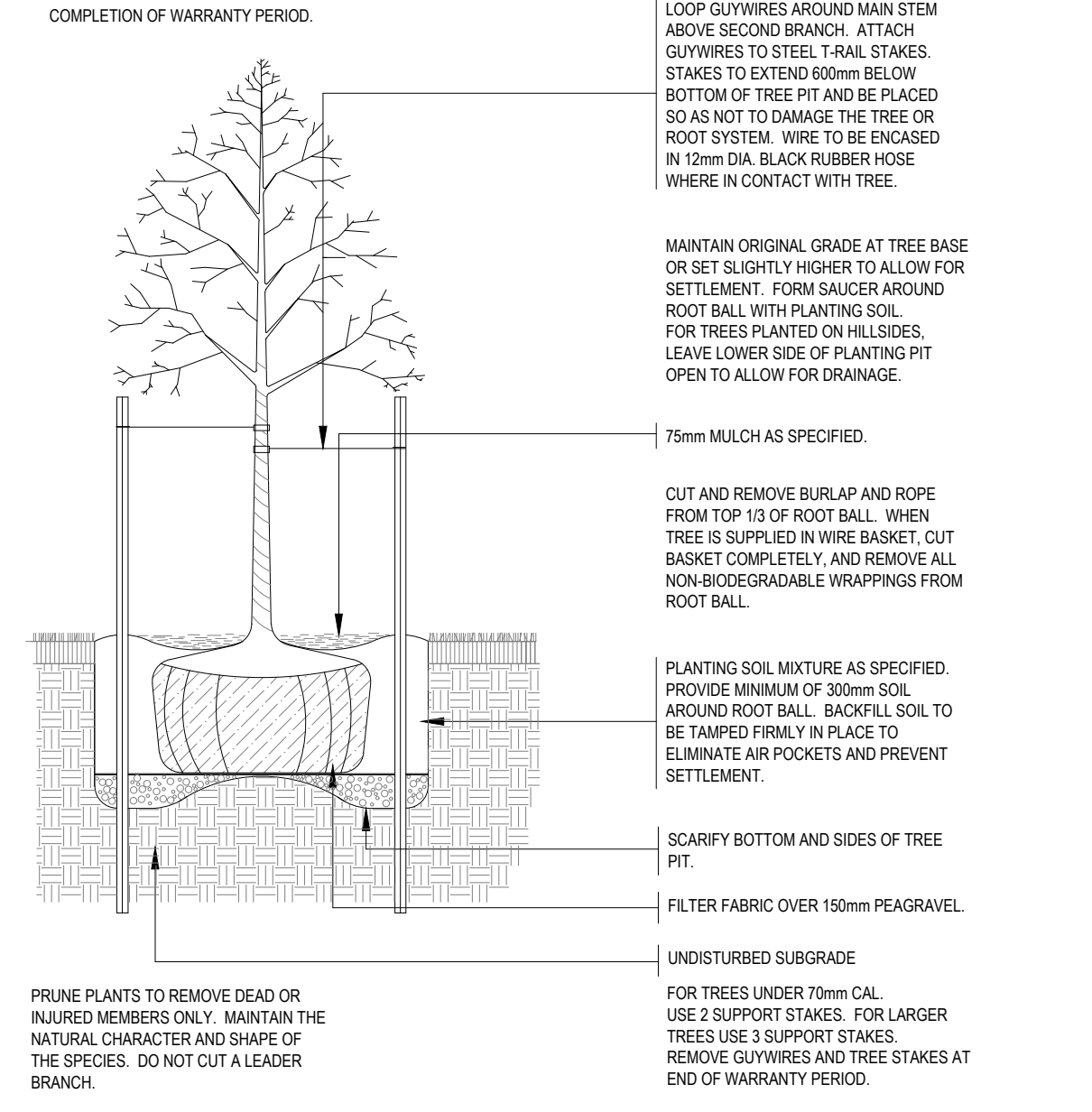
The contractor will be responsible for the protection of all plant material from damages resulting from winter conditions as well as rodents during the warranty period. Apply "Skoot" rodent deterrent formula (or approved equal) to all coniferous trees and all shrubs in late October as per manufacturer's directions.

The contractor shall provide a full one year guarantee (or two years if required by the municipality or owner) on all landscape works, beginning on the date that final acceptance is granted by the Landscape Architect.

**1 LANDSCAPE SPECIFICATIONS**

L-2

NOTE: T-RAILS TO BE REMOVED AT COMPLETION OF WARRANTY PERIOD.

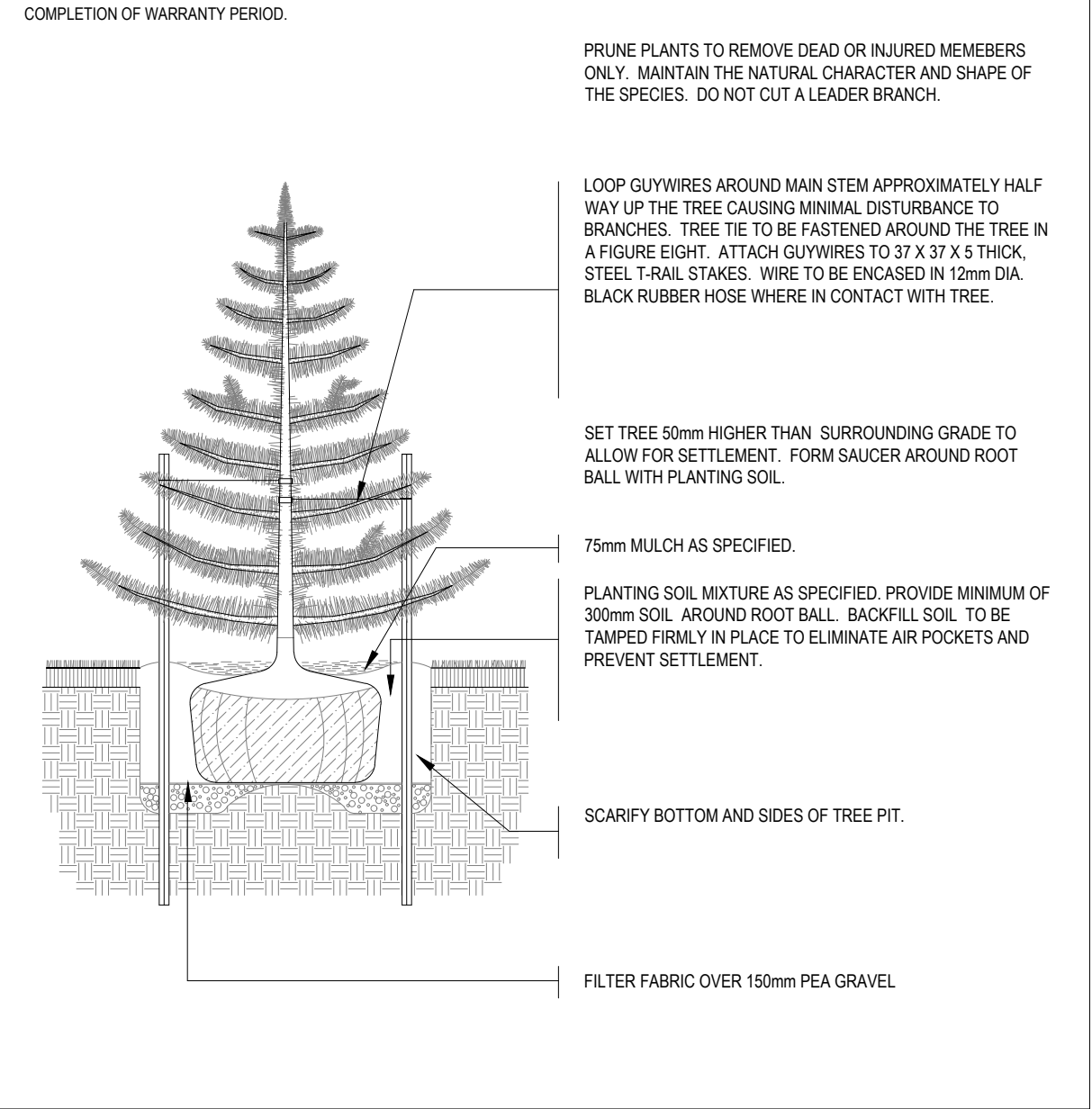


**2 DECIDUOUS TREE PLANTING**

L-2

N.T.S.

NOTE: T-RAILS TO BE REMOVED AT COMPLETION OF WARRANTY PERIOD.

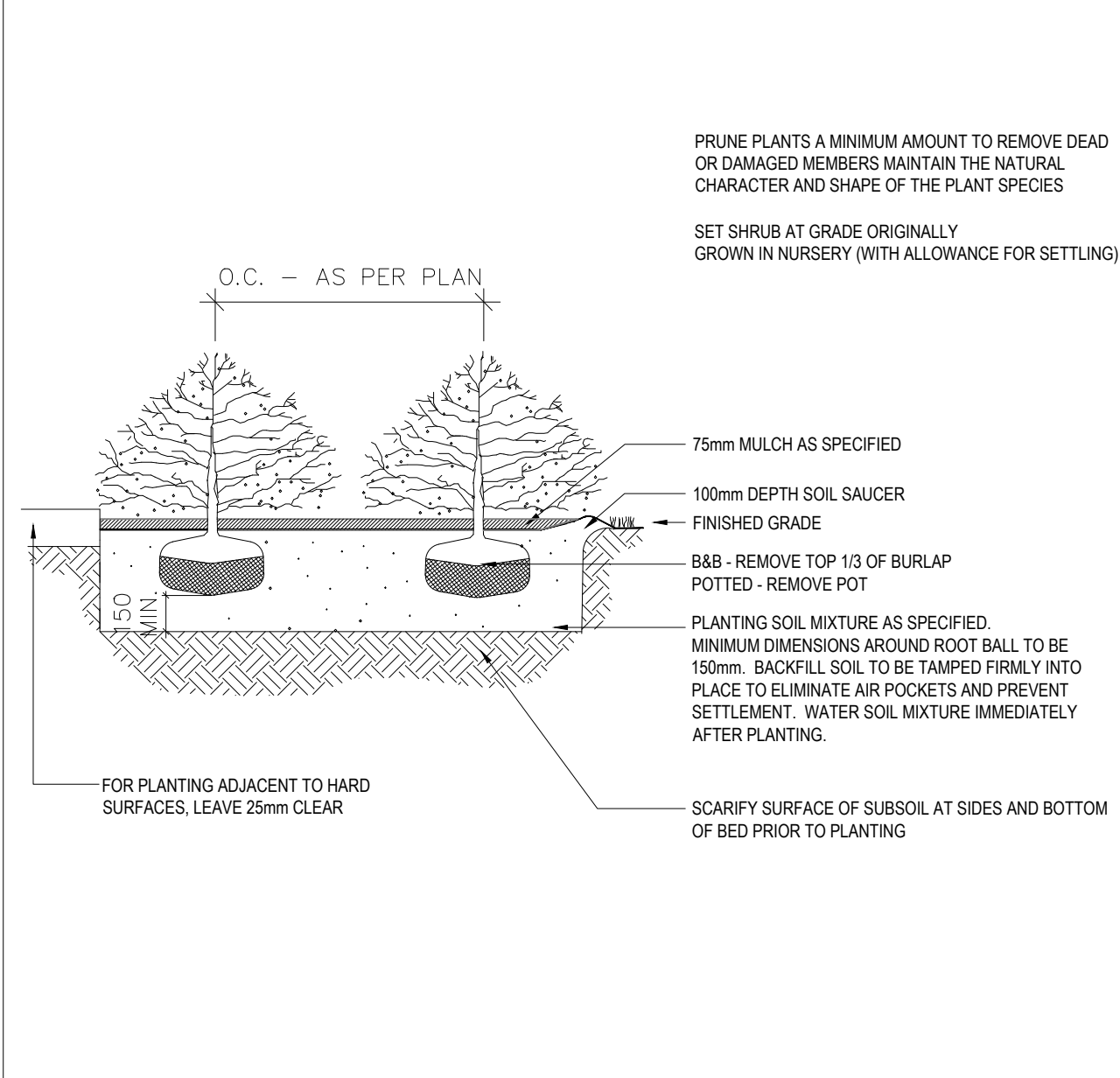


**3 CONIFEROUS TREE PLANTING**

L-2

N.T.S.

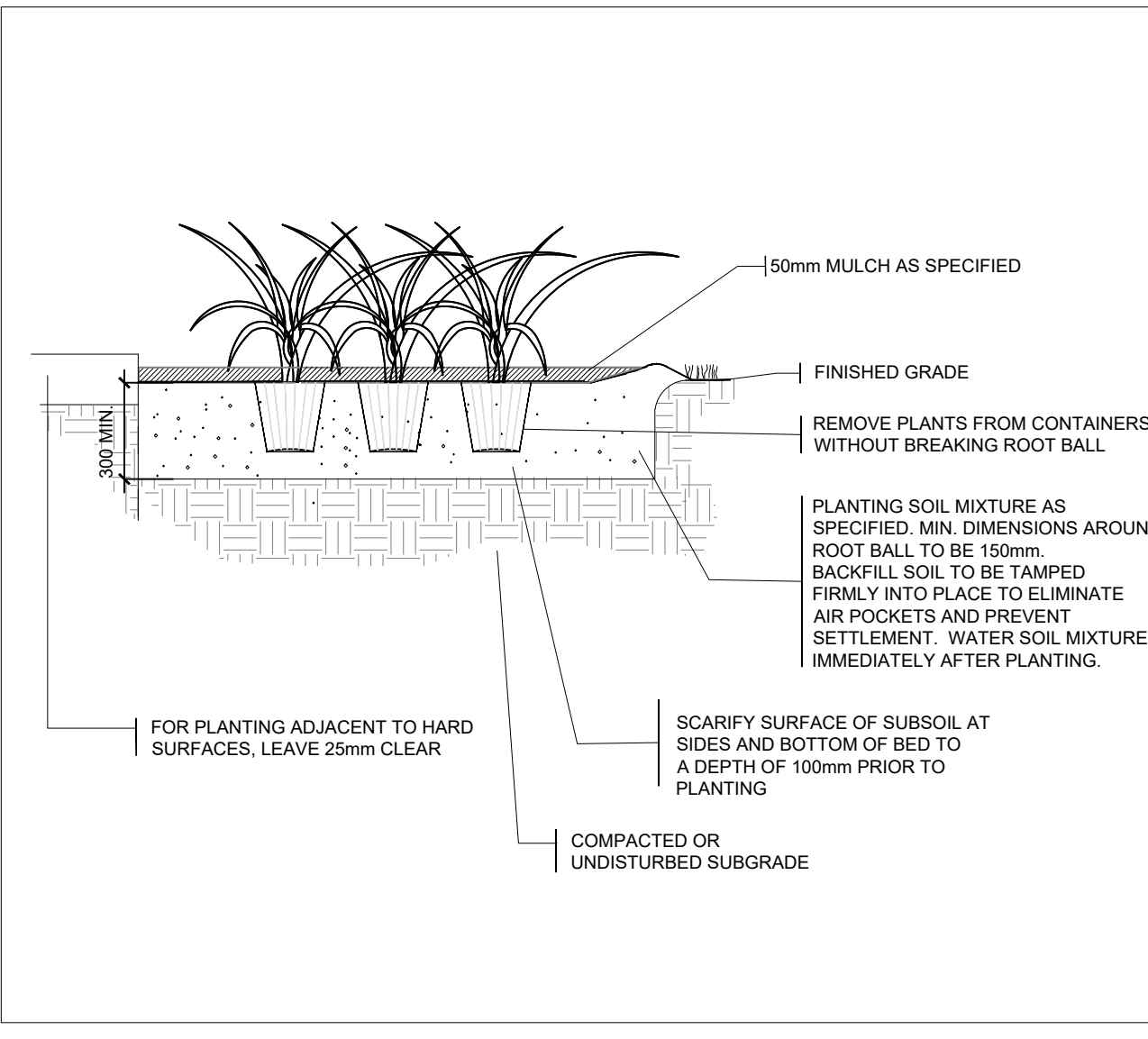
NOTE: T-RAILS TO BE REMOVED AT COMPLETION OF WARRANTY PERIOD.



**4 SHRUB PLANTING**

L-2

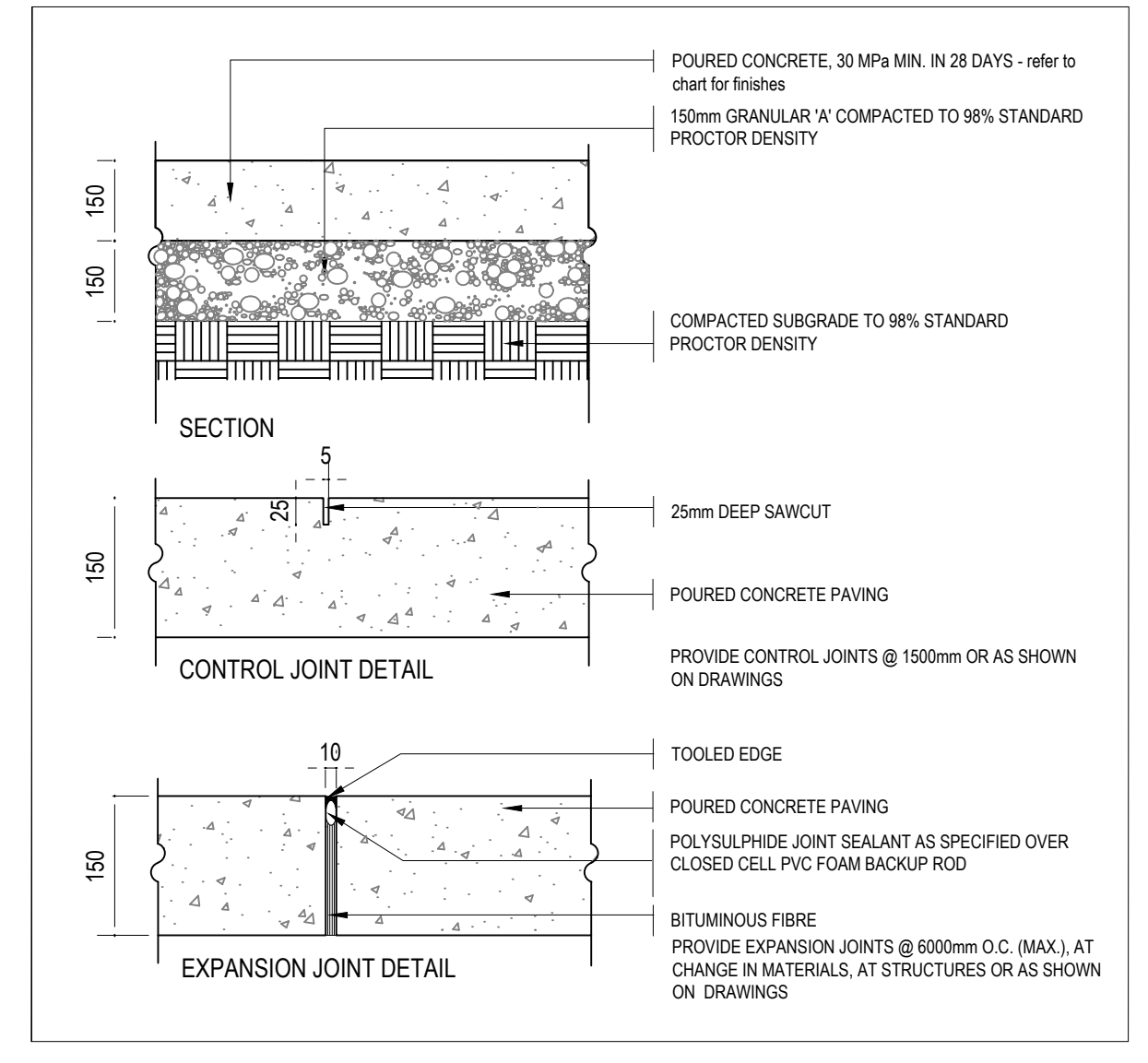
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**5 PERENNIAL PLANTING**

L-2

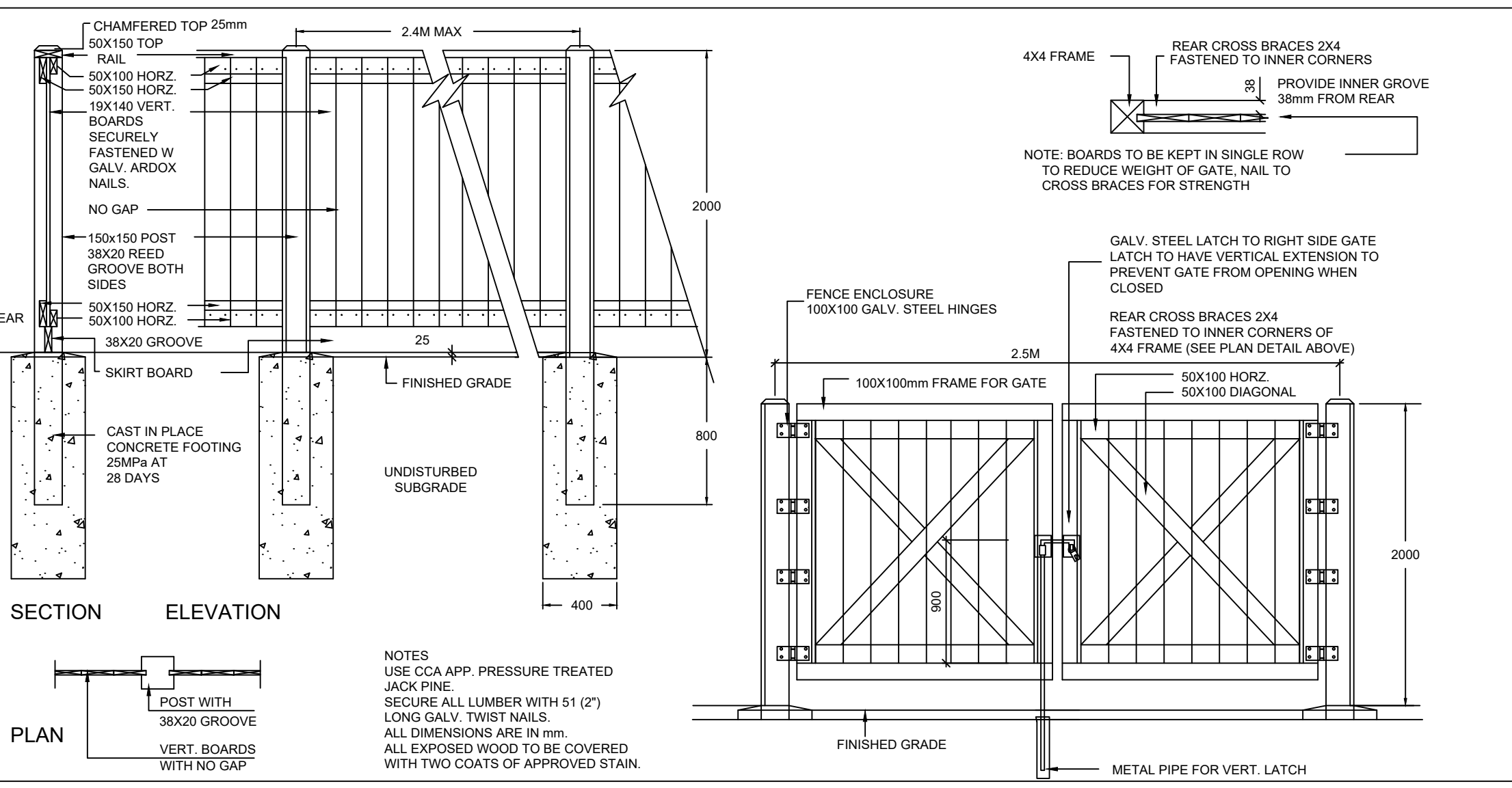
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**6 CONCRETE PAVING**

L-2

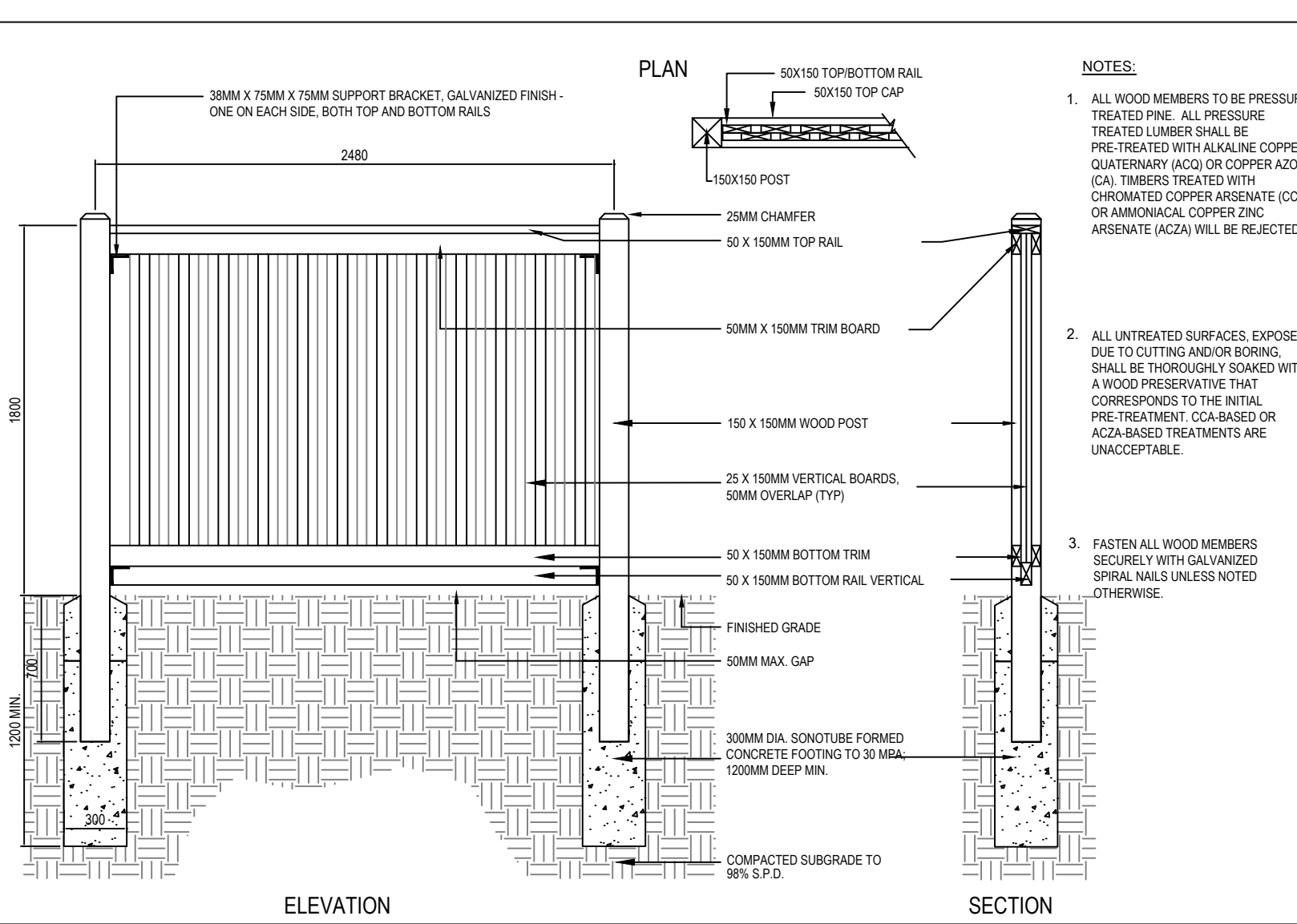
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**7 2.0M WOOD GARBAGE ENCLOSURE**

L-2

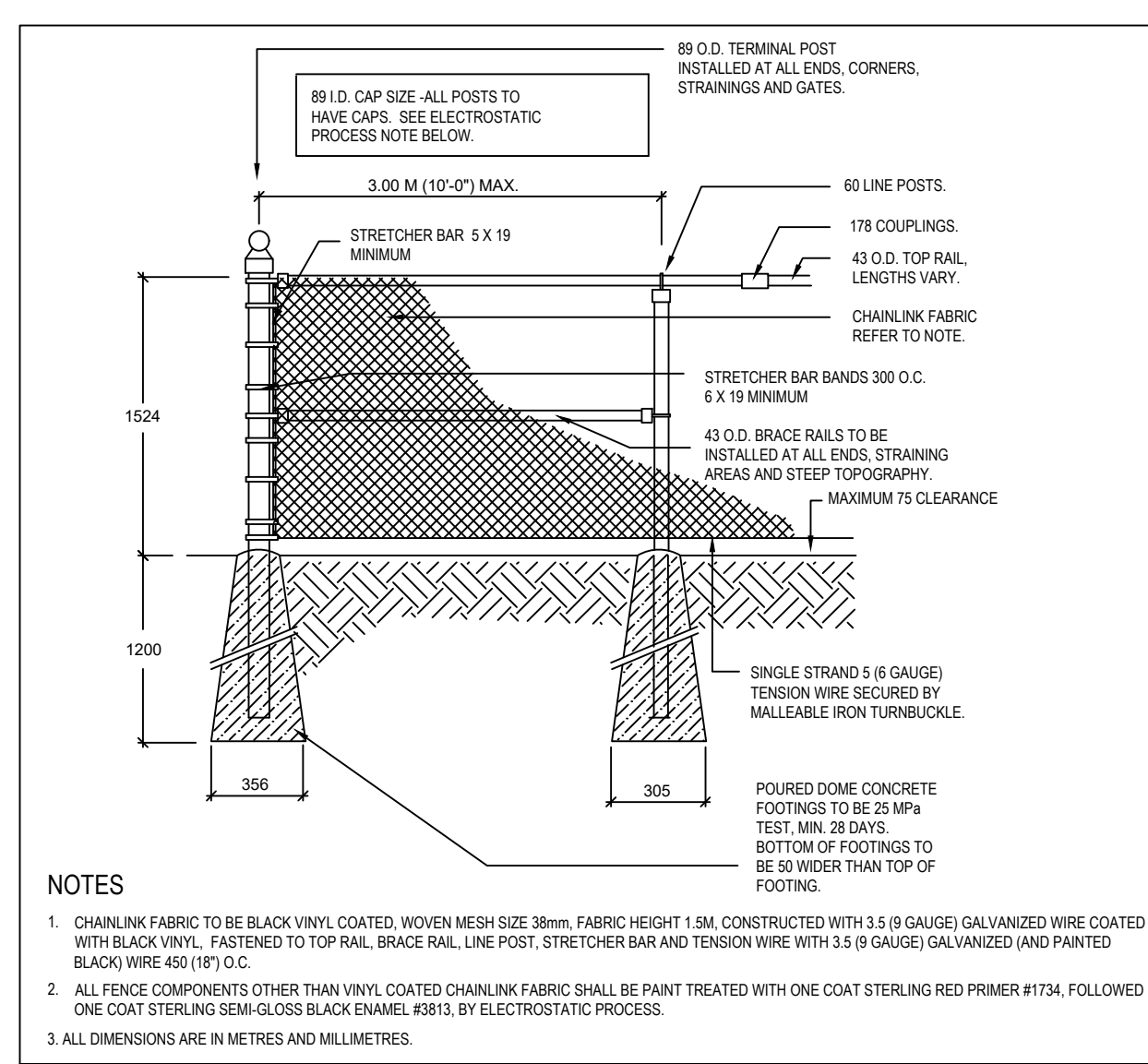
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**8 1.8M WOOD PRIVACY FENCE**

L-2

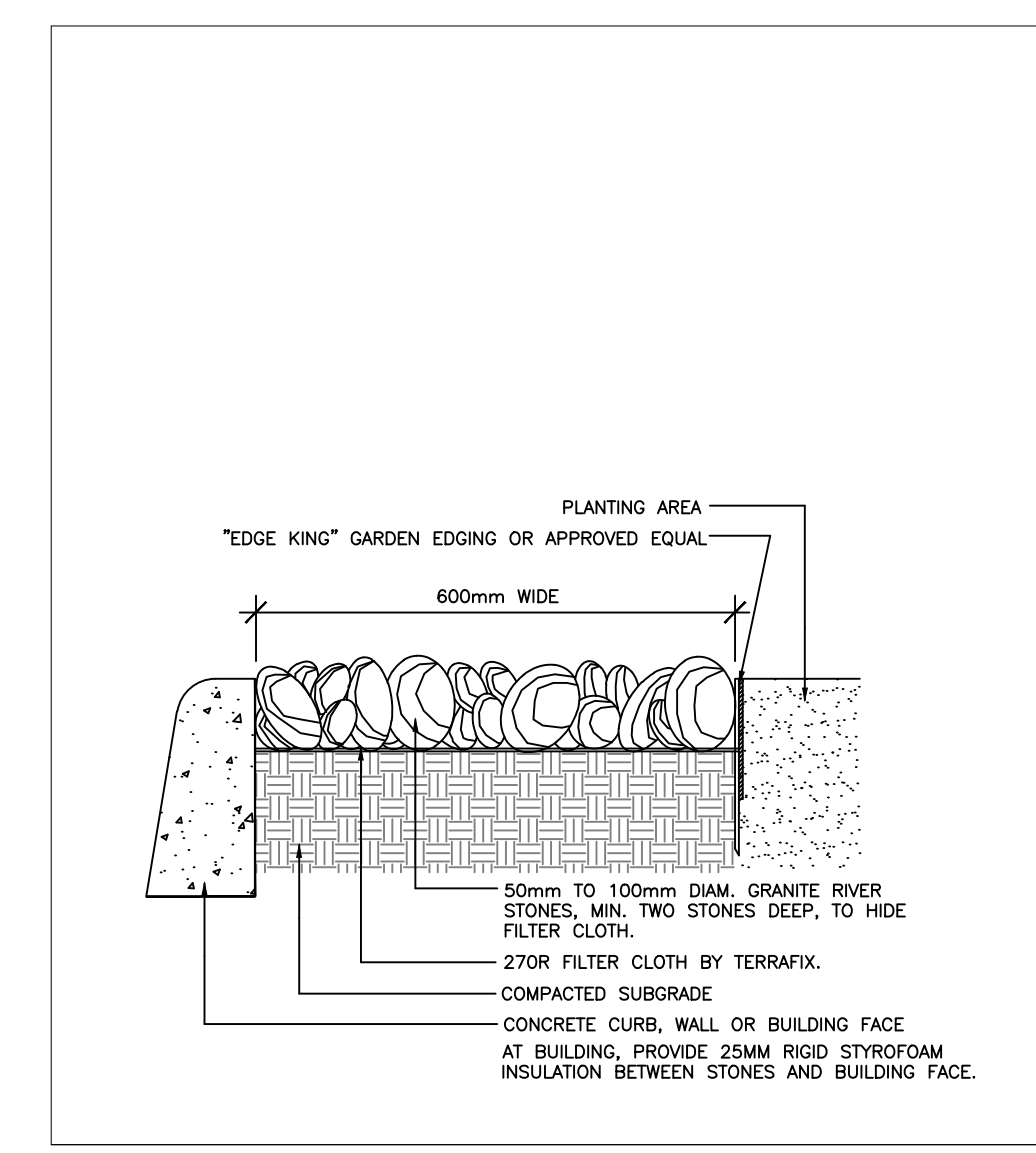
N.T.S.



**9 1.5M CHAIN LINK FENCE**

L-2

N.T.S.



**10 RIVERSTONE**

L-2

N.T.S.



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1.	JUNE 12, 2023	ISSUED FOR REVIEW
DATE	MAY 2024	

<b>PLAN SCALE</b>	
FILE NO.	406A
<b>PROJECT</b>	
32 UNIT AFFORDABLE HOUSING APARTMENT BUILDING	
20 SOUTH STREET TRENTON, ONTARIO	
FILE NAME	LANDSCAPE DETAILS
DWG NO.	L2





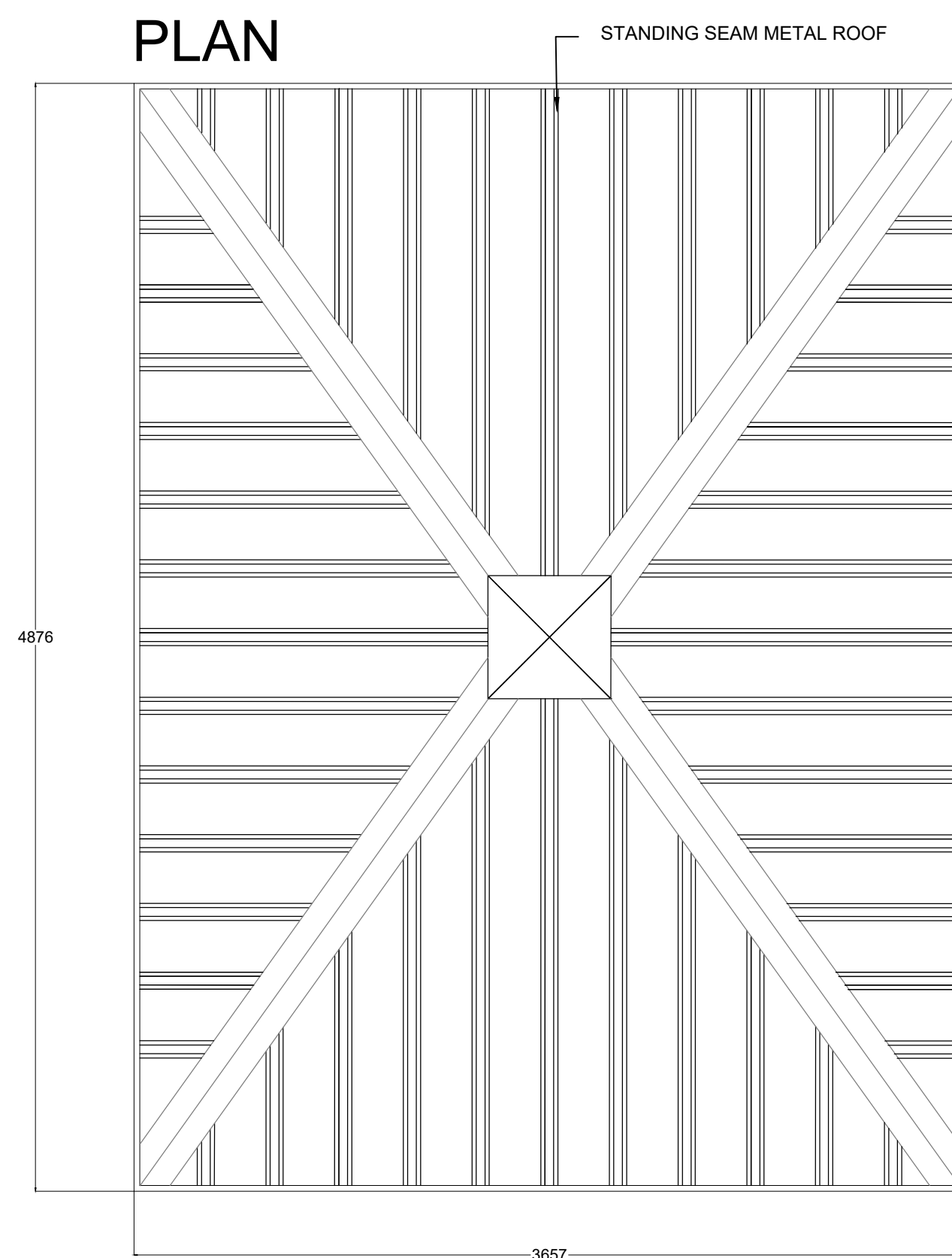
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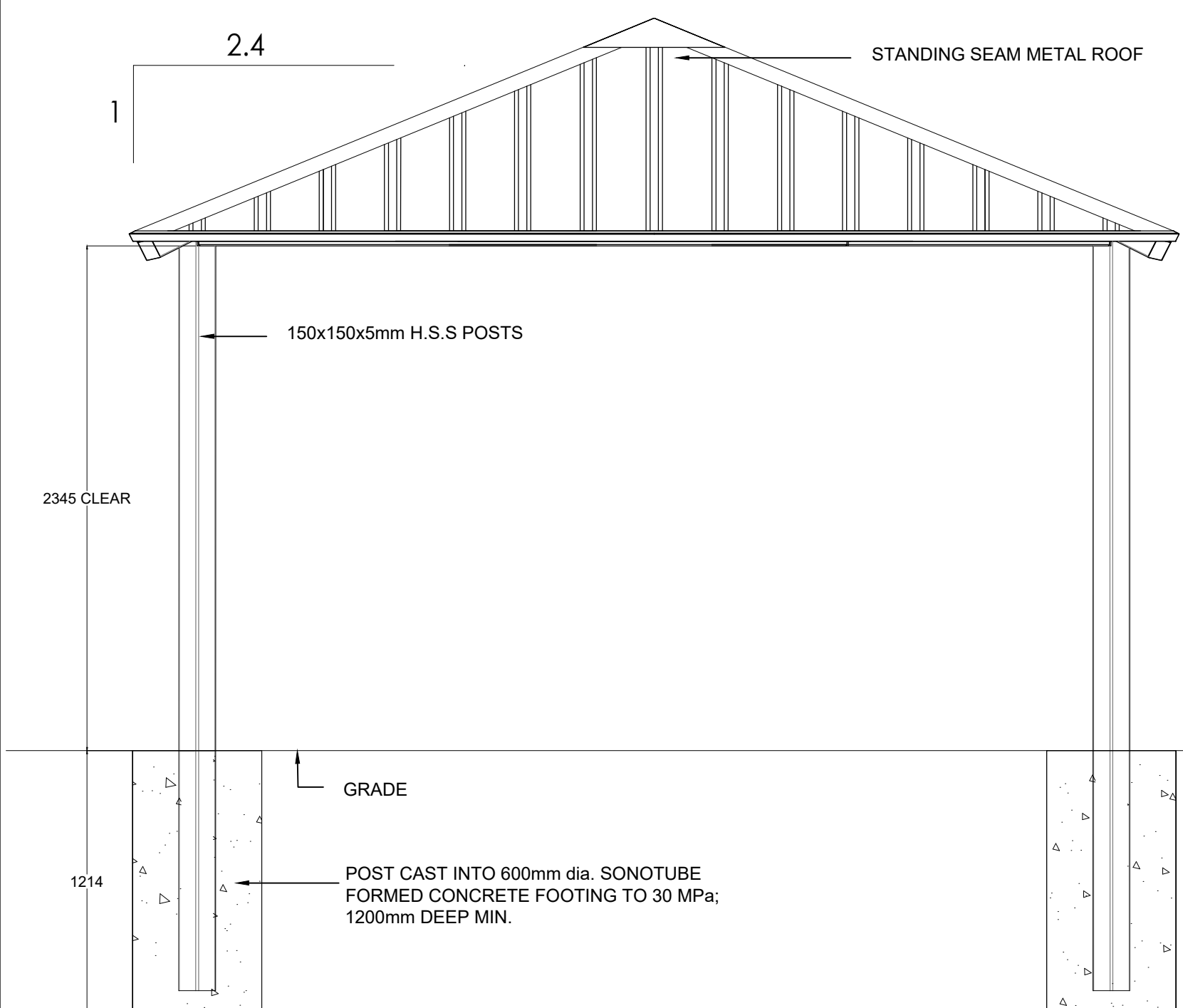
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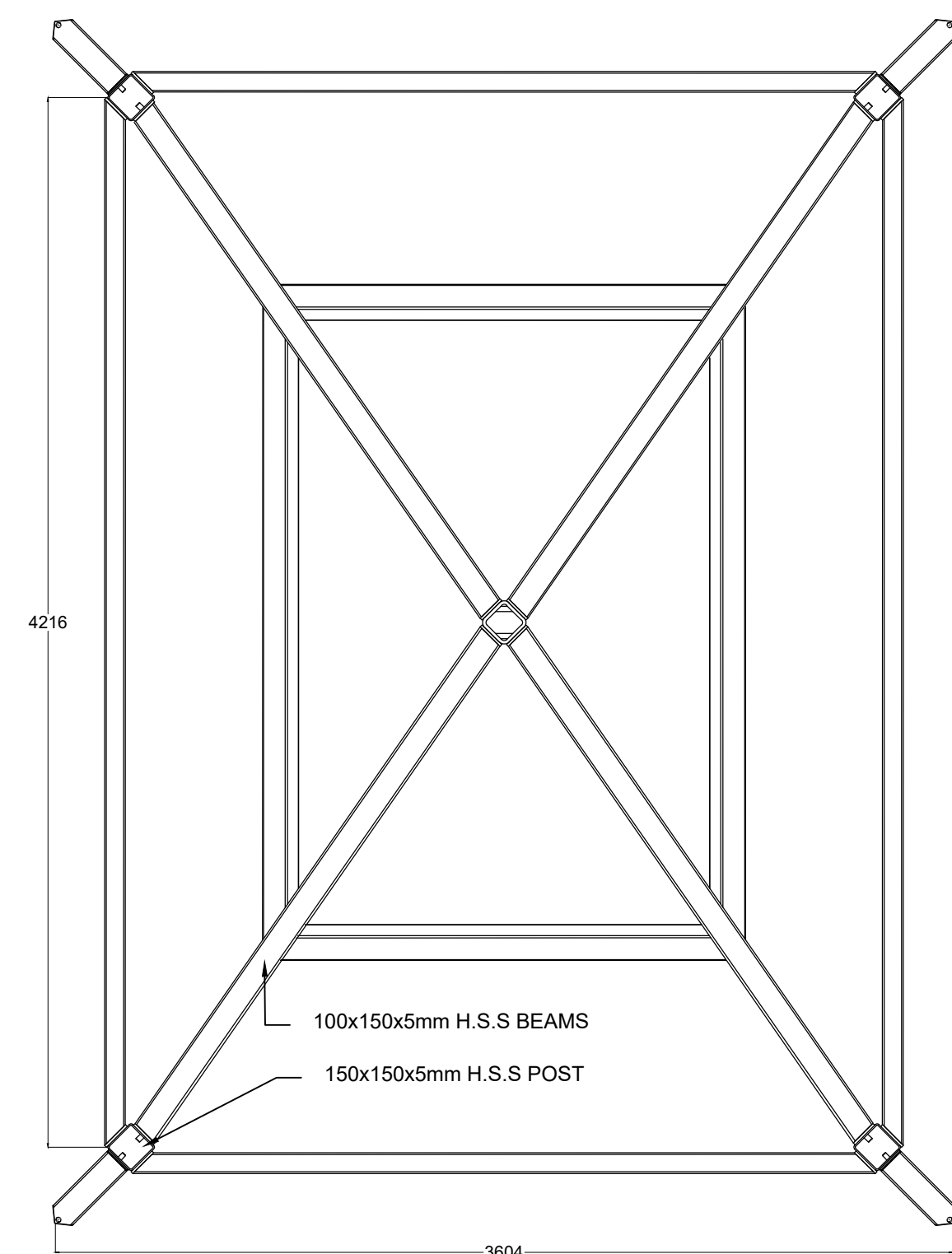
**PLAN**



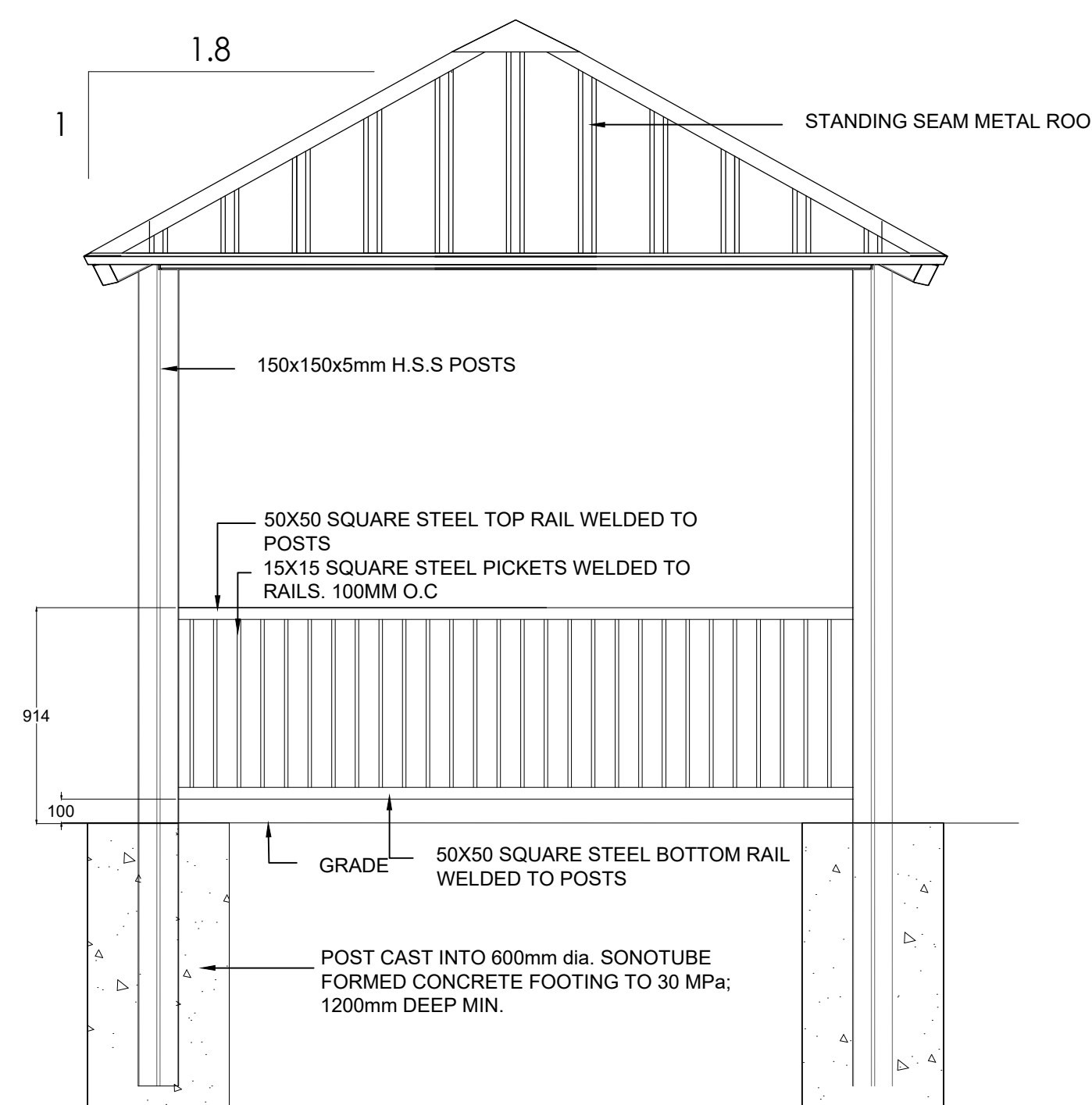
**EAST ELEVATION**



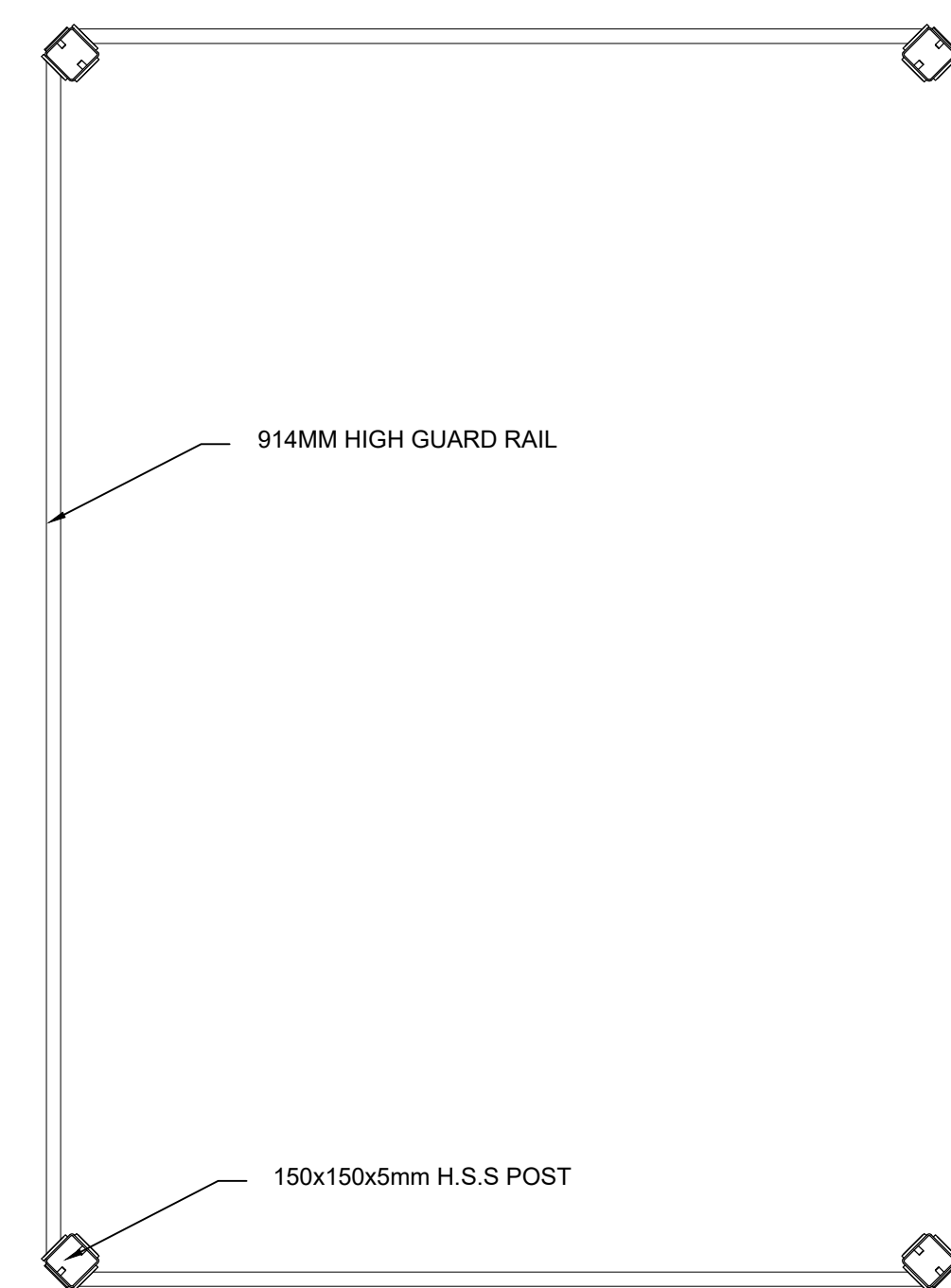
**POST AND BEAM ASSEMBLY PLAN**



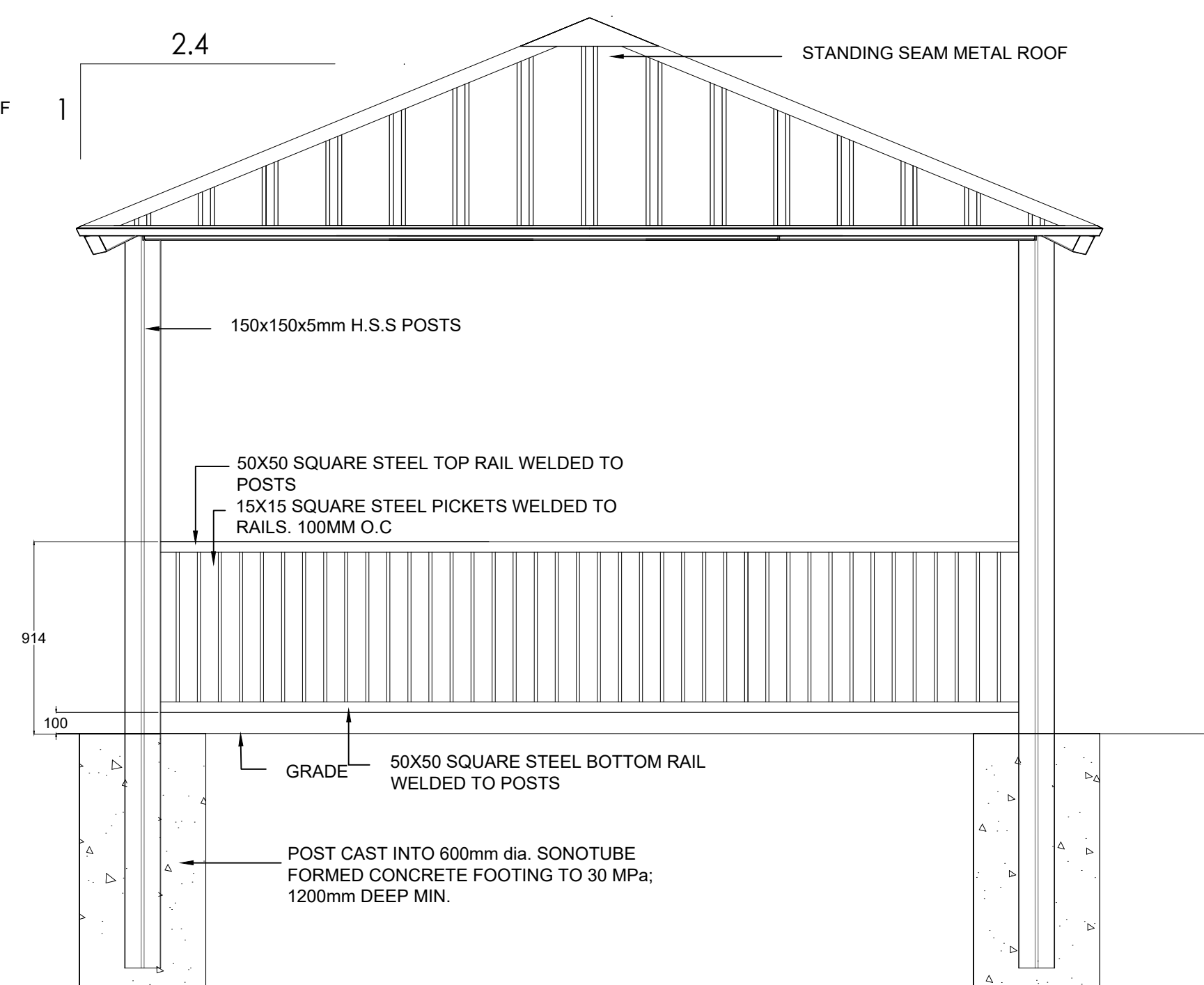
**NORTH/SOUTH ELEVATION**



**POST AND GUARD ASSEMBLY PLAN**



**WEST ELEVATION**



**NOTE:**  
 ALL WELDS TO BE GROUND SMOOTH. ALL WELDS TO BE CSA W47.1 OR EQUAL. ALL WELDS TO BE CLEANED AND FREE FROM DEFORMITIES AND TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.  
 ALL COMPONENTS TO BE GALVANIZED AND POWDER COATED. ALL BURRS TO BE GROUND SMOOTH.  
 POST COLOUR: RAL 9004 - SIGNAL BLACK  
 ROOF COLOUR: RAL 9016 - TRAFFIC WHITE  
 MATERIAL AND COLOUR SAMPLES TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO FABRICATION.  
 CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS STAMPED BY A PROFESSIONAL ENGINEER FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. SHOP DRAWINGS ARE TO INCLUDE ALL ABOVE AND BELOW GROUND COMPONENTS INCLUDING FOOTINGS. DRAWING AS SHOWN IS NOT FOR CONSTRUCTION.

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DATE	MAY 2024	

<b>PLAN SCALE</b>	
FILE NO.	4006A
PROJECT	32 UNIT AFFORDABLE HOUSING APARTMENT BUILDING 20 SOUTH STREET TRENTON, ONTARIO
FILE NAME	LANDSCAPE DETAILS
DWG NO.	L3