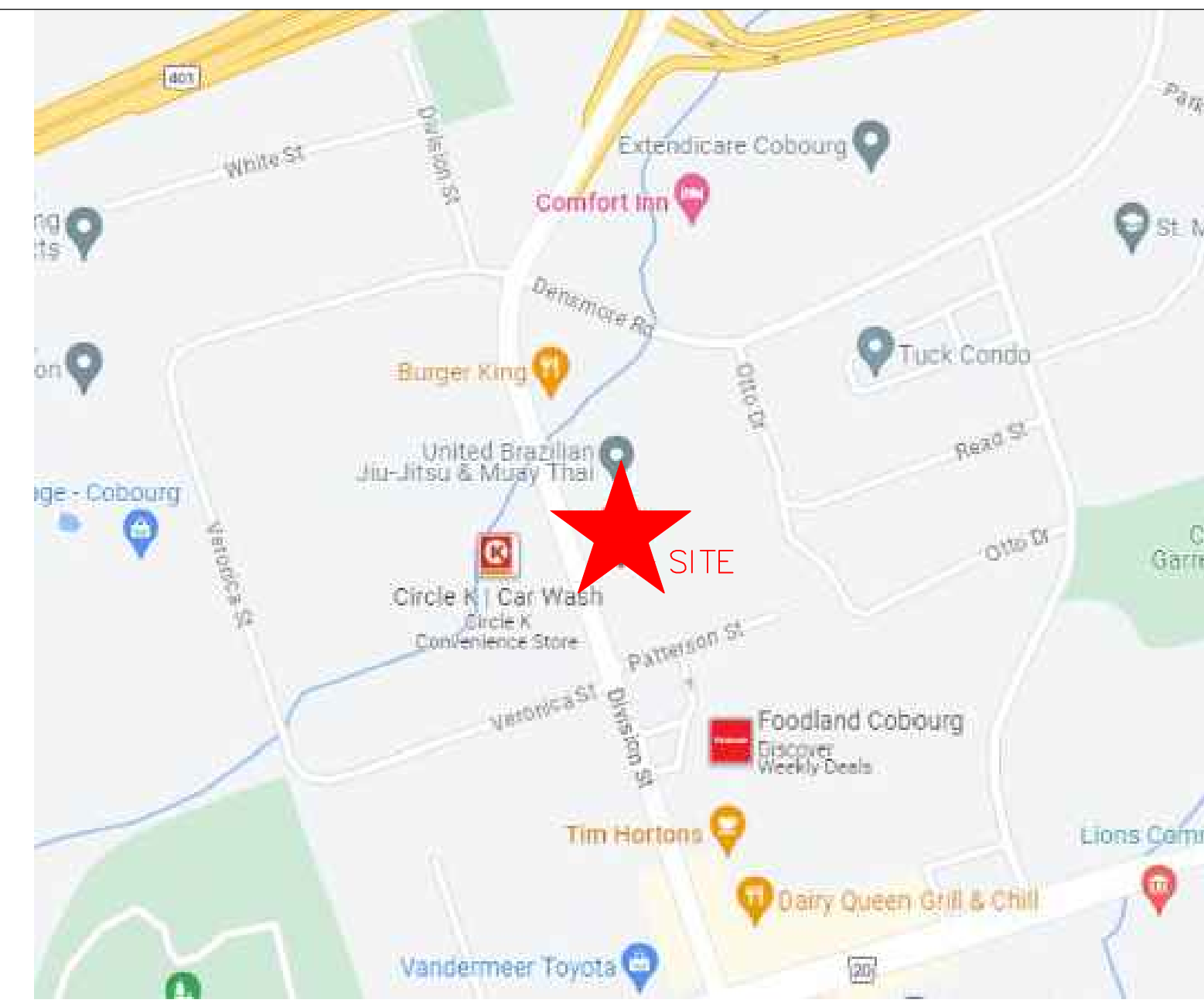


1030 DIVISION STREET NEW STARBUCKS

1030 DIVISION STREET
COBOURG, ONTARIO



LOCATION PLAN - NTS

ALEXANDER WILSON ARCHITECT INC.

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ALEXANDER WILSON ARCHITECT INC. Certificate of Practice Number: 3157		The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCPN.																																													
Name of Project : Commercial Unit Expansion Proposed Starbucks w/ Drive Thru																																															
Location: 1030 Division Street Cobourg, ON																																															
		Structural information within these drawings has been provided by McNeely Engineering LTD. Alexander Wilson Architect INC. assumes no responsibility or liability for any structural information provided.																																													
ITEM	Ontario's 2012 Building Code Data Matrix Parts 3 & 9	OBC Reference References are to Division B unless noted [A] for Division A or [C] for Division C.																																													
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> Addition 11.1 to 11.4 <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	1.1.2. [A]	1.1.2.(A) 9.10.1.3																																												
2	Major Occupancy(s) GROUP A2 - RESTAURANT	3.1.2.1(1)	9.10.2																																												
3	Building Area (m ²) Existing 236.6, New 134.6, Total 371.2	1.4.1.2.[A]	1.4.1.2.(A)																																												
4	Gross Area (m ²) Existing 236.6, New 134.6, Total 371.2	1.4.1.2.[A]	1.4.1.2.(A)																																												
5	Number of Storeys Above Grade 1, Below Grade 0	1.4.1.2.[A] & 3.2.1.1	1.4.1.2.(A) 9.10.4. &																																												
6	Number of Streets/ Fire Fighting Access 1 STREETS	3.2.2.10 & 3.2.5.	9.10.20																																												
7	Building Classification Group A2, 1 Storeys	3.2.2.28	9.10.2																																												
8	Sprinkler System Proposed <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input checked="" type="checkbox"/> Not Required	3.2.2.28 3.2.2.5 3.2.2.17	9.10.8.2.																																												
9	Standpipe Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9	N/A																																												
10	Fire Alarm Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4	9.10.18																																												
11	Water Service/Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7.	N/A																																												
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6.	N/A																																												
13	Construction Restrictions <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-Combustible required <input checked="" type="checkbox"/> Both required Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both	3.2.2.20-83	9.10.6.																																												
14	Mezzanine(s) Area (m ²) N/A	3.2.1.1(3)-(8)	9.10.4.1																																												
15	Occupant load based on <input type="checkbox"/> m ² / person <input checked="" type="checkbox"/> design of building (Starbucks) Occupancy TBD SEE STARBUCK FIT UP PERMIT SUBMISSION (Additional Floor Areas continued below)	3.1.17. 3.1.2.6.	9.9.1.3.																																												
16	Barrier-free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain) -	3.8	9.9.2																																												
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19.	9.10.1.3(4)																																												
18	Required Fire Resistance Rating (FRR) Horizontal Assemblies (Hours) Floors N/A Hours Roof N/A Hours Mezzanine N/A Hours FRR of Supporting Members Floors N/A Hours Roof N/A Hours Mezzanine N/A Hours	Listed Design No. or Description (SB-2) 3.2.2.20-.83 & 3.2.1.4	9.10.8 9.10.9																																												
19	Spatial Separation - Construction of Exterior Walls	3.2.3.7	9.10.14																																												
	<table border="1"> <thead> <tr> <th>Wall</th> <th>Area of EBF (m²)</th> <th>L.D. (m)</th> <th>RATIO (L/D * P)</th> <th>Permitted Max. % of Openings</th> <th>Proposed % of Openings</th> <th>FRR (Hours)</th> <th>Listed Design or Description</th> <th>Comb Const</th> <th>Comb. Const. Nonc. Cladding</th> <th>Non-Comb. Const.</th> </tr> </thead> <tbody> <tr> <td>South</td> <td>56.7</td> <td>13.9</td> <td>< 3:1</td> <td>100%</td> <td>59.3%</td> <td>N/A</td> <td>ULC U301</td> <td>N</td> <td>NON-COMB.</td> <td>Y</td> </tr> <tr> <td>East</td> <td>29.4</td> <td>0.8</td> <td>< 3:1</td> <td>0</td> <td>0%</td> <td>1HR</td> <td>N</td> <td></td> <td></td> <td></td> </tr> <tr> <td>West</td> <td>101.7</td> <td>65.9</td> <td>3:1-10:1</td> <td>100%</td> <td>9.9%</td> <td>N/A</td> <td>N</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Wall	Area of EBF (m ²)	L.D. (m)	RATIO (L/D * P)	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Const. Nonc. Cladding	Non-Comb. Const.	South	56.7	13.9	< 3:1	100%	59.3%	N/A	ULC U301	N	NON-COMB.	Y	East	29.4	0.8	< 3:1	0	0%	1HR	N				West	101.7	65.9	3:1-10:1	100%	9.9%	N/A	N					
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West	101.7	65.9	3:1-10:1	100%	9.9%	N/A	N																																								
21	Other - Describe																																														

DRAWING LIST

ARCHITECTURAL

- A000 TITLE SHEET
- SP01 SITE PLAN
- SP02 GENERAL NOTES
- A100 FOUNDATION PLAN
- A101 FLOOR PLAN
- A102 ROOF PLAN
- A300 EXTERIOR ELEVATIONS
- A400 BUILDING SECTIONS
- A401 BUILDING DETAILS
- A402 ENLARGED PLAN DETAILS
- A700 ROOF DETAILS
- A900 SCHEDULES

SET NUMBER

1030 DIVISION STREET
NEW STARBUCKS
1030 DIVISION STREET
COBOURG, ONTARIO

PROJECT NUMBER
2343
ISSUE DATE
NOV 2023

GENERAL LIGHTING NOTE

1. ALL ARCHITECTURAL LIGHT, OUTDOOR LIGHTING FIXTURES, AND BUILDING LIGHTING SHALL BE MOUNTED SUCH THAT THE LIGHT IS AIMED DOWN THERE SHALL BE NO LIGHT POLLUTION EMANATING FROM THE FIXTURE IN ACCORDANCE WITH THE FULL CUT-OFF DESIGN. (SEE PHOTOMETRIC STUDY)

Project No.	2343 Starbucks Cobourg
Address	1030 Division Street, Cobourg, ON
Current Zoning	District Commercial
Proposed Zoning	District Commercial
Current Use	Commercial
Proposed Use	Commercial - Proposed new one storey commercial addition to existing building
Zone Provisions	Zoning Bylaw 485-2003
Permitted Use	14.1.1 Bakery Retail Outlet
Lot Area	14.1.5 Min. = 140 m ² (7,965 Ft ²)
Lot Frontage	14.1.6 Min. = 25 m (80 Ft)
Lot Coverage	14.1.7 Max. = 30% (Building area/lot area)
Building Area	N/A
Front Yard Setback	14.1.8 Min. = 3 m Max. = 15 m
Rear Yard Setback	14.1.9 Min. = 7.5 m
Interior Side Yard Setback (W)	14.1.10 0.0 m, access provided to rear yard and interior side yard does not abut residential or development zone
Interior Side Yard Setback (S)	8.4.10 0.0 m, access provided to rear yard and interior side yard does not abut residential or development zone
Landscape Open Space - Percentage of Lot	14.1.12 Min. = 15% @ 86,613 Ft ² = 12,991 m ²
Landscape Open Space - Lot Line Buffer	14.1.12 Min. Width = 3 m along residential or development zone lot line (Rear Yard)
Building Height	14.1.13 Max. = 4 storeys
Max. Floor Space Index	14.1.14 1.0 times = 86,613 Ft ²
Refuse and recycling enclosures	14.1.16 Located only in side or rear yards
Number of Parking Spaces	6.1.1.i) Eating establishments
Number of Accessible Parking Spaces	6.1.1.v) Uses with less than 20 parking spaces
Parking Space Size	6.1.4.i) Min. Width = 2.7 m (9 Ft) Min. Depth = 5.5 m (18 Ft)
Driving Aisle	6.1.4.ii) Min. = 6 m (20 Ft)
Accessible Parking Space Size	6.1.4.iii) Min. Area = 24 m ² (258 Ft ²) Min. Width = 4 m (13 Ft)
Location	6.1.5 Parking Spaces shall be located on same lot they serve
Driveway Width	6.1.6 Non-Residential Development with combined ingress or egress for two-way traffic: min. dr. width, max. 9m
General	6.1.6.3 i) min. angle of intersection between driveway and street line shall be 60 degrees ii) min. distance between two separate driveways on one lot, measured along the street line = 9m iii) No driveway shall be closer than 1.2m to side lot line
Number of Loading Spaces	6.2.1. Total gross floor area of 2,350 m ² = min. 1 space
Width of Loading Space	6.2.1. Min. = 4.5 m

DO NOT SCALE DRAWINGS
CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK.
DRAWINGS NOT TO BE USED FOR CONSTRUCTION UNLESS STAMPED AND SIGNED BY THE CONSULTANT.
THESE DRAWINGS HAVE BEEN DESIGNED IN CONFORMANCE WITH THE ONTARIO BUILDING CODE.

REV.	DATE	DESCRIPTION
1	2024/03/20	ISSUED FOR REVIEW
2	2024/10/24	ISSUED FOR COORDINATION
3	2024/11/13	ISSUED FOR BUILDING PERMIT

LEGEND

[Symbol]	[NEW / SUBJECT OF PROPOSAL]
[Symbol]	EXIT / ENTRANCE
[Symbol]	LIGHTING STANDARD
[Symbol]	TELEPHONE POLE
[Symbol]	GAS
[Symbol]	FIRE HYDRANT
[Symbol]	SURFACE PARKING SPACE
[Symbol]	TRAFFIC FLOW
[Symbol]	SOD
[Symbol]	GRAVEL
[Symbol]	CONCRETE
[Symbol]	LED FULL CUT-OFF WALL PACK LIGHT
[Symbol]	LOT BOUNDARY / PROPERTY LINES
[Symbol]	FIRE ROUTE

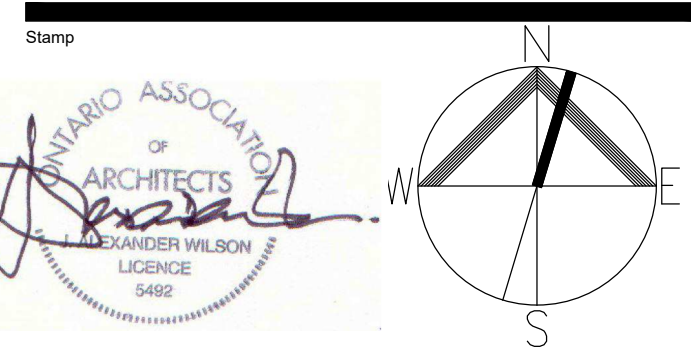
CAUTION
THE LOCATION OF ALL EXISTING SERVICES AND UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPALITY AND UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LOCATION AND STATUS OF THESE SERVICES AND UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION.

LANDSCAPING NOTES

- ALL LANDSCAPED PORTIONS OF THE SITE TO BE FINISHED WITH 100mm TOPSOIL & SEED
- ALL SHALES TO BE COMPLETED WITH 100mm TOPSOIL AND 2 ROWS OF SOD IN THE BOTTOM
- ALL DISTURBED PORTIONS OF THE BOULEVARD TO BE RESTORED TO PROPERTY LIMITS WITH 100mm TOPSOIL AND SOD.

NOTE:
SITE GRADING TO BE COMPLETED TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
SURPLUS MATERIAL TO BE REMOVED FROM SITE.
ALL DISTURBED AREAS ARE TO BE REINSTATED.

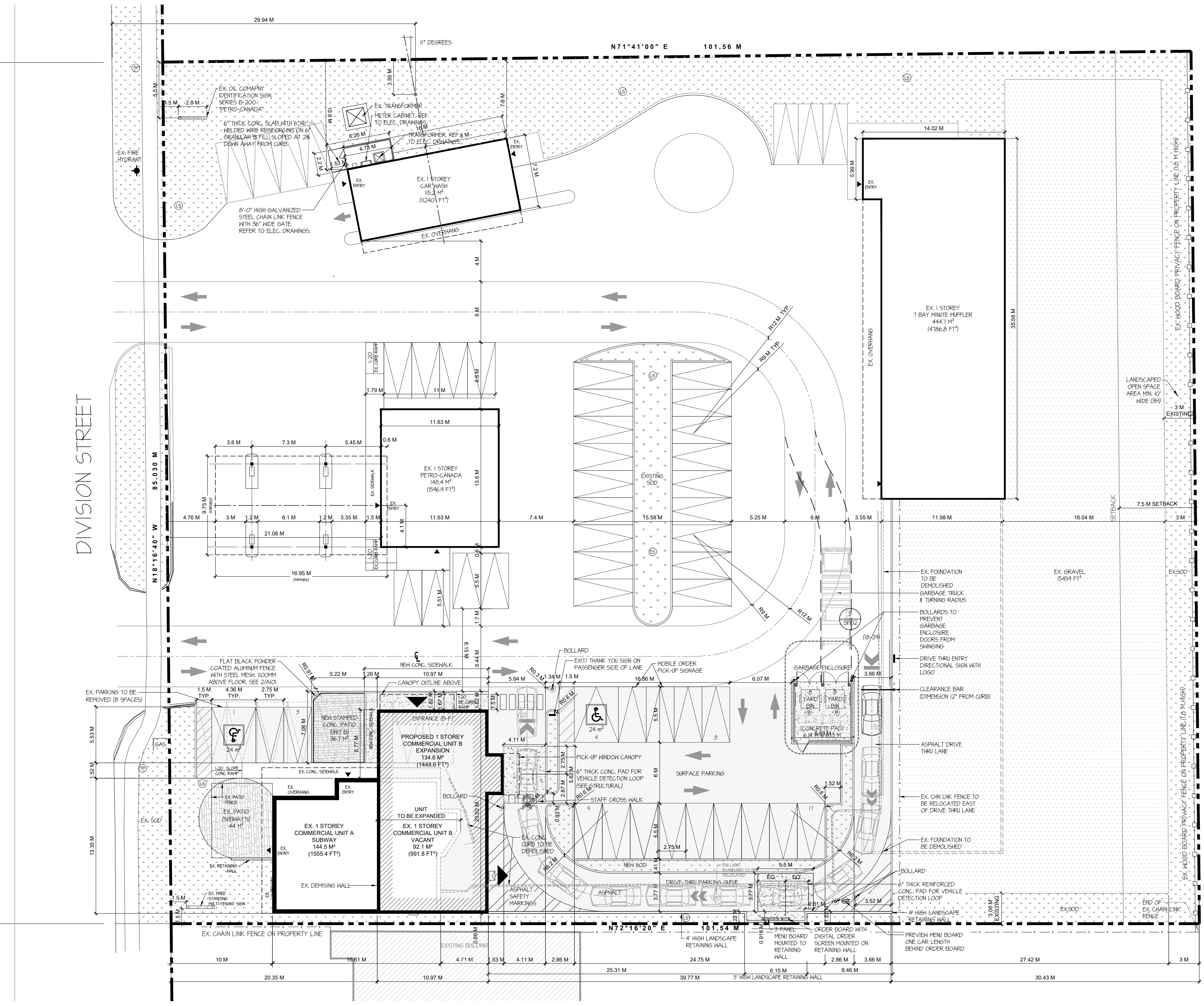
Alexander Wilson Architect Inc
Admiralty Place
103-20 Gore Street
Kingston, ON K7L 2L1
T: 613-545-3744
F: 613-545-1411



Project
NEW STARBUCKS COBOURG
1030 Division Street
Cobourg, Ontario

SITE PLAN

Drawn By	CS	Checked By	JMJ
Scale	1:200	Date	NOV 2023
Project No.	2343	Revision	4
Drawing No.			SP01

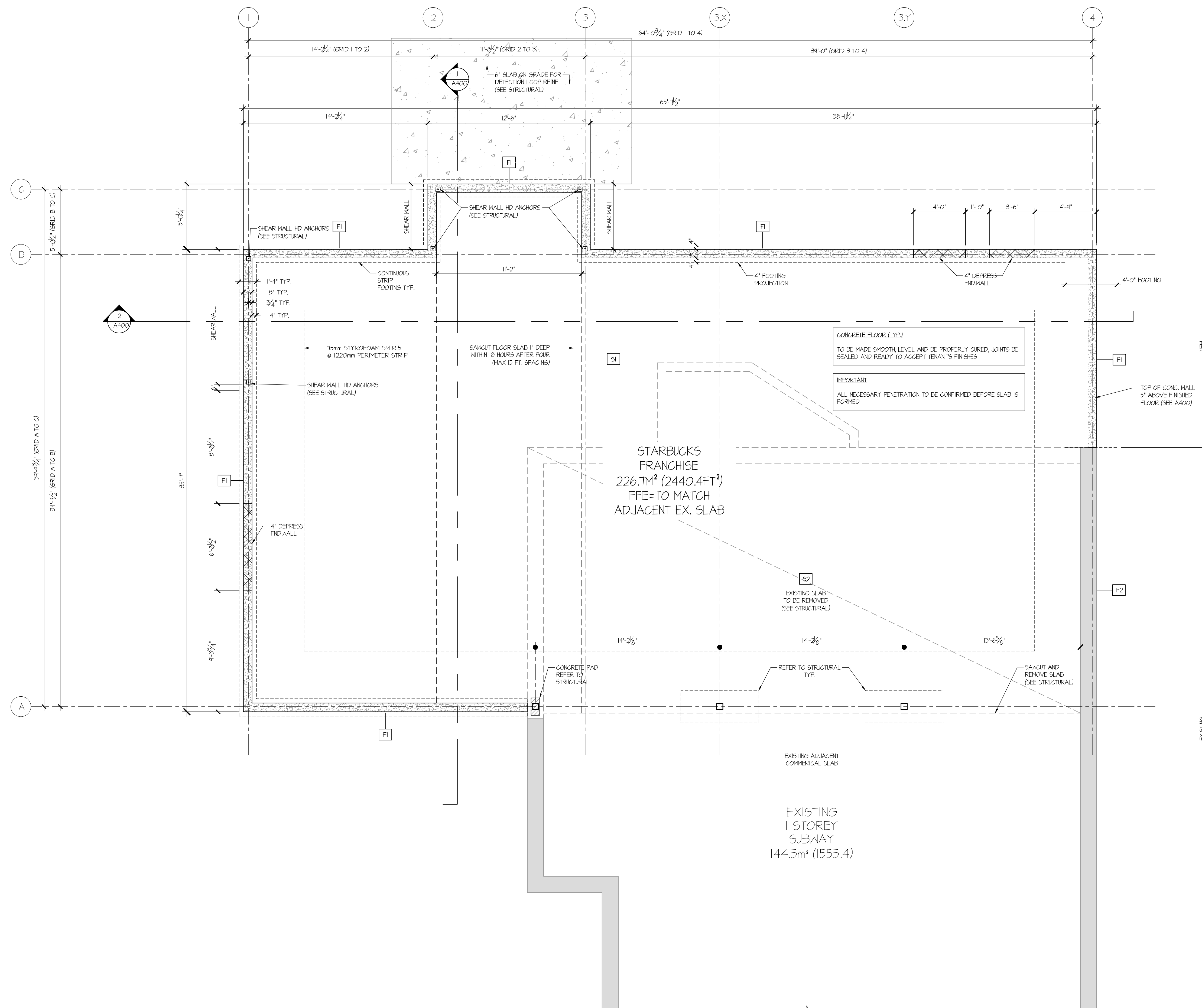


1 SITE PLAN
SP01 SCALE: 1:200

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REV.	DATE	DESCRIPTION
1	2024/03/20	ISSUED FOR REVIEW
2	2024/10/10	ISSUED FOR REVIEW
3	2024/10/24	ISSUED FOR COORDINATION
4	2024/11/13	ISSUED FOR BUILDING PERMIT

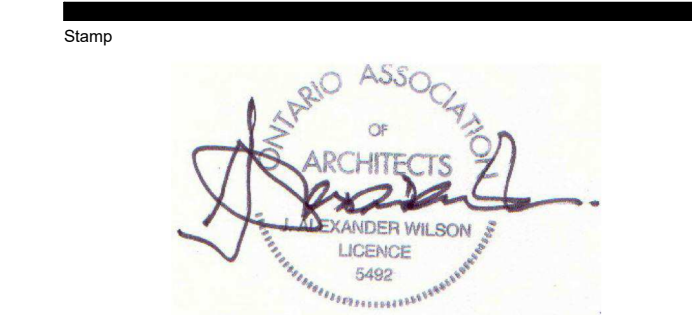
LEGEND	
	EXISTING
	NEW
	DEMO
	DEPRESSED FDN WALL



1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

FOUNDATION ASSEMBLIES	
F1 TYP. PERIMETER FOUNDATION WALL ASSEMBLY	S1 SLAB ON GRADE
<ul style="list-style-type: none"> 8" THICK CONCRETE BLOCK FNDTN. WALL 75 mm CONT. INSUL. OVER CONCR. BLOCK FOUNDATION WALL (R15) PARGING 	REFER STRUCTURAL DWGS.
* IMPORTANT TENANT TO SUPPLY ALL NECESSARY FLOOR PENETRATIONS	
F2 EXISTING FOUNDATION WALL ASSEMBLY	S2 EXISTING SLAB
SITE CONFIRM	SITE CONFIRM

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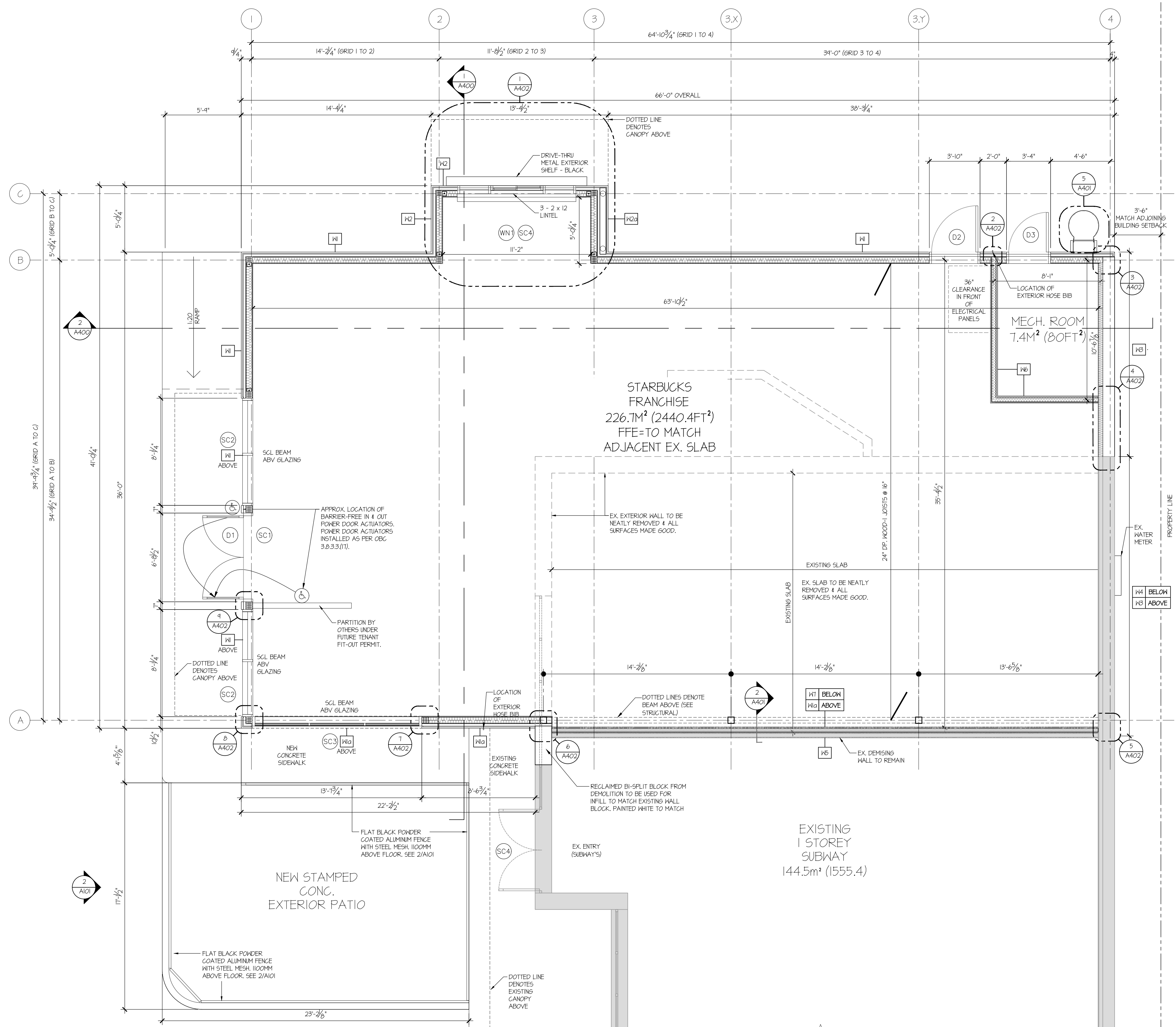


NEW STARBUCKS COBOURG

1030 Division Street
 Cobourg, Ontario

NEW + EX. FOUNDATION PLAN

Drawn By	CS	Checked By	JMJ
Scale	AS NOTED	Date	NOV 2023
Project No.	2343	Revision	1
Drawing No.	A100		



1 FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"

Specs:

Materials:

- Aluminum Frame
- Steel Mesh and Feet

Finish:

- Powder Coated Starbucks Flat Black, #MT0028

Size:

- Fence, 42" high x 54" wide x 2" thick
- 3" gap between modules
- 4" wode plate at foot
- Gate, 38-1/4" high x 38" wide x 2" thick.

Weight:

- 33 lbs per module

FENCE MODULE

GATE MODULE

2 STARBUCKS PATIO FENCING SYSTEM
SCALE: N.T.S.

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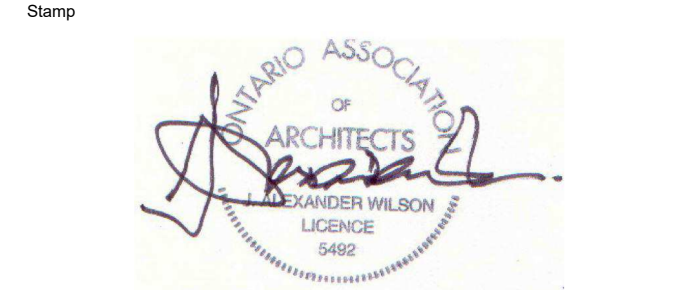
Revisions and Issues

REV.	DATE	DESCRIPTION
1	2024/03/20	ISSUED FOR REVIEW
2	2024/10/10	ISSUED FOR REVIEW
3	2024/10/21	ISSUED FOR REVIEW
4	2024/10/24	ISSUED FOR COORDINATION
5	2024/11/13	ISSUED FOR BUILDING PERMIT

LEGEND

	EXISTING
	NEW
	DEMO

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Project
NEW STARBUCKS COBOURG

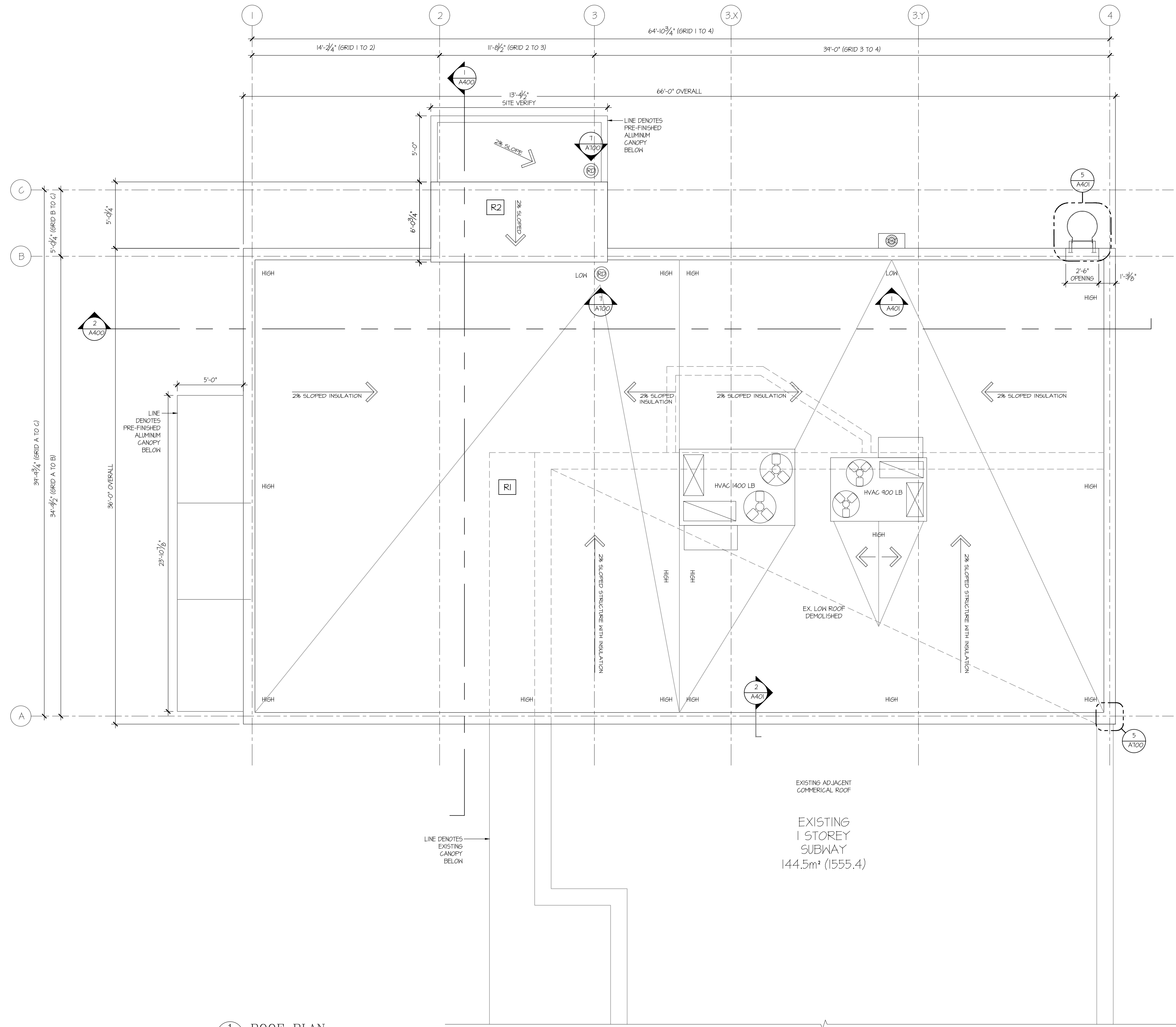
1030 Division Street
Cobourg, Ontario

NEW + EX. FLOOR PLAN

WALL ASSEMBLIES

<p>[W1] EXTERIOR WALL ASSEMBLY (R13-R12 c.l.)</p> <ul style="list-style-type: none"> NEWTechWOOD - NORWEGIAN CASTELLATION CLADDING, COLOUR: "PERUVIAN TEAK" - REFER TO ELEVATION (MODELS: UH46, UH50, UH51, UH61) MIN. 1/2" WOOD FURRING EXTERIOR RIGID INSULATION (R12) JOINTS TAPED A.B. 1/2" EXTERIOR SHEATHING 2"x6" WOOD STUDS @ 16" O.C. (2) 2"x6" WOOD STUDS AT CANOPIES AND BRACKETS C/W 5 1/2" BATT INS. (R13 MIN.) 6 MIL VAPOUR BARRIER 1/2" GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 	<p>[W1a] EXTERIOR WALL ASSEMBLY (R13-R12 c.l.)</p> <ul style="list-style-type: none"> NEWTechWOOD - NORWEGIAN CASTELLATION CLADDING, COLOUR: "PERUVIAN TEAK" - REFER TO ELEVATION (MODELS: UH46, UH50, UH51, UH61) MIN. 1/2" WOOD FURRING EXTERIOR RIGID INSULATION (R12) JOINTS TAPED A.B. 1/2" EXTERIOR SHEATHING 2"x6" WOOD STUDS @ 16" O.C. (2) 2"x6" WOOD STUDS AT CANOPIES AND BRACKETS C/W 5 1/2" BATT INS. (R13 MIN.) 6 MIL VAPOUR BARRIER (2) 1/2" GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 	<p>[W2] EXTERIOR WALL ASSEMBLY (R13-R12 c.l.)</p> <ul style="list-style-type: none"> GENTEK DELUXE ALUMINUM SIDING, 8" HORIZONTAL, COLOUR: WHITE MIN. 1/2" WOOD FURRING EXTERIOR RIGID INSULATION (R12) JOINTS TAPED A.B. 1/2" EXTERIOR SHEATHING 2"x6" WOOD STUDS @ 16" O.C. (2) 2"x6" WOOD STUDS AT CANOPIES AND BRACKETS C/W 5 1/2" BATT INS. (R13 MIN.) 6 MIL VAPOUR BARRIER 1/2" GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 	<p>[W2a] EXTERIOR WALL ASSEMBLY (R13-R12 c.l.)</p> <ul style="list-style-type: none"> GENTEK DELUXE ALUMINUM SIDING, 8" HORIZONTAL, COLOUR: WHITE MIN. 1/2" WOOD FURRING 2"x6" WOOD STUDS @ 16" O.C. 1/2" EXTERIOR SHEATHING 2"x6" WOOD STUDS @ 16" O.C. (2) 2"x6" WOOD STUDS AT CANOPIES AND BRACKETS C/W 5 1/2" BATT INS. (R13 MIN.) 6 MIL VAPOUR BARRIER 1/2" GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 	<p>[W3] 2 HR FR EXTERIOR WALL ASSEMBLY (R22) (ULC U813)</p> <ul style="list-style-type: none"> SPLIT-FACE BLOCK WALL (TO MATCH EXISTING) STEEL STUD @ 16" (TO MATCH EXISTING) BATT INS. (R13 MIN.) 6 MIL VAPOUR BARRIER 1/2" TYPE X GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 	<p>[W5] EX. 45MIN FR INTERIOR WALL ASSEMBLY</p> <ul style="list-style-type: none"> EX. (2) 1/2" TYPE X GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) EX. 89 mm STEEL STUDS @ 16" O.C. (TO U/S OF ROOF DECK) EX. (1) 1/2" TYPE X GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 	<p>[W6] 2 HR FR INTERIOR WALL ASSEMBLY (ULC U301)</p> <ul style="list-style-type: none"> (2) 1/2" TYPE X GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 1/2" PLYWOOD NAILED @ 3" ON BOUNDARIES 2"x4" WOOD STUDS @ 16" O.C. (TO U/S OF ROOF DECK) C/W ROXUL SAFE N SOUND INSULATION (2) 1/2" TYPE X GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 	<p>[W7] 2 HR FR INTERIOR WALL ASSEMBLY (ULC U301)</p> <ul style="list-style-type: none"> (2) 1/2" TYPE X GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED) 1/2" PLYWOOD NAILED @ 3" ON BOUNDARIES 2"x4" WOOD STUDS @ 16" O.C. (TO U/S OF ROOF DECK) C/W ROXUL SAFE N SOUND INSULATION (2) 1/2" TYPE X GYPSUM WALLBOARD (TAPED, FILLED, SANDED, AND PRIMED)
<p>[W4] (EXISTING) EXTERIOR BLOCK WALL ASSEMBLY</p> <p>SITE CONFIRM</p>							

Drawn By	CS	Checked By	JMJ
Scale	AS NOTED	Date	NOV 2023
Project No.	2343	Revision	1
Drawing No.	A101		



1 ROOF PLAN
A102 SCALE: 1/4" = 1'-0"

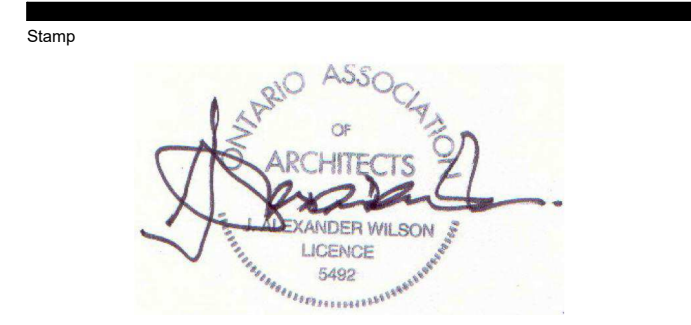
ROOF ASSEMBLY (FULL TAPERED SYSTEM)	
R1 ROOF ASSEMBLY (TPO) (R35)	R2 ROOF ASSEMBLY (TPO) (R35)
<ul style="list-style-type: none"> FULLY ADHERED EVERGUARD WHITE TPO SINGLE PLY ROOFING MEMBRANE OR APPROVED EQUAL (HEAT WELDED TO PREVIOUSLY INSTALLED MEMBRANE) ENERGYGUARD POLYISO ROOF INSULATION (MIN. R35) (DRILL-TEC FASTENERS & PLATES WHERE NECESSARY) EVERGUARD TPO SINGLE PLY ROOFING MEMBRANE 6 MIL POLY VAPOUR RETARDER 1/2" EXTERIOR TAG SHEATHING PRE-ENG. 24" DEEP WOOD JOIST @ 16" O.C. (PRIMED AND PAINTED BLACK) TAPERED INSULATION SHOP DRAWING LAYOUT TO BE APPROVED BY ARCHITECT. 	<ul style="list-style-type: none"> METAL ROOF (INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS) WHITE METAL ROOFING PANELS ICE-WATER SHIELD 1/2" EXTERIOR SHEATHING TAPERED INSULATION SHOP DRAWING LAYOUT TO BE APPROVED BY ARCHITECT. TENANT TO SUPPLY ALL NECESSARY ROOF PENETRATIONS BEFORE INSULATION. (TYPICAL)

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4	2024/11/13	ISSUED FOR BUILDING PERMIT

LEGEND	
[Solid Grey Box]	EXISTING
[Dashed Grey Box]	NEW
[Dotted Grey Box]	DEMO

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NEW STARBUCKS COBOURG

1030 Division Street
Cobourg, Ontario

NEW + EX. ROOF PLAN

Drawn By	CS	Checked By	JMJ
Scale	AS NOTED	Date	NOV 2023
Project No.	2343	Revision	1
Drawing No.	A102		

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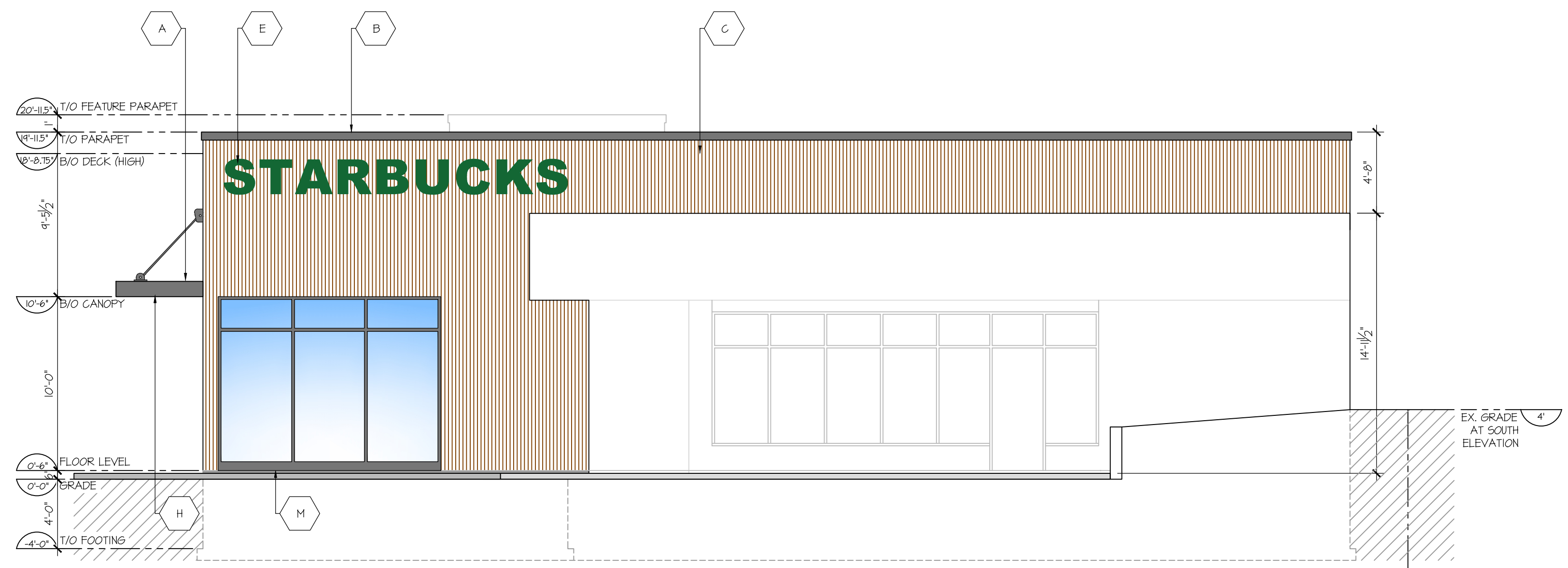
LEGEND	
(A)	PRE-FINISHED METAL CANOPY (BLACK) PROVIDE SHOP DRAWINGS
(B)	PRE-FINISHED METAL CAP FLASHING (BLACK)
(C)	NEWTECHWOOD - UH61 - NORWEGIAN CASTELLATION CLADDING, COLOUR: "PERUVIAN TEAK"
(D)	GENTEK DELUXE ALUMINUM SIDING, 8" HORIZONTAL, COLOUR: WHITE
(E)	ALL SIGNAGE IS SHOWN FOR GRAPHIC REPRESENTATION ONLY. REFER TO STARBUCKS PLAN CONTRACTOR TO SUPPLY STRUCTURAL SUPPORT AND/OR ELECTRICAL FOR TENTANT SIGNAGE
(F)	FOUNDATION WALL (6" ABOVE FINISHED GRADE)
(G)	BLACK PRE-FINISHED METAL SCUPPER
(H)	SOFFIT LIGHT (REFER TO ELECTRICAL)
(I)	SPLIT-FACE BLOCK TO MATCH EX.
(J)	EXTERIOR WALL PACK LIGHT FIXTURE (REFER TO ELECTRICAL)
(K)	BARRIER-FREE IN & OUT POWER DOOR ACTUATORS INSTALLED AS PER OBC 3.8.3.3.(17). LCN 4100 SERIES ACTUATORS OR APPROVED EQUAL. FINISH TO ACCENT DOOR & FRAME.
(L)	DRIVE-THRU STAINLESS STEEL EXTERIOR SHELF
(M)	DOUBLE GLAZED INSULATED BLACK PRE-FINISHED WINDOWSCREEN
(N)	READY ACCESS 275 MOER (INSULATED) WITH RIGHT TO LEFT ORIENTATION DRIVE-THRU SERVICE WINDOW
(O)	DOWNSPOUT INTO CAST-IN-PLACE DRAINPIPE IN SIDEWALK
(P)	DRAIN CHASE DISCHARGE LOCATION (APPROX.)

GENERAL LIGHTING NOTE

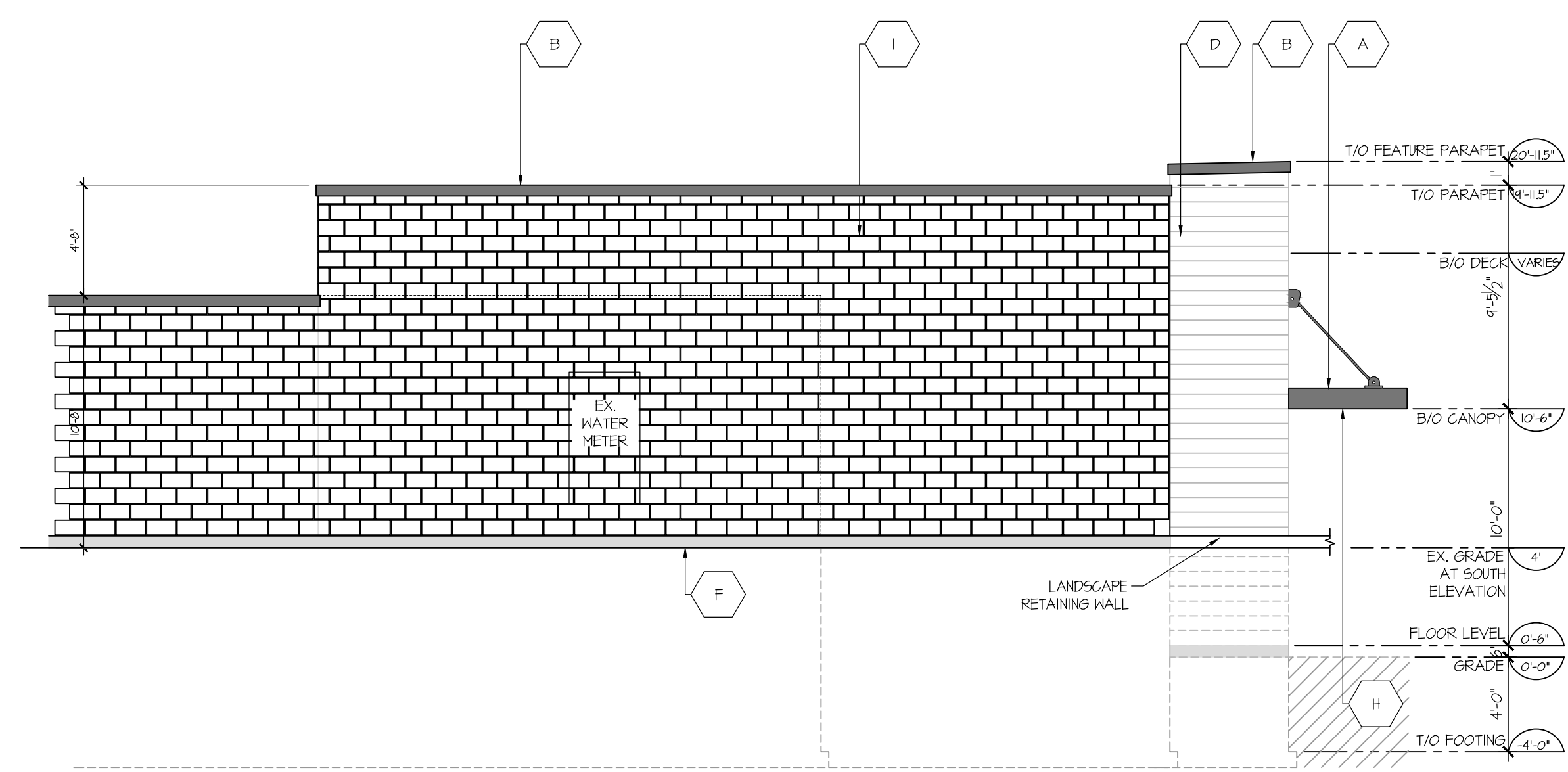
1. ALL ARCHITECTURAL LIGHT, OUTDOOR
 LIGHTING FIXTURES, AND BUILDING LIGHTING
 SHALL BE MOUNTED SUCH THAT THE LIGHT IS
 AIMED DOWN. THERE SHALL BE NO LIGHT
 POLLUTION EMANATING FROM THE FIXTURE IN
 ACCORDANCE WITH THE FULL CUT-OFF DESIGN.



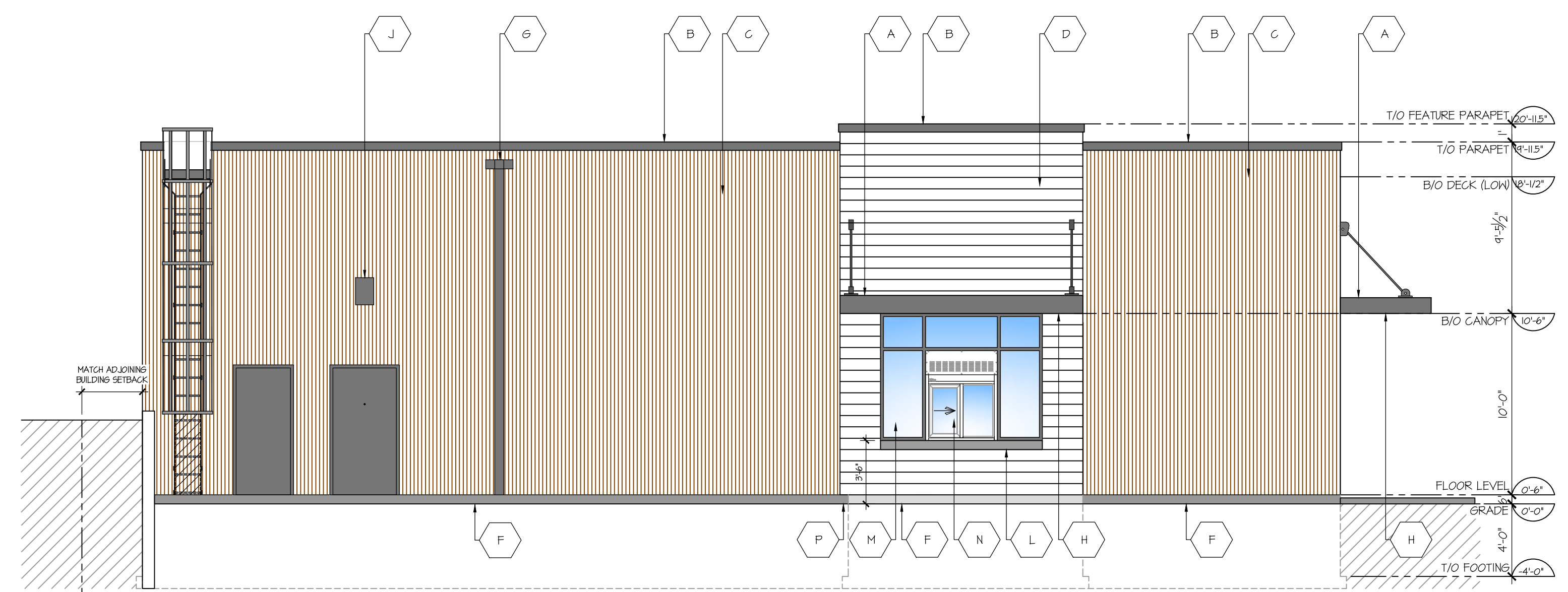
1 NORTH ELEVATION
 A300 SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
 A300 SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
 A300 SCALE: 3/16" = 1'-0"



4 EAST ELEVATION
 A300 SCALE: 3/16" = 1'-0"

SIGNAGE AREA SHOWN FOR
 INFORMATION PURPOSES ONLY.
 ALL SIGNS WILL BE SUBJECT TO
 THE PROVISIONS OF
 SIGNAGE BY-LAW FOR THE
 CITY OF COBOURG ONTARIO,
 AND A SEPARATE SIGN
 APPLICATION WILL BE
 REQUIRED THROUGH THE
 BUILDING DIVISION.

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**NEW STARBUCKS
 COBOURG**

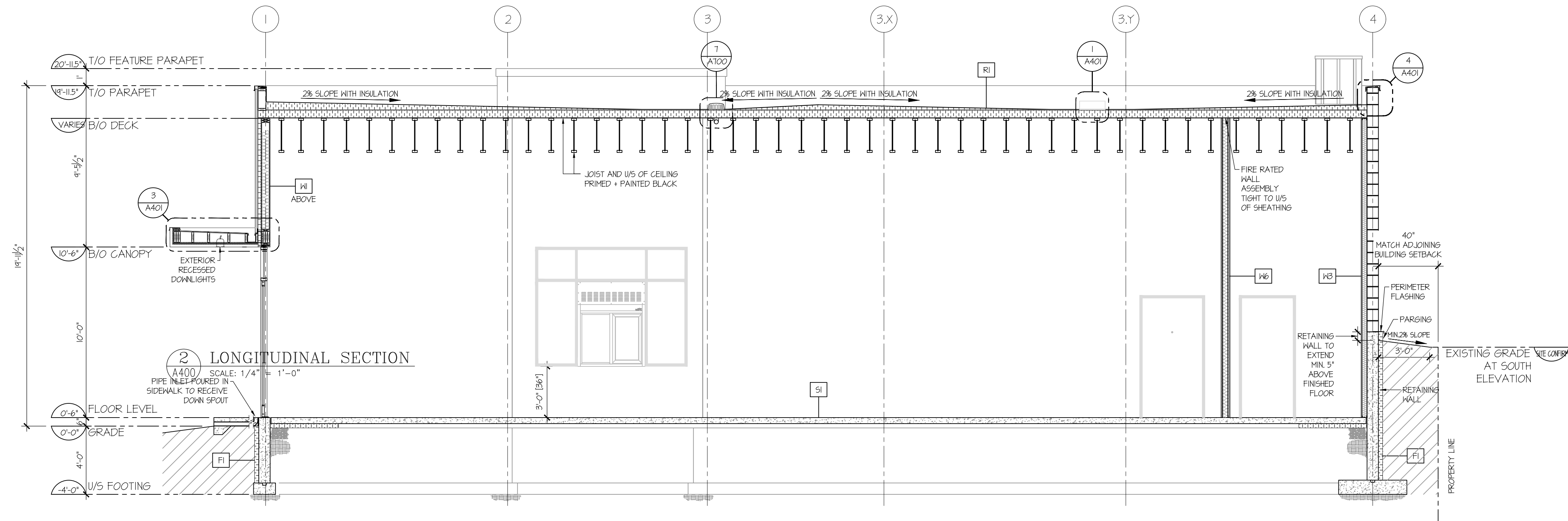
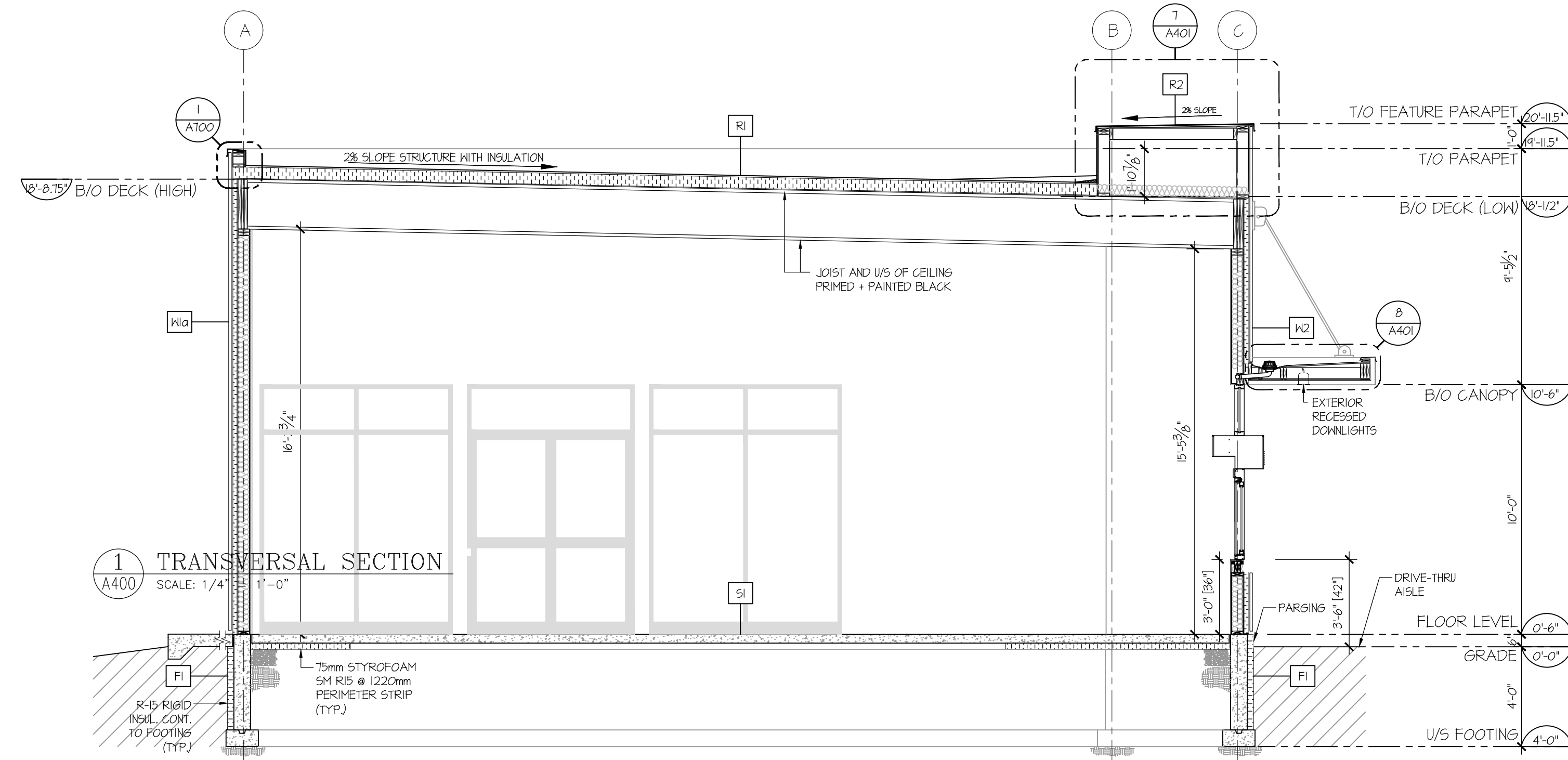
1030 Division Street
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EXTERIOR ELEVATIONS

Drawn By	CS	Checked By	JMJ
Scale	AS NOTED	Date	NOV 2023
Project No.	2343	Revision	1
Drawing No.	A300		

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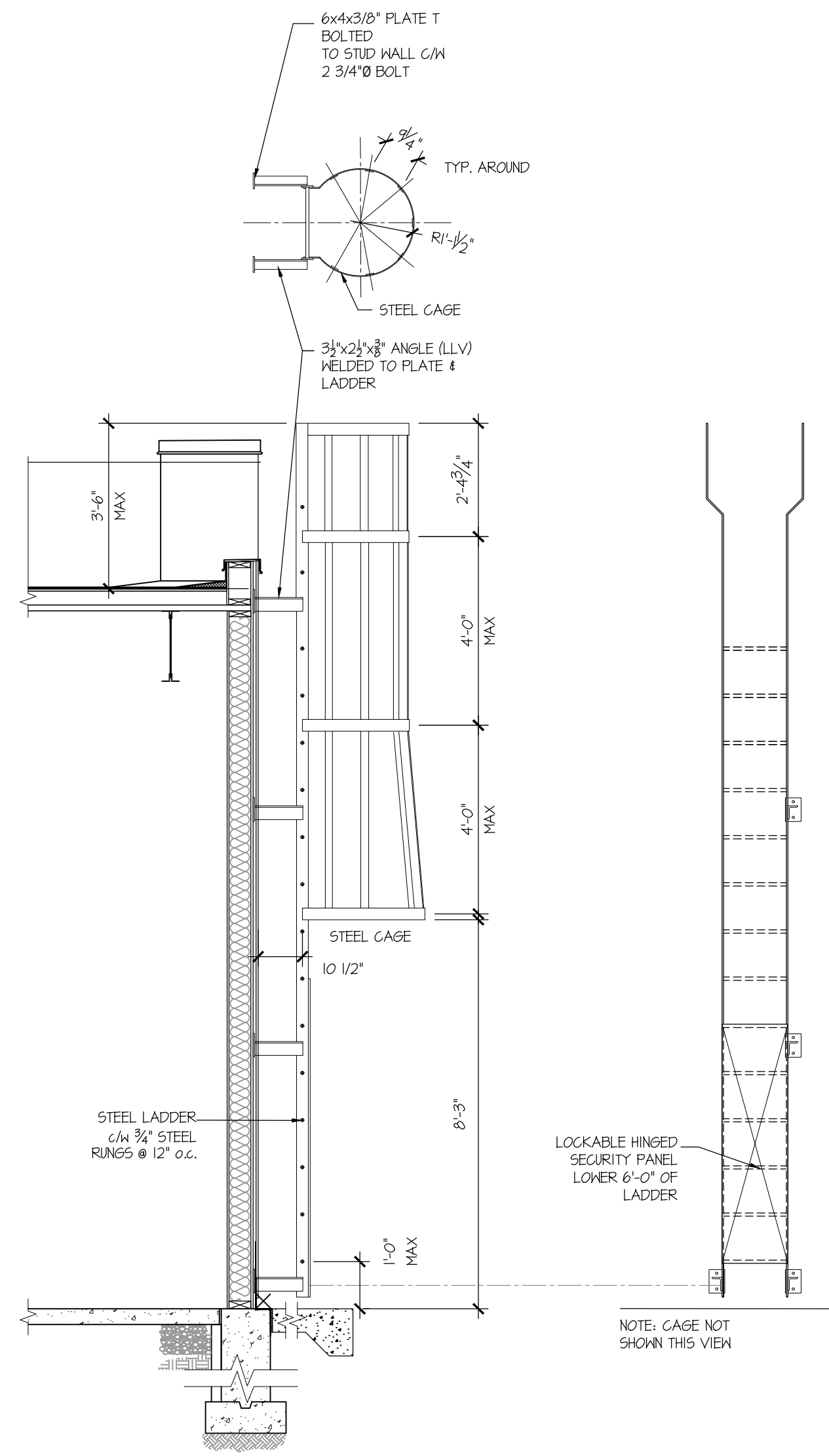


Project
**NEW STARBUCKS
 COBOURG**

1030 Division Street
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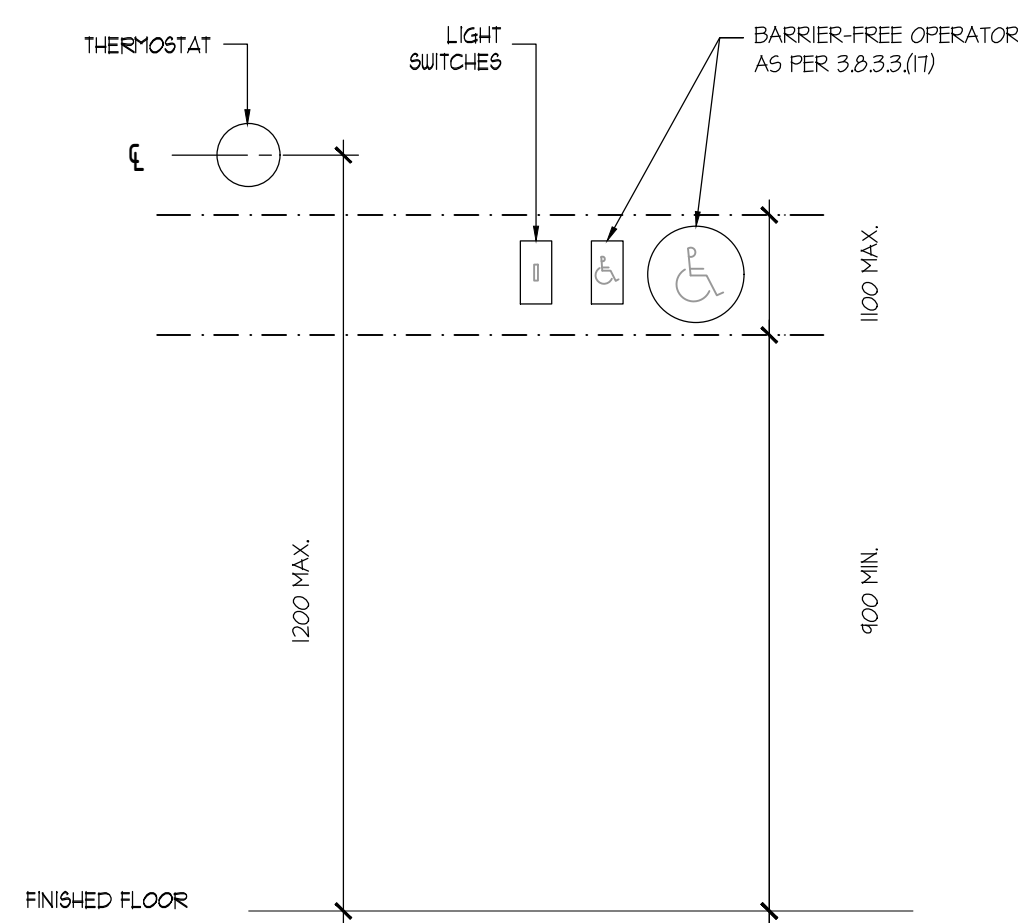
SECTIONS

Drawn By	CS	Checked By	JMJ
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Project No.	2343	Revision	1
Drawing No.	A400		



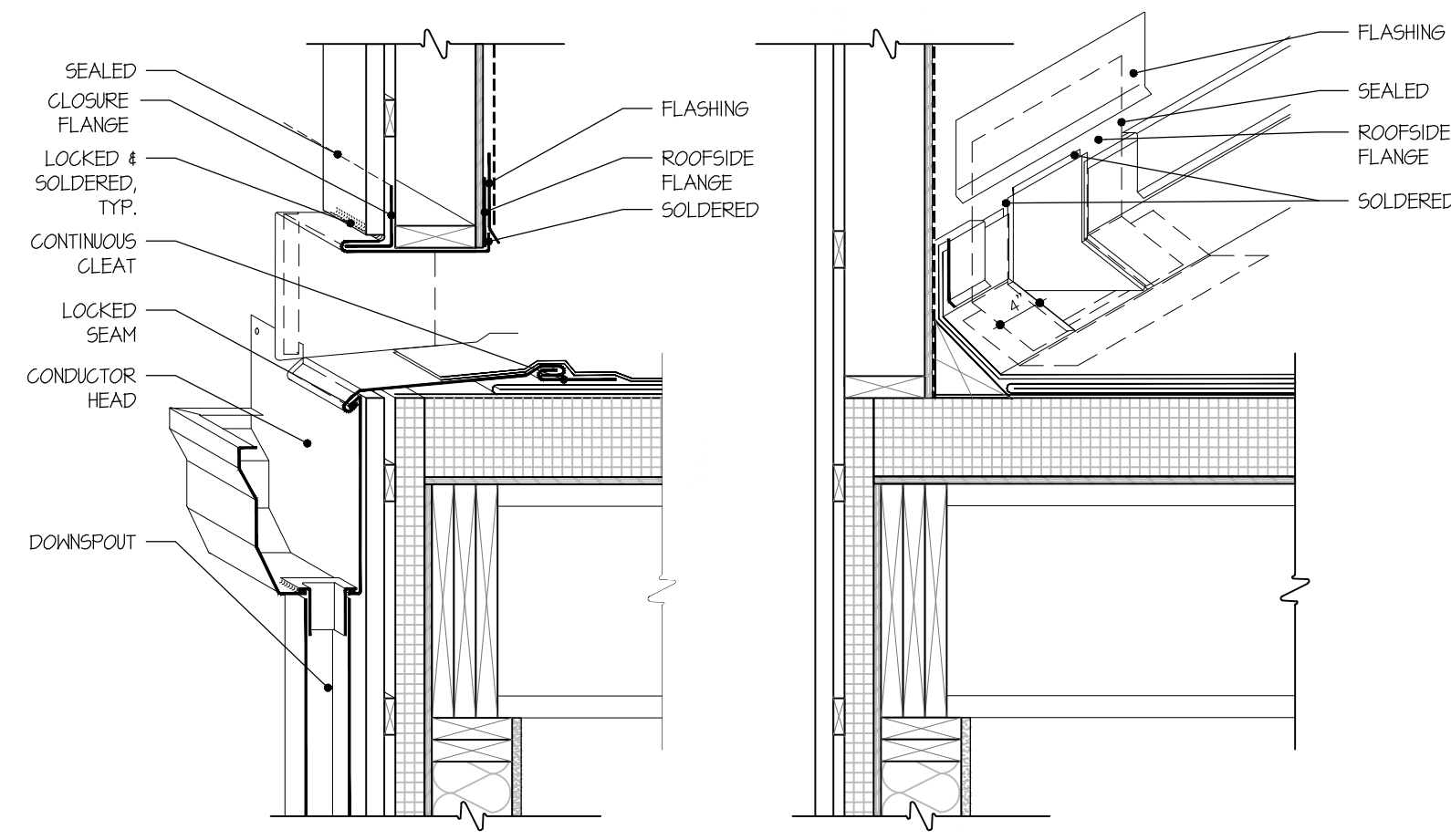
NOTE:
ACCESS LADDER TO BE C/W SELF CLOSING GATE.
PAINTED BLACK.
SEE ARCHITECTURAL DRAWING FOR LOCATION OF ACCESS LADDER.
CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW

5 LADDER DETAILS
A4401 SCALE: N.T.S.

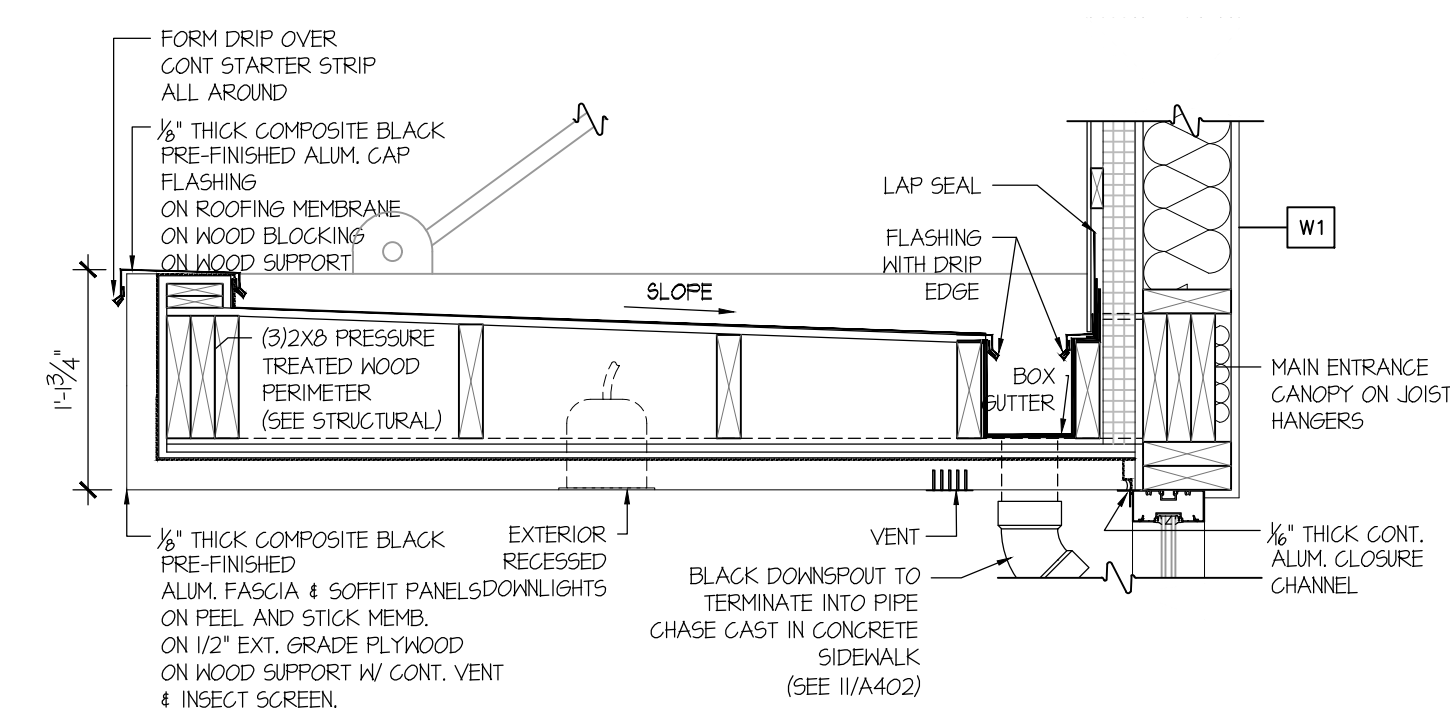


A-3.8.15.0) CONTROLS
LIGHT SWITCHES, INTERCOMS AND SIMILAR DEVICES LOCATED WITHIN A BARRIER-FREE PATH OF TRAVEL SHOULD BE LOCATED BETWEEN 400mm AND 1000mm ABOVE FINISHED FLOOR.
THERMOSTATS SHOULD BE MOUNTED AT 1200mm ON CENTRE ABOVE FINISHED FLOOR FOR THE OPTIMAL OPERATION.

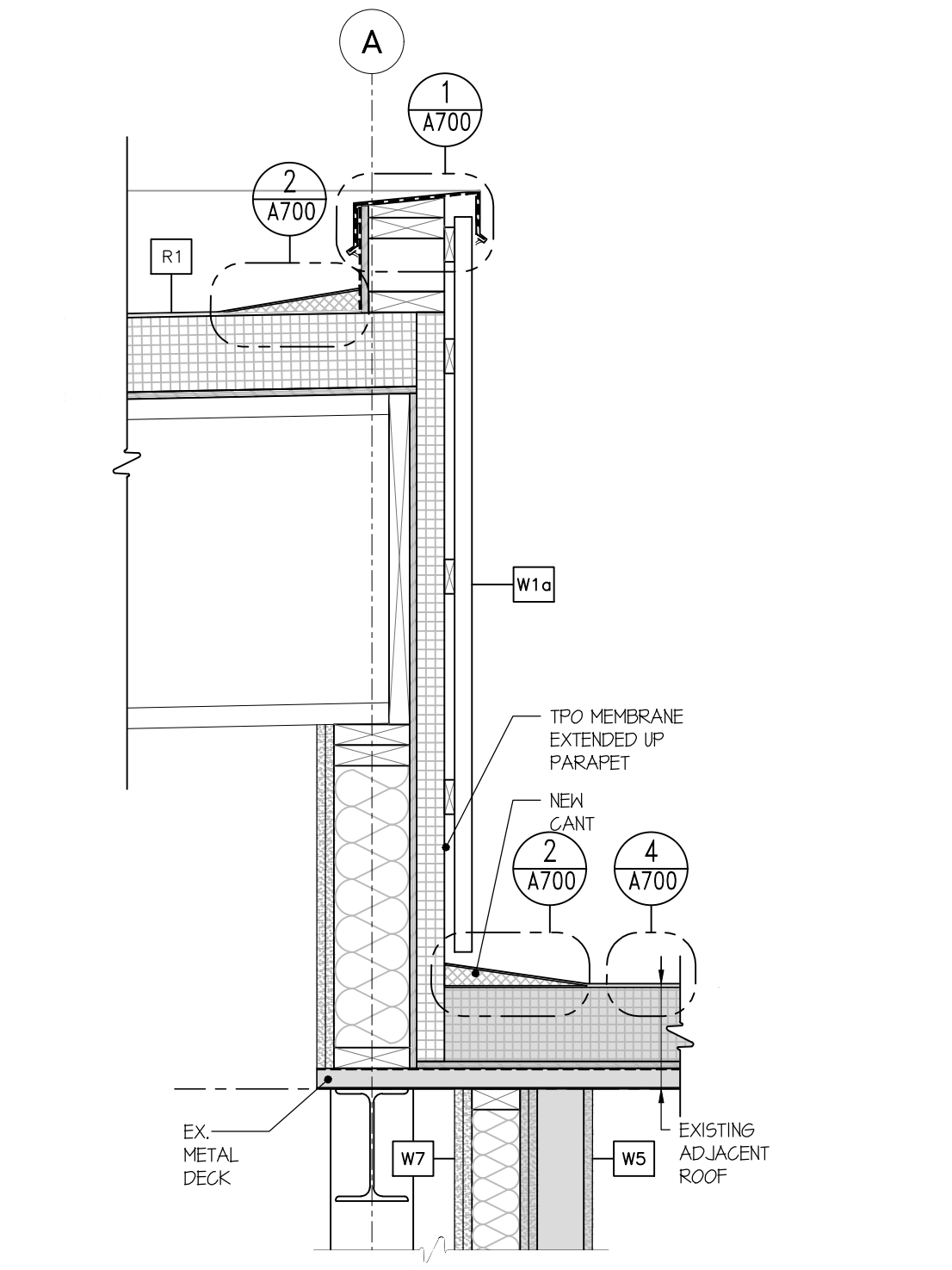
6 MOUNTED CONTROLS
A4401 SCALE: N.T.S.



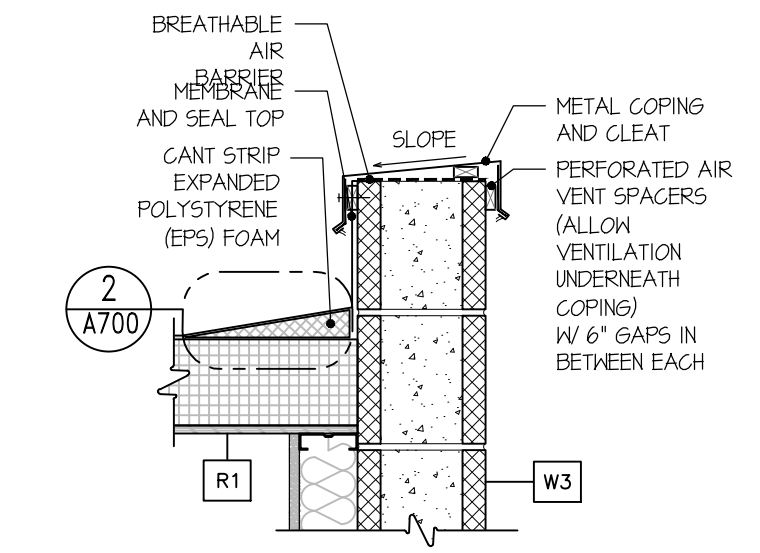
1 SCUPPER PENETRATION
A4401 SCALE: 1" = 1'-0"



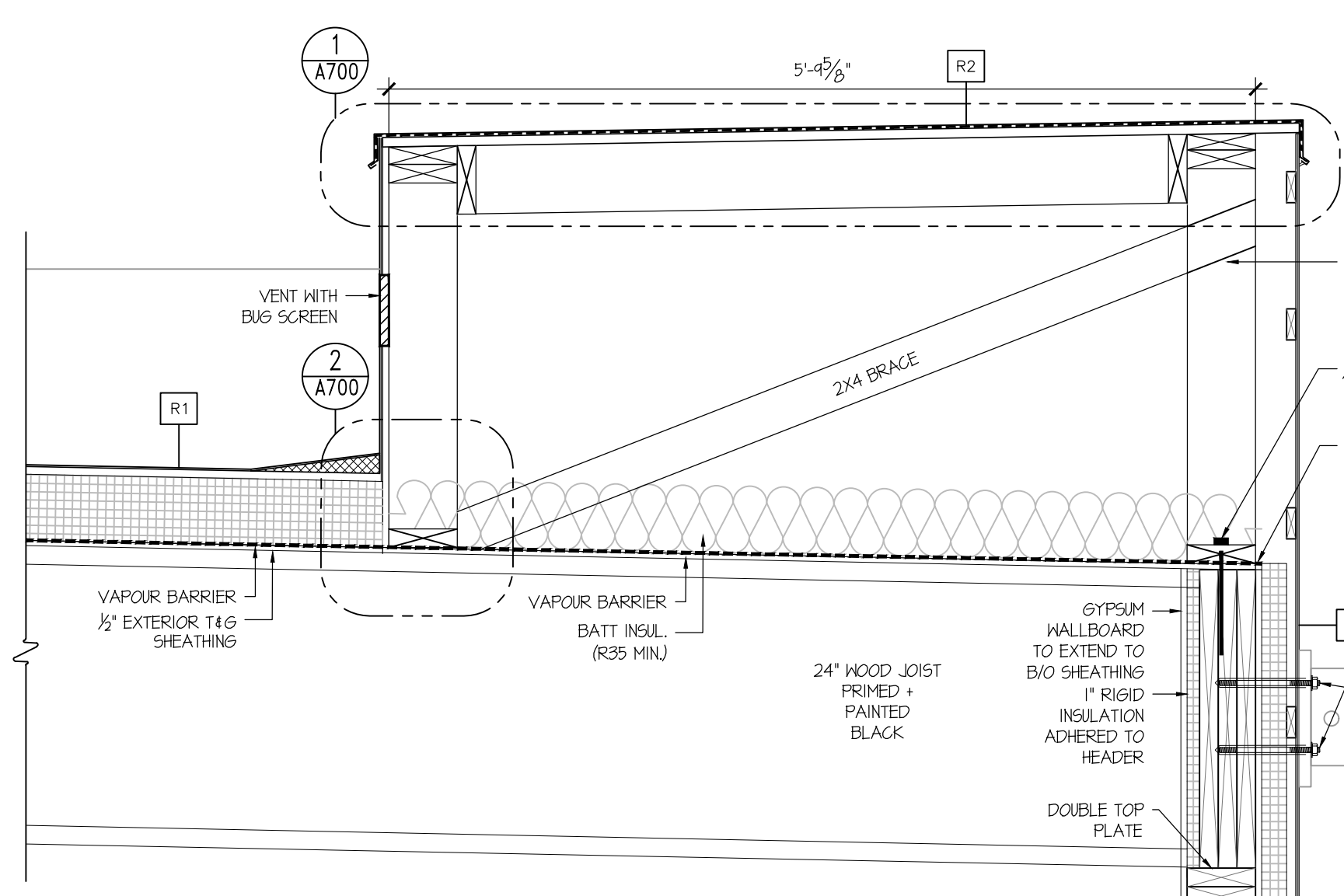
3 SECTION DETAIL - CANOPY @ MAIN ENTRANCE
A4401 SCALE: 1" = 1'-0"



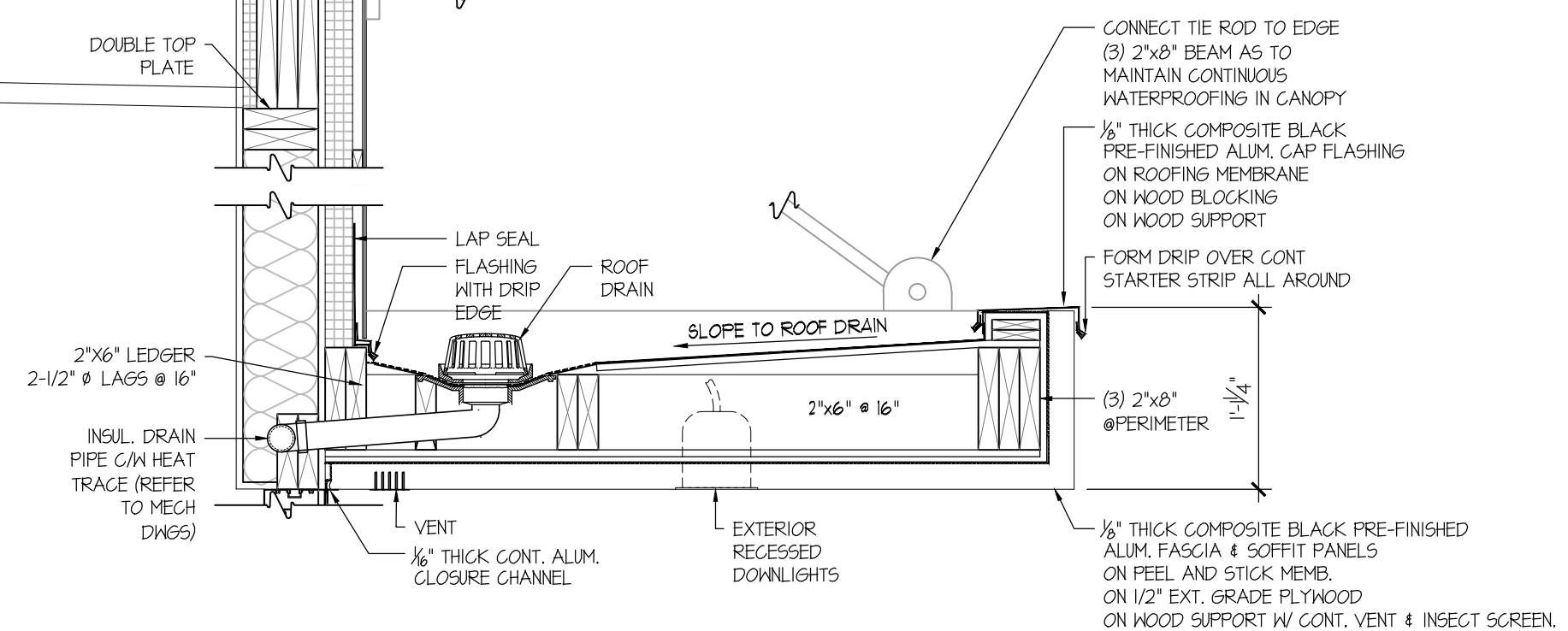
2 EX. ROOF @ NEW ROOF INTERSECTION
A4401 SCALE: 1" = 1'-0"



4 BLOCK WALL PARAPET
A4401 SCALE: 1" = 1'-0"



7 SECTION DETAIL - ROOF PARAPET
A4401 SCALE: 1" = 1'-0"



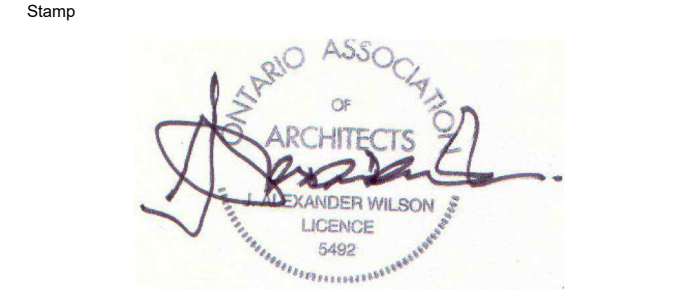
8 SECTION DETAIL - CANOPY @ DRIVE-THRU
A4401 SCALE: 1" = 1'-0"

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LEGEND	
	EXISTING
	NEW
	DEMO

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Project
NEW STARBUCKS COBOURG

1030 Division Street
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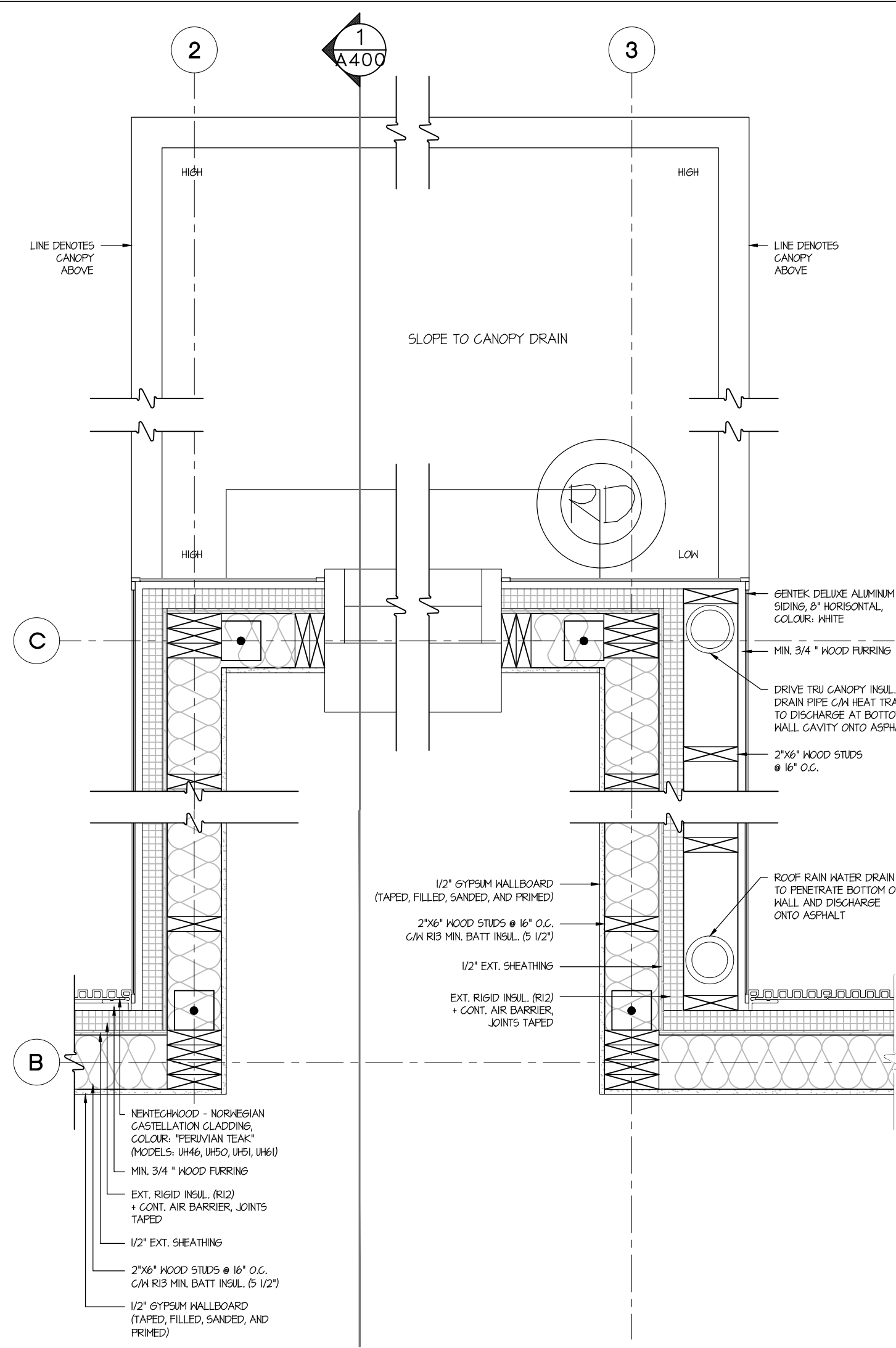
BUILDING DETAILS

Drawn By	CS	Checked By	JMJ
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Project No.	2343	Revision	1
Drawing No.	A401		

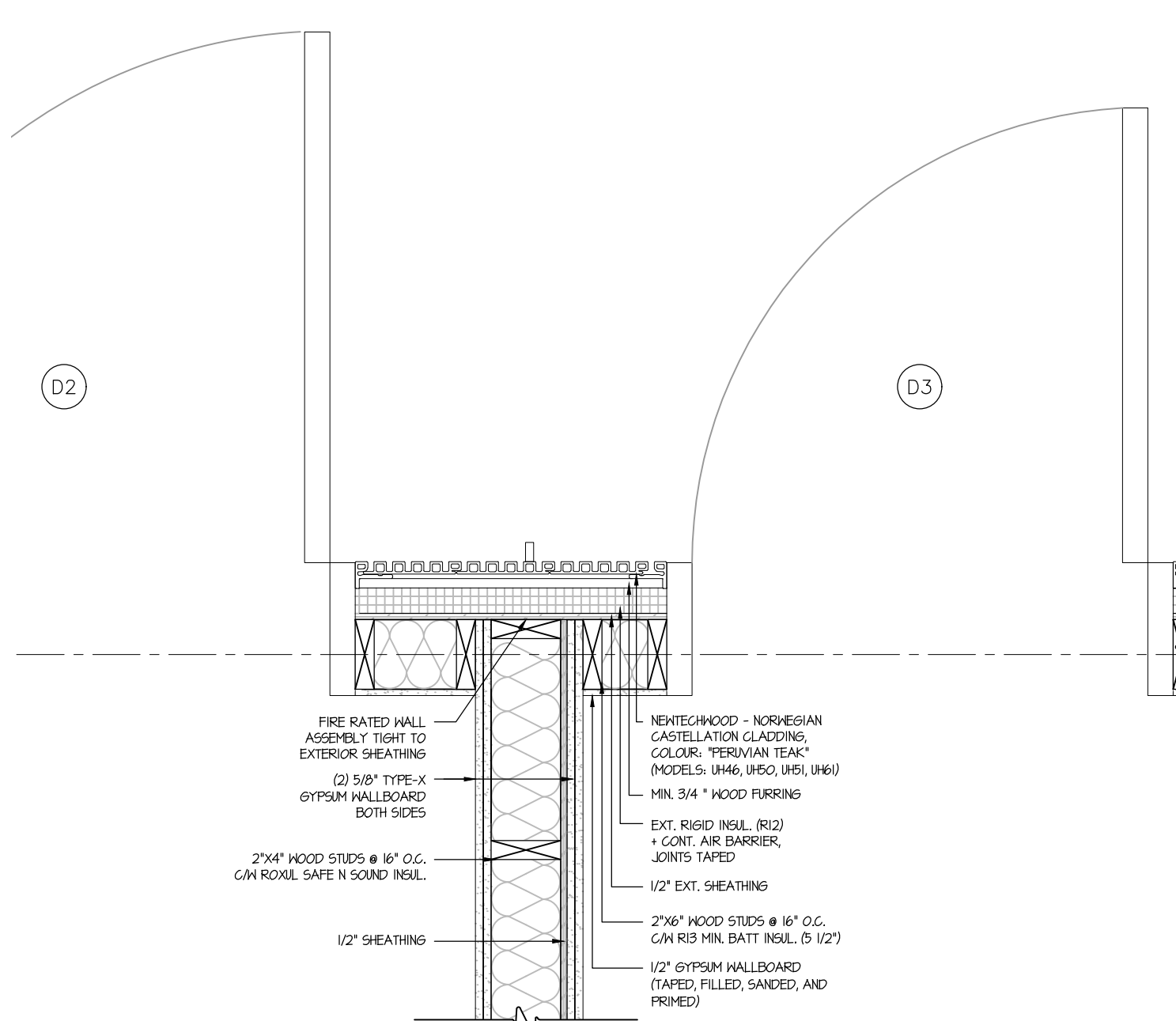
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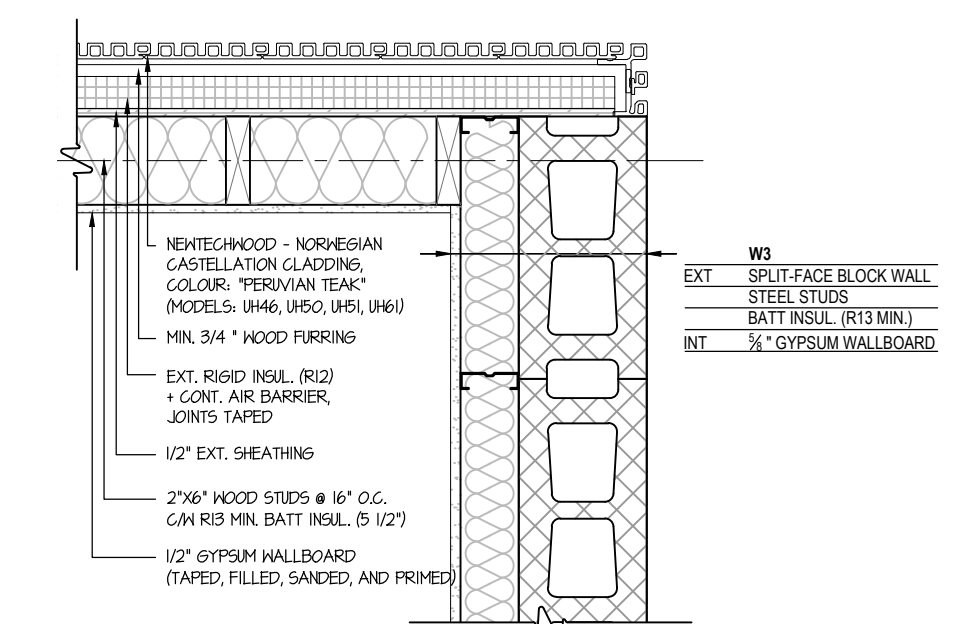
LEGEND	
	EXISTING
	NEW
	DEMO



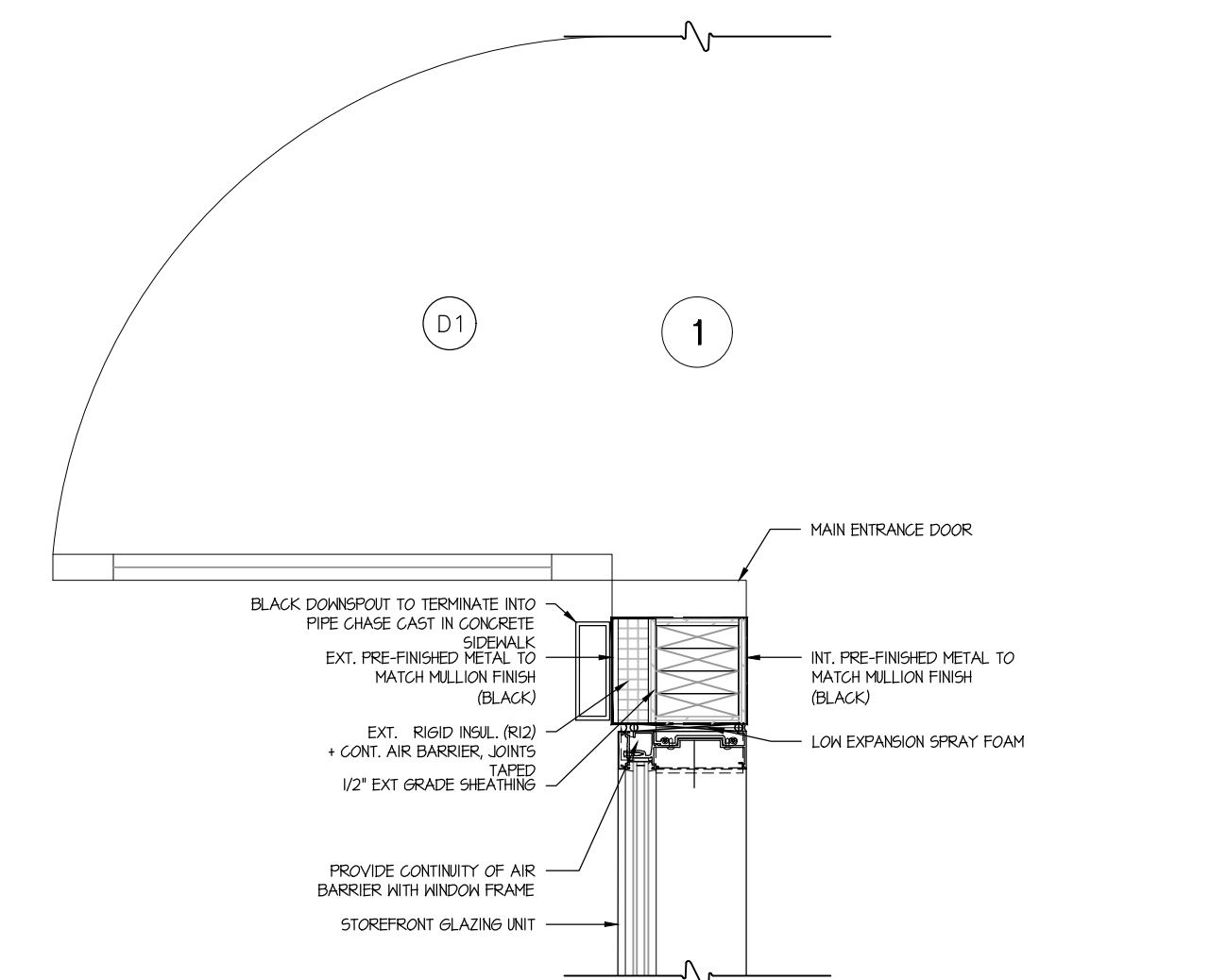
1 PLAN DETAIL @ DRIVE-THRU & CANOPY
 SCALE: 1" = 1'-0"



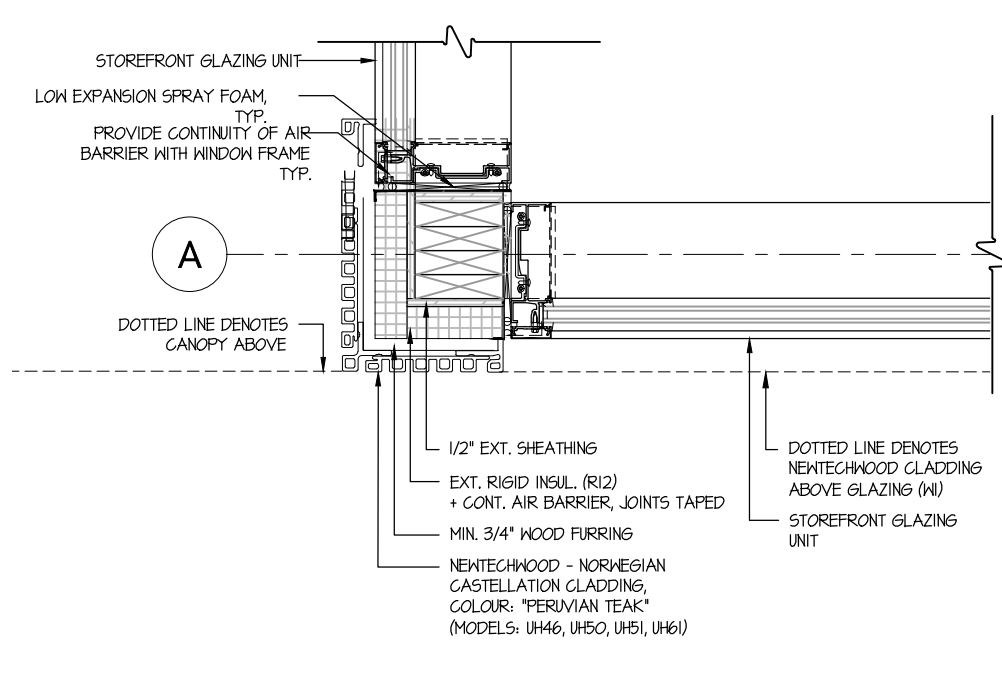
2 PLAN DETAIL @ WALLTYPE W6xW1
 SCALE: 1" = 1'-0"



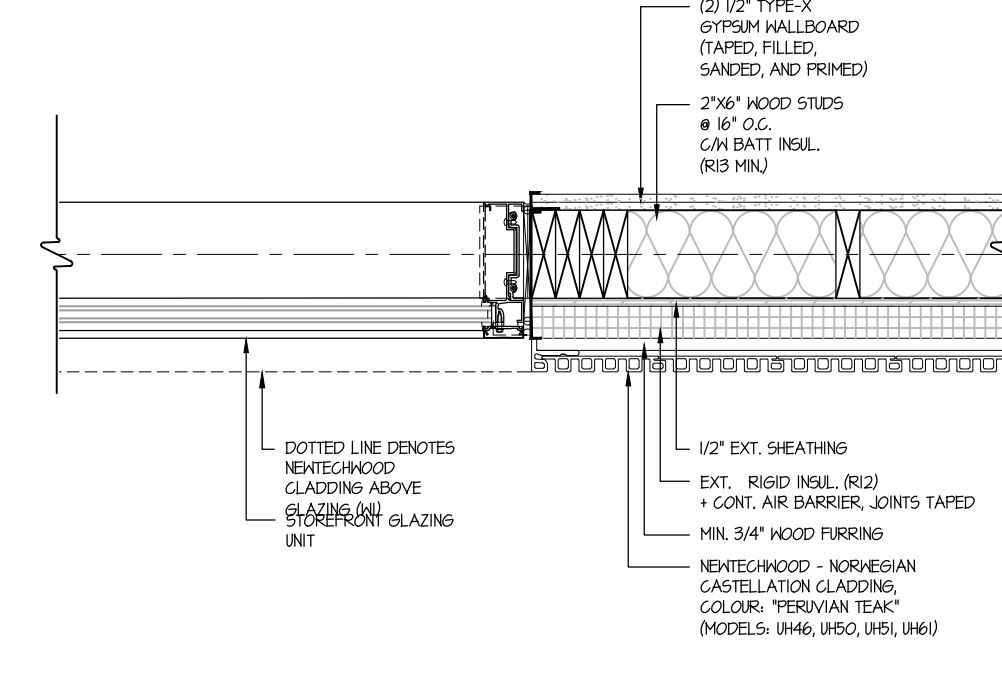
3 PLAN DETAIL @ S.EAST CORNER
 SCALE: 1" = 1'-0"



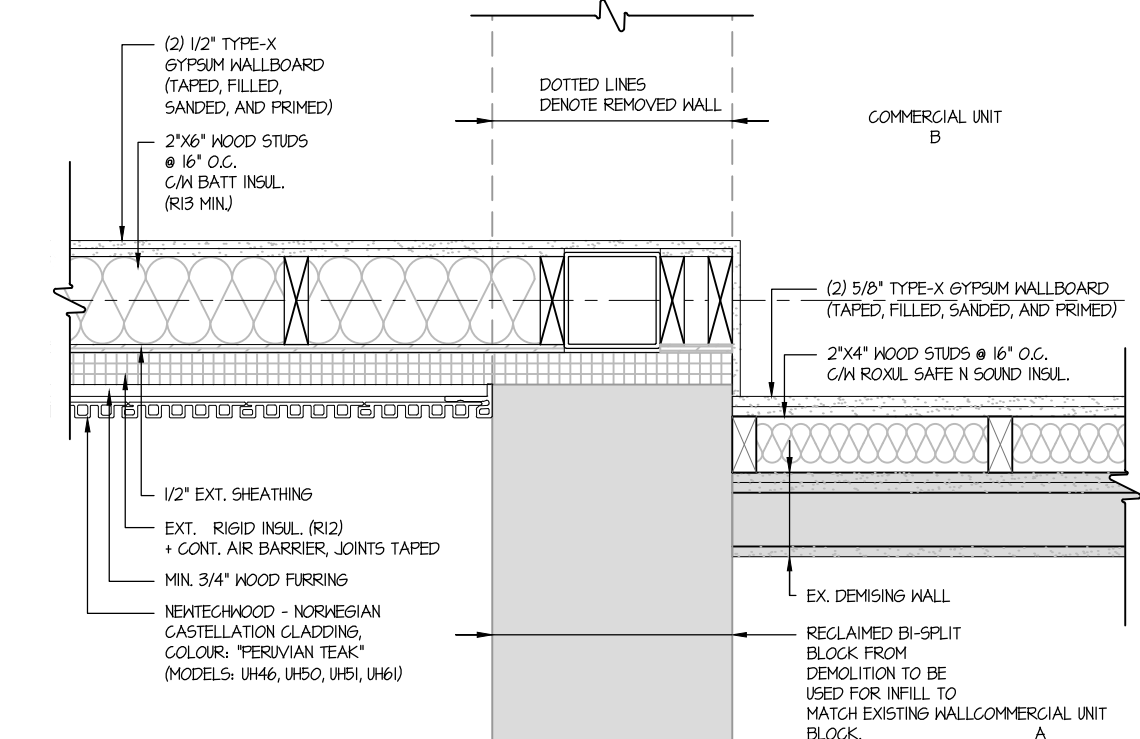
9 PLAN DETAIL @ MAIN ENTRANCE
 SCALE: 1" = 1'-0"



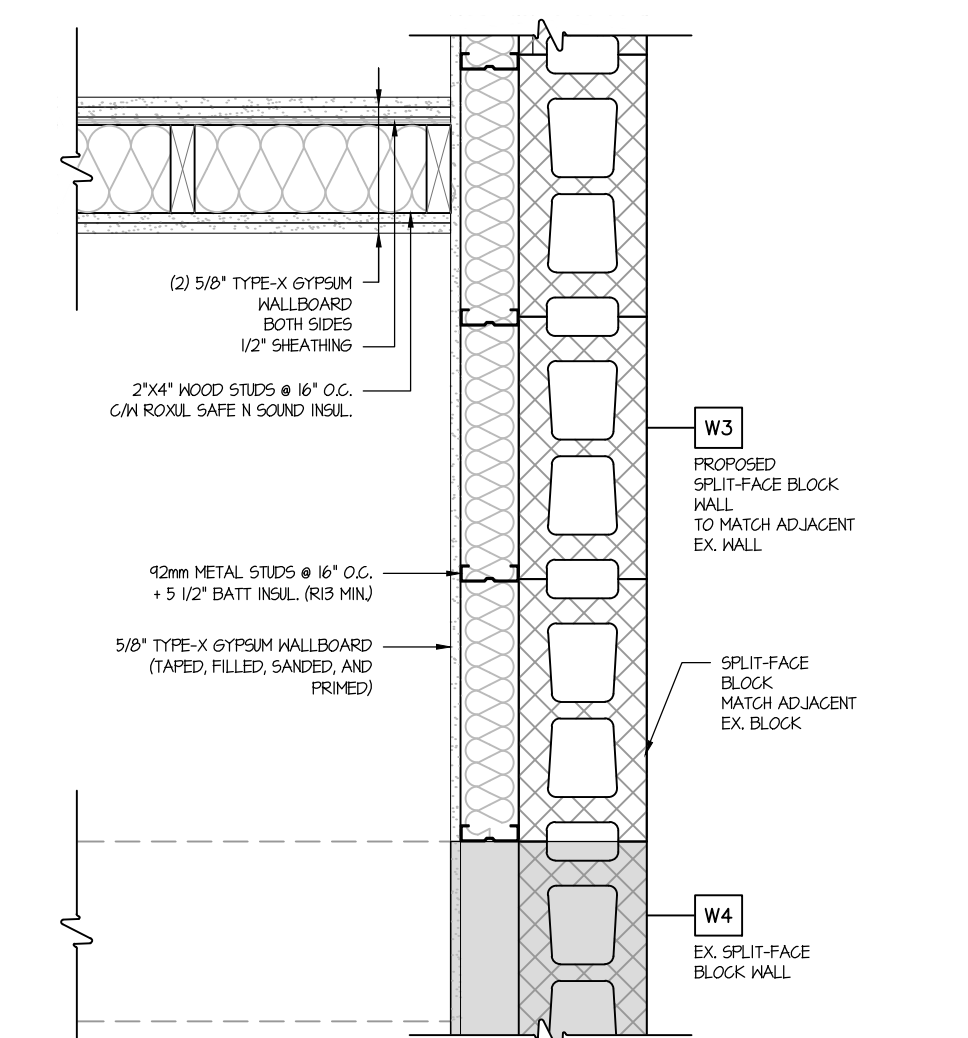
8 PLAN DETAIL @ GLAZING CORNER
 SCALE: 1" = 1'-0"



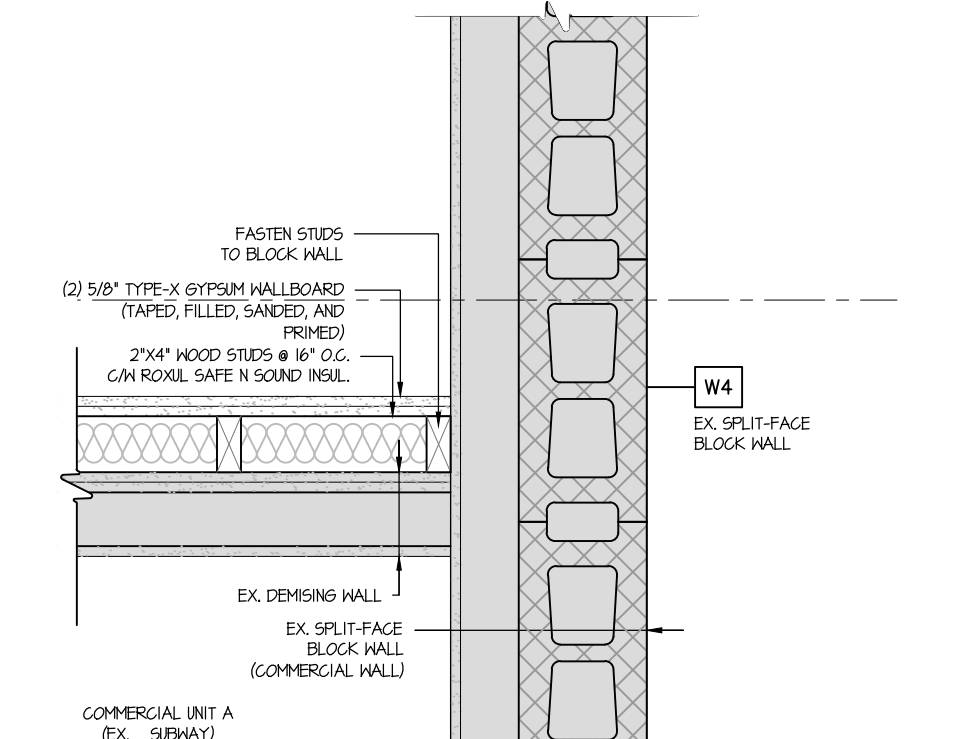
7 PLAN DETAIL @ GLAZING
 SCALE: 1" = 1'-0"



6 PLAN DETAIL @ DEMISING+NEW+EXST.
 SCALE: 1" = 1'-0"



4 PLAN DETAIL @ W4xW3
 SCALE: 1" = 1'-0"



5 PLAN DETAIL @ DEMISING+EXST.
 SCALE: 1" = 1'-0"

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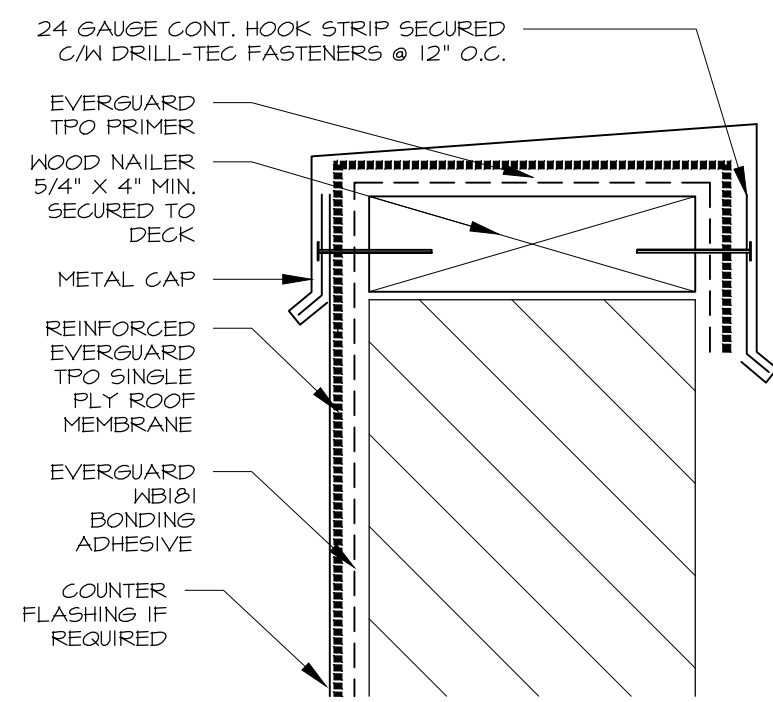
Project

**NEW STARBUCKS
 COBOURG**

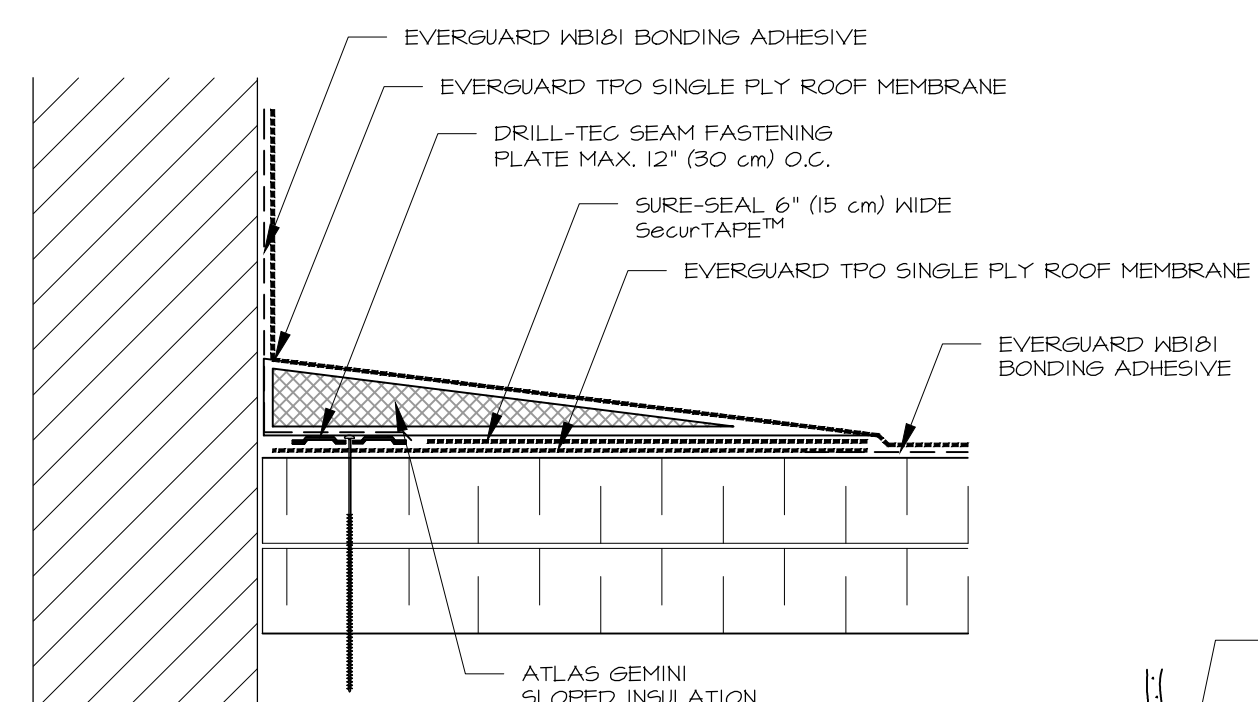
1030 Division Street
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PLAN DETAILS

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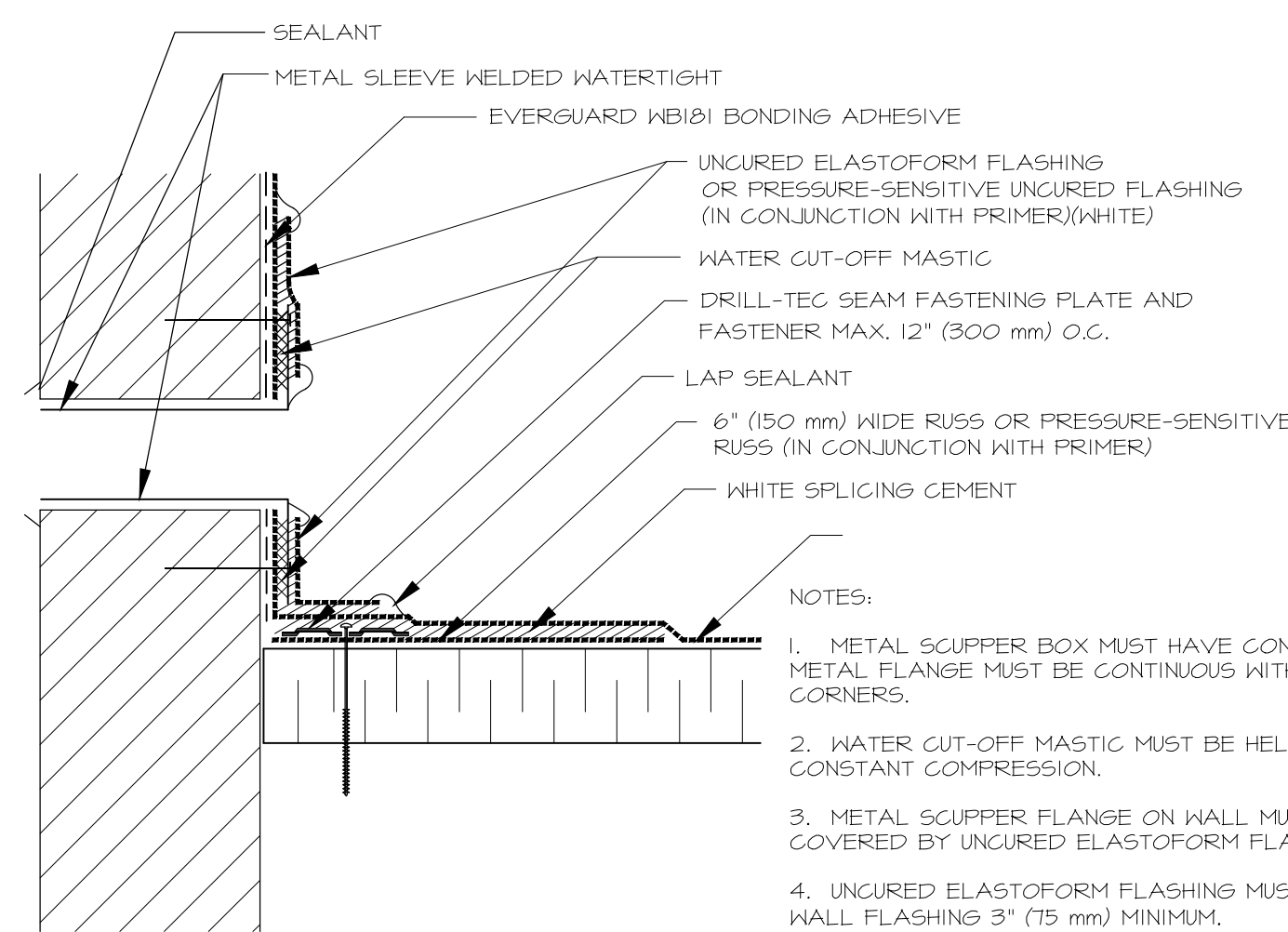


1 PARAPET CAP FLASHING
A700 SCALE: NTS



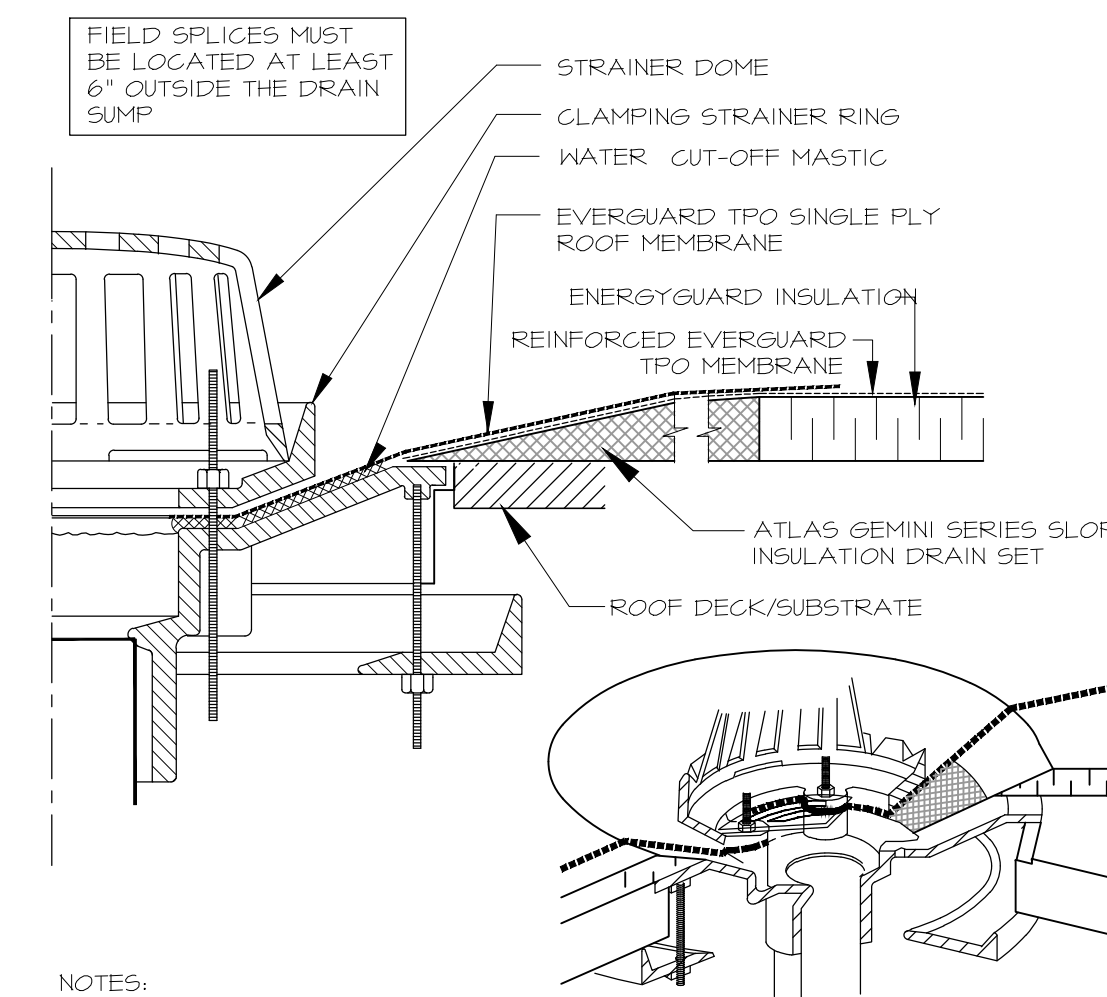
- NOTES:**
1. A 4.5" x 6" (12 x 15 cm) AND A 9" x 12" (23 x 30 cm) PIECE OF PRESSURE-SENSITIVE UNCURED FLASHING MUST BE CENTERED OVER THE FIELD SPLICE AT ANGLE CHANGE.
 2. SEAL ALL EDGES WITH LAP SEALANT AS SHOWN ABOVE.
 3. LOCATE TERMINATION ABOVE ANTICIPATED WATER LEVEL.
 4. FOR CORNER APPLICATIONS, SEE ABOVE DETAIL.

2 CONTINUOUS TPO WALL FLASHING DETAIL
A700 SCALE: NTS



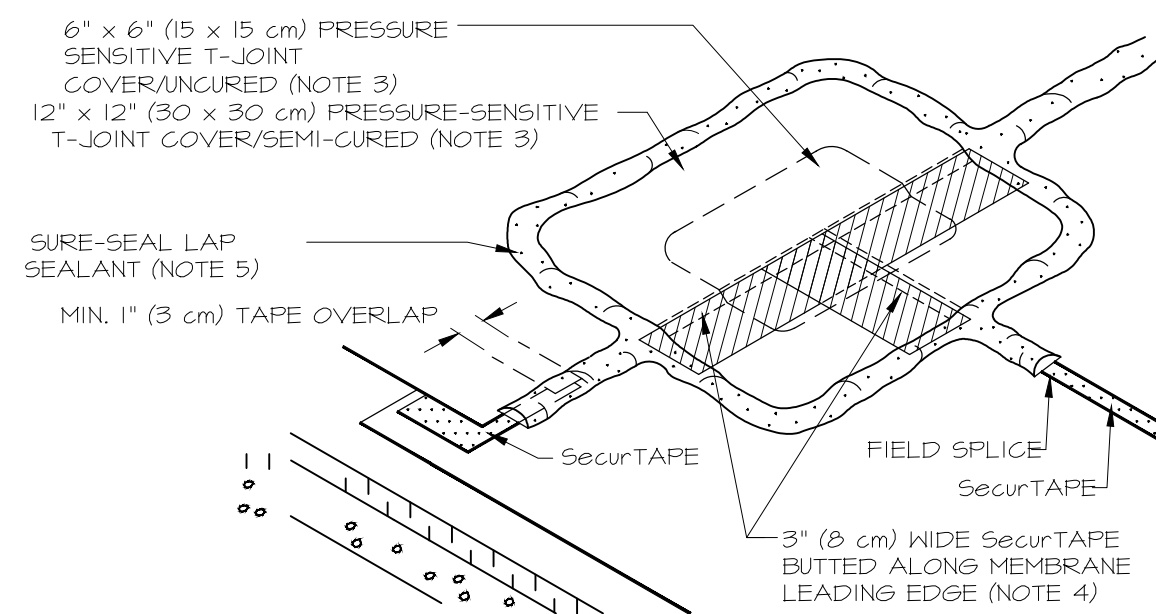
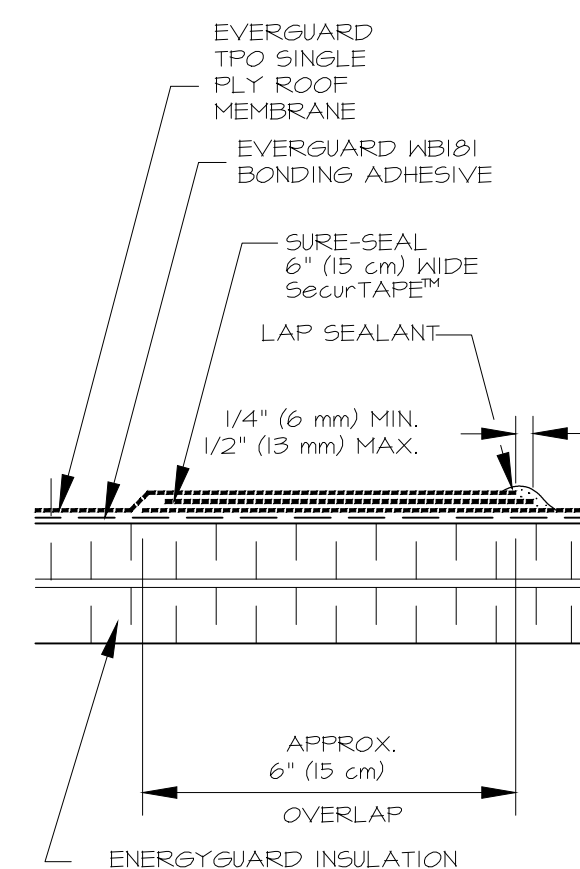
- NOTES:**
1. METAL SCUPPER BOX MUST HAVE CONTINUOUS SIDES; METAL FLANGE MUST BE CONTINUOUS WITH ROUNDED CORNERS.
 2. WATER CUT-OFF MASTIC MUST BE HELD UNDER CONSTANT COMPRESSION.
 3. METAL SCUPPER FLANGE ON WALL MUST BE TOTALLY COVERED BY UNCURED ELASTOFORM FLASHING.
 4. UNCURED ELASTOFORM FLASHING MUST OVERLAP WALL FLASHING 3" (75 mm) MINIMUM.
 5. A MINIMUM 2" (50 mm) LAP SPLICE IS REQUIRED PAST THE NAIL HEAD ON THE METAL FLANGE OF THE SCUPPER.

3 OVERFLOW METAL SCUPPER DETAIL
A700 SCALE: NTS



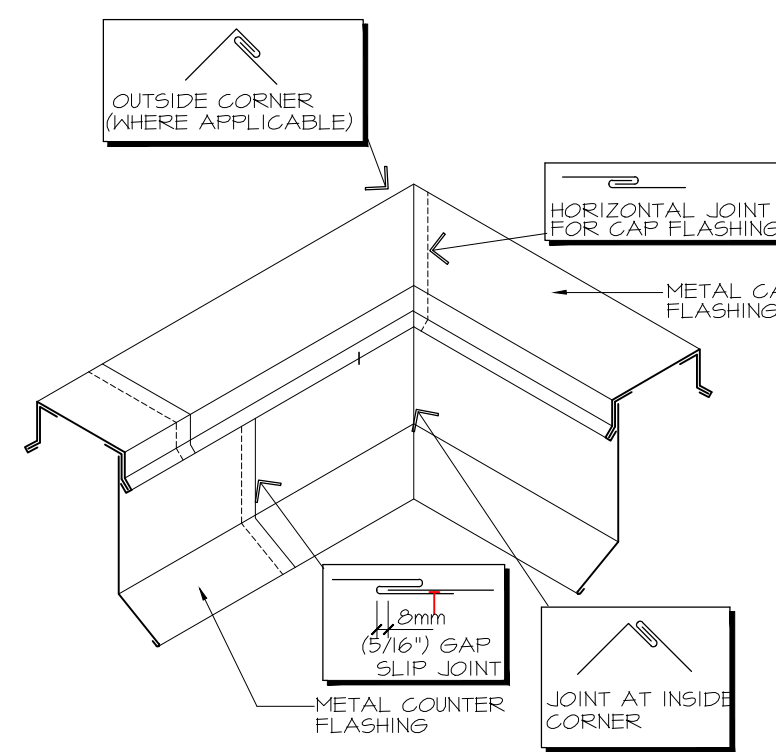
- NOTES:**
1. REMOVE ALL LEAD AND OTHER FLASHING.
 2. ALL BOLTS OR CLAMPS MUST BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
 3. CUT THE MEMBRANE SO IT EXTENDS A MINIMUM OF 1/2" (13 mm) FROM THE ATTACHMENT POINTS OF THE DRAIN CLAMPING RING.
 4. HOLE IN MEMBRANE MUST EXCEED SIZE OF DRAIN PIPE.
 5. INSULATION TAPER SHALL NOT BE STEEPER THAN 6" (150 mm) (VERTICAL) IN 12" (300 mm) (HORIZONTAL).
 6. ROOF DRAIN SIZE AND NUMBER OF DRAINS SHALL BE IN ACCORDANCE WITH LOCAL CODES.

7 ROOF DRAIN DETAIL
A700 SCALE: NTS

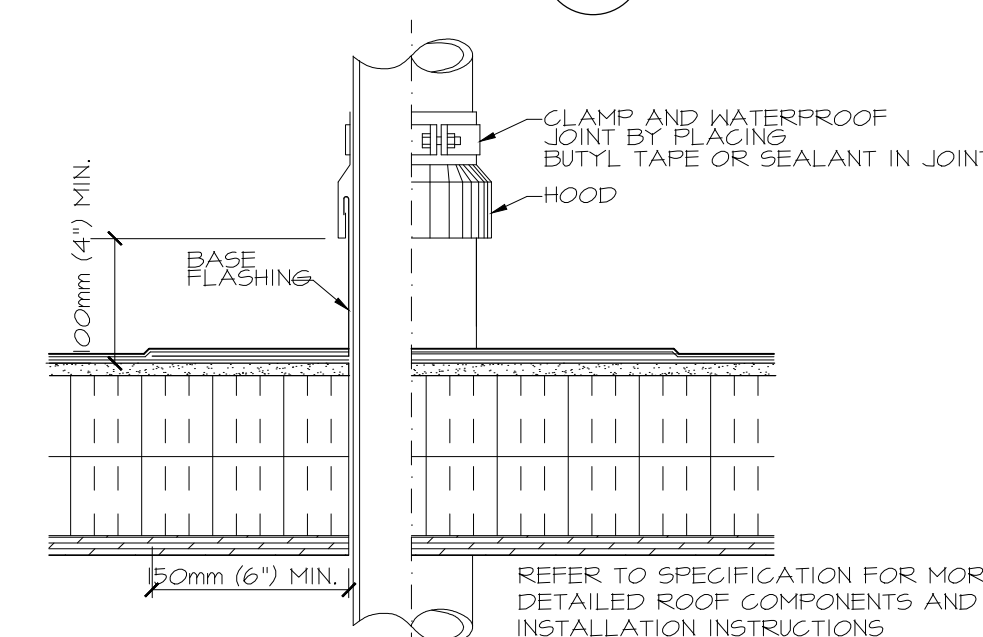


- NOTES:**
1. PRIOR TO INSTALLATION OF SECURTAPE, APPLY SURE-SEAL PRIMER TO SPLICE AREAS.
 2. SECURTAPE IS TO BE OVERLAPPED A MINIMUM OF 1" (3 cm) AT THE ENDS OF EACH CUT PIECE.
 3. AT FIELD SPLICE INTERSECTIONS, APPLY A 6" x 6" (15 x 15 cm) PRESSURE SENSITIVE T-JOINT COVER (UNCURED) FLASHING OVERLAP WITH A 12" x 12" (30 x 30 cm) PRESSURE SENSITIVE T-JOINT COVER (SEMI-CURED) FLASHING.
 4. INSTALL 3" (8 cm) WIDE SECURTAPE (IN CONJUNCTION WITH PRIMER) ALONG LEADING EDGE OF MEMBRANE SPLICE OVERLAPPING EXPOSED SPLICE TAPE FROM THE SEAM.
 5. SEAL ALL EDGES WITH LAP SEALANT AS SHOWN ABOVE.

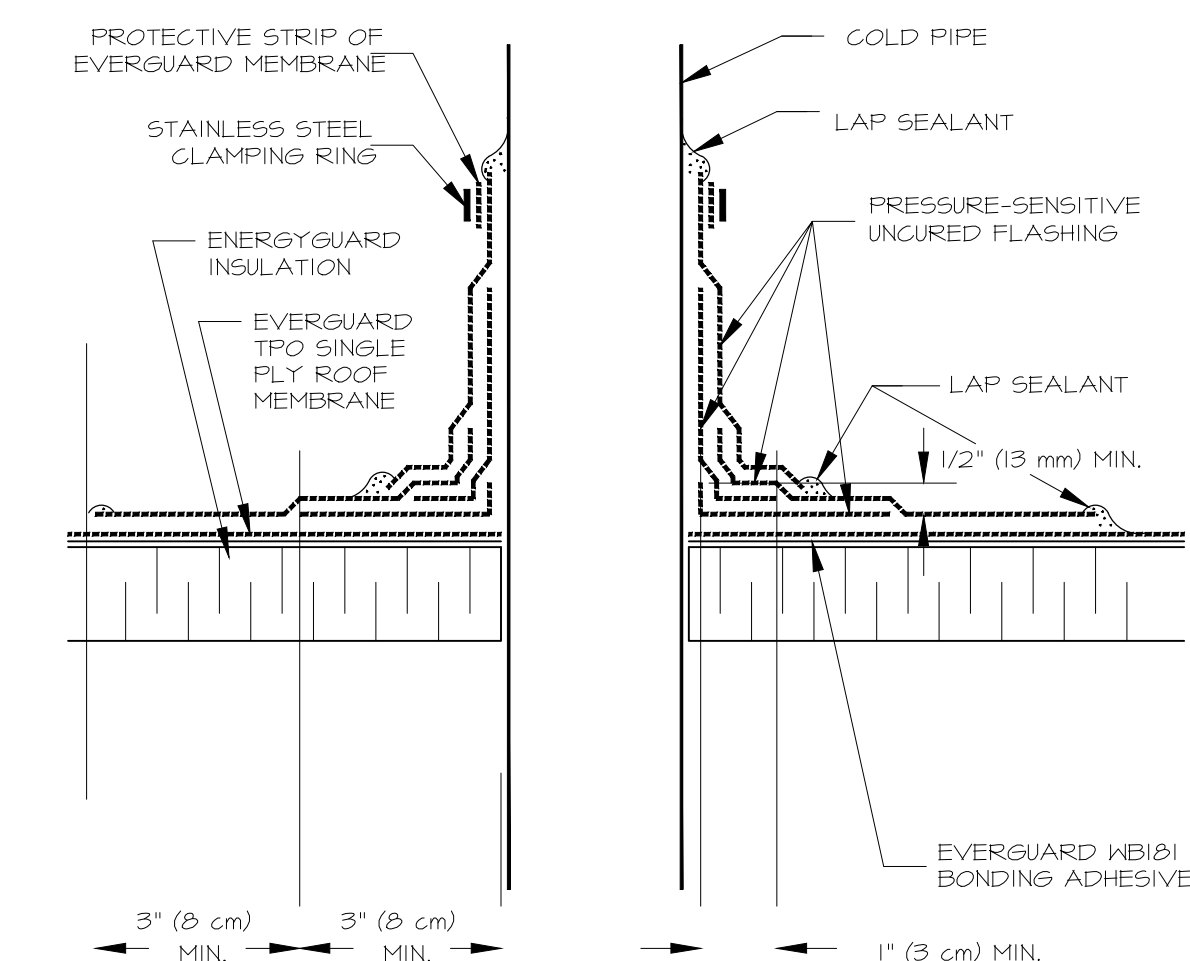
4 MEMBRANE SPLICE DETAIL
A700 SCALE: NTS



5 PARAPET FLASHING
A700 SCALE: NTS

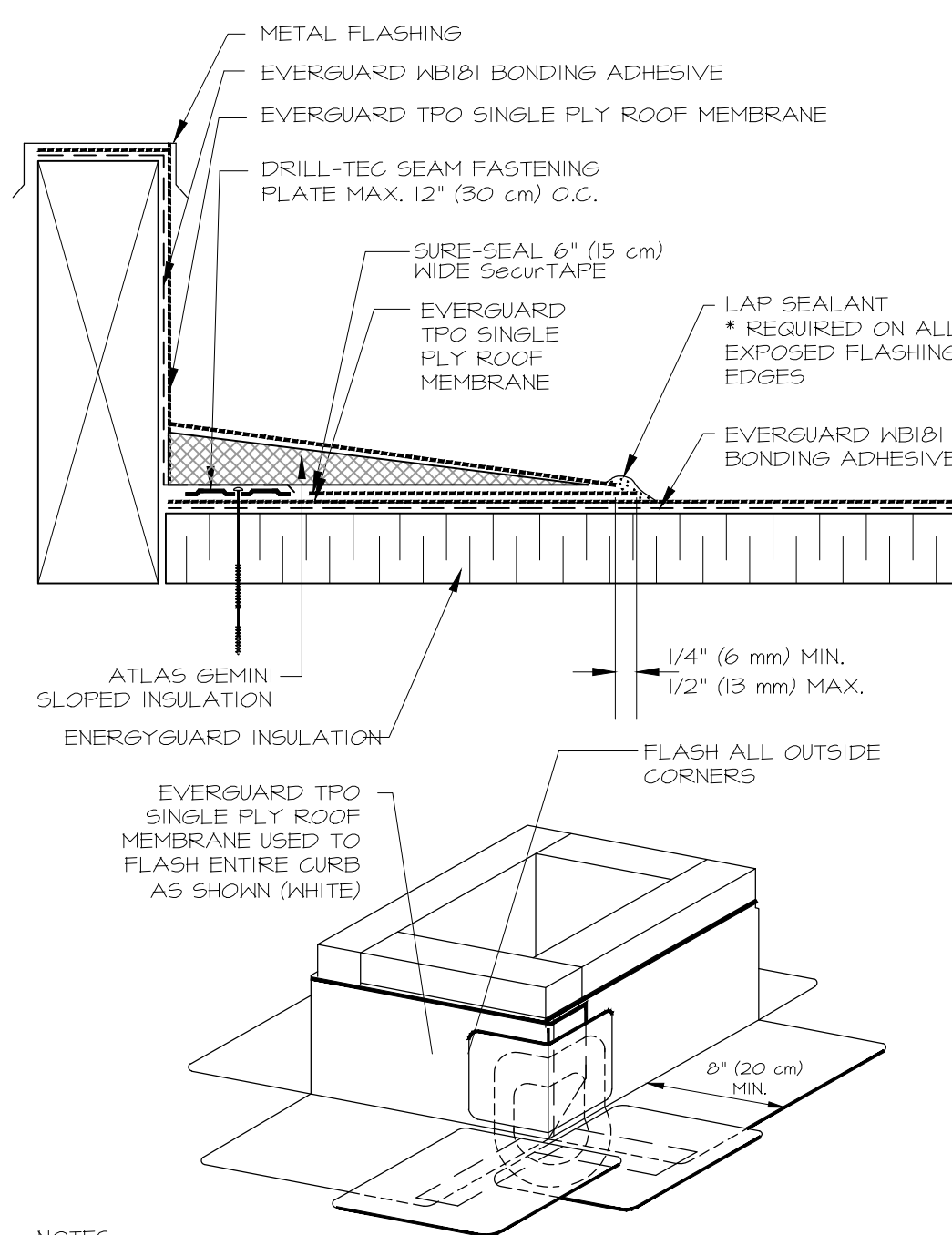


6 DETAIL A: COLD PIPE THROUGH EPDM ROOF
A700 SCALE: NTS



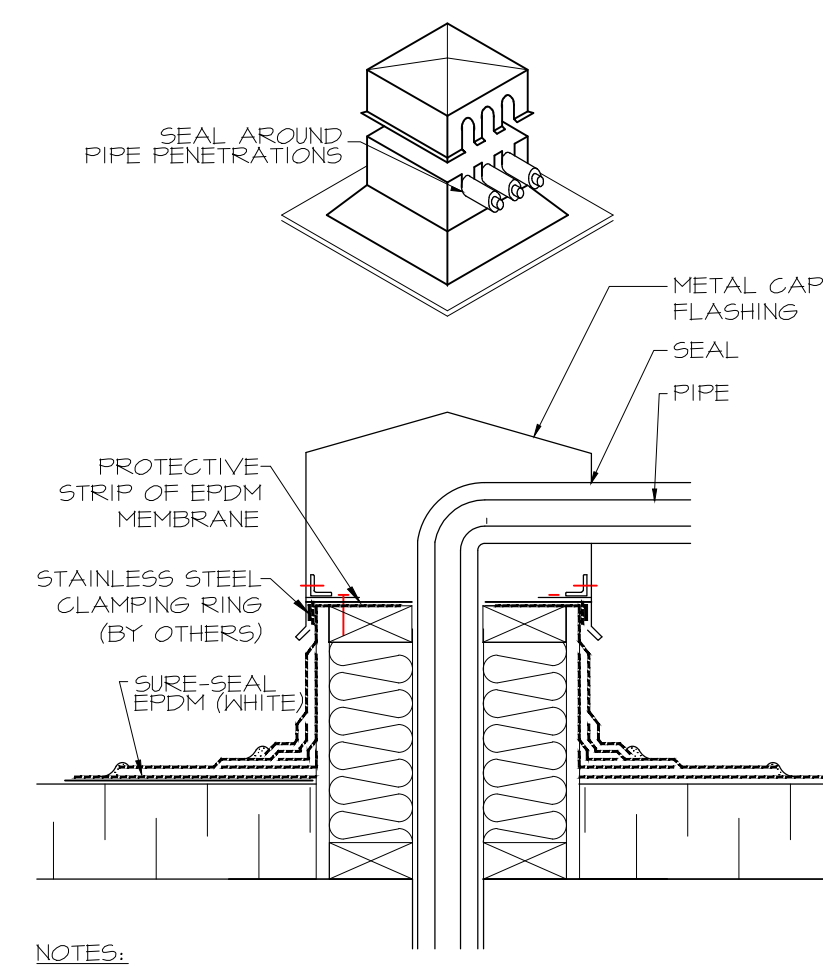
- NOTES:**
1. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD-FABRICATED PIPE SEAL.
 2. MEMBRANE SECUREMENT REQUIRED AROUND ALL PIPES GREATER THAN 10 INCHES (25 cm) IN DIAMETER.
 3. PRESSURE-SENSITIVE UNCURED FLASHING WRAPPED AROUND THE PIPE SHALL HAVE 3" (8 cm) MINIMUM SPLICE.
 4. USE 9 INCH WIDE PRESSURE-SENSITIVE UNCURED FLASHING CUT IN HALF TO FORM THE FIRST WRAP AROUND PIPE. THE SECOND WRAP SHALL BE FORMED USING A FULL WIDTH OF 9 INCH WIDE PRESSURE-SENSITIVE UNCURED FLASHING.

9 FIELD FABRICATED PIPE SEAL
A700 SCALE: NTS



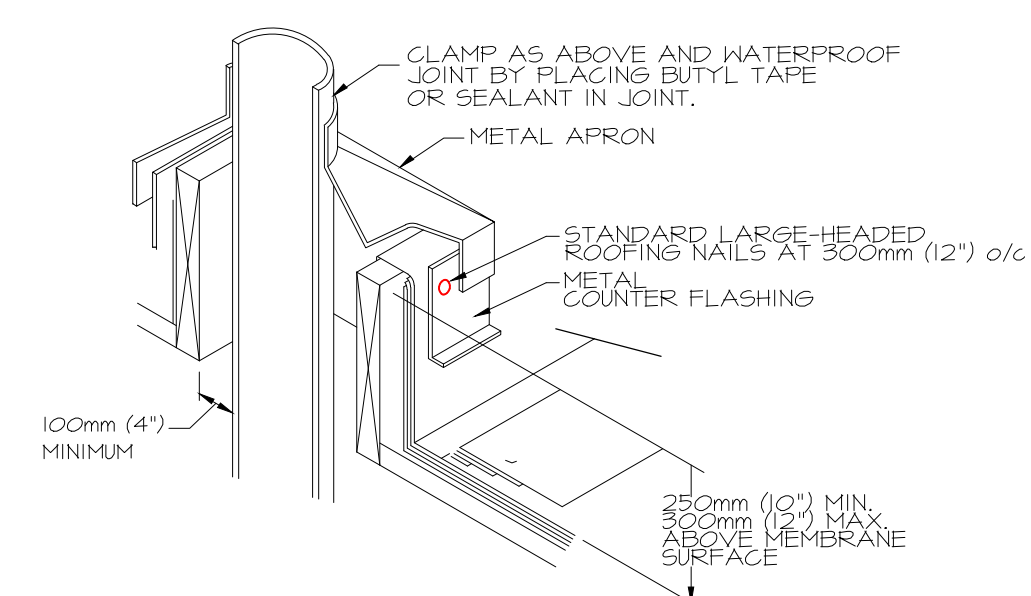
- NOTES:**
1. IF VERTICAL SPLICE IS NOT LOCATED AT CORNER, A 4.5" x 6" (12 x 15 cm) AND A 9" x 12" (23 x 30 cm) PIECE OF PRESSURE-SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPLICE AT ANGLE CHANGE.
 2. FASTENING PLATES MAY BE INSTALLED VERTICALLY.
 3. APPLY PRIMER PRIOR TO INSTALLING SECURTAPE.

10 INSULATED PIPE ENCLOSURE
A700 SCALE: NTS

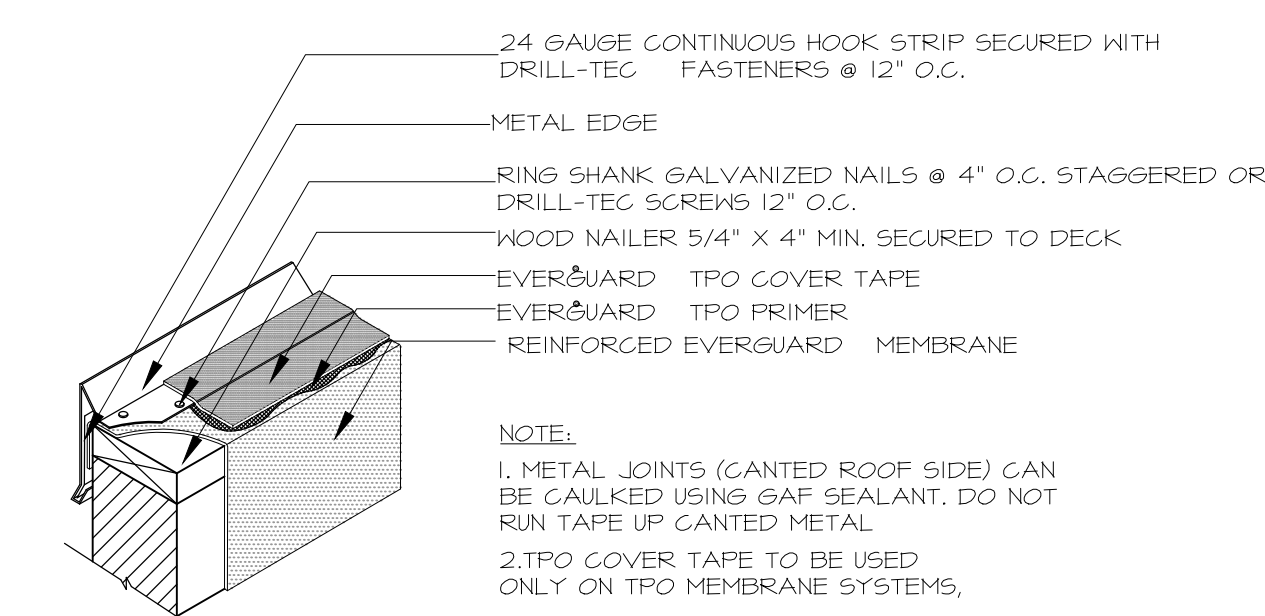


- NOTES:**
1. ROOFING AND BASE FLASHING - TPO (WHITE)
 2. METAL CAP FLASHING AND COUNTER FLASHING (0.45mm/26ga) PREFINISHED SHEET STEEL.
 3. METAL CAP FLASHING MAY HAVE TO BE OF THICKER METAL, OR MAY NEED ADDITIONAL STRUCTURAL SUPPORT DEPENDING ON THE SIZE.

11 INSULATED PIPE ENCLOSURE
A700 SCALE: NTS



6 DETAIL B: HOT PIPE THROUGH EPDM ROOF
A700 SCALE: NTS



- NOTE:**
1. METAL JOINTS (GATED ROOF SIDE) CAN BE CAULKED USING GAF SEALANT. DO NOT RUN TAPE UP GATED METAL.
 2. TPO COVER TAPE TO BE USED ONLY ON TPO MEMBRANE SYSTEMS.
 3. EVERGUARD TPO COVER TAPE TO BE USED ONLY ON HORIZONTAL SURFACES, NOT TURNED DOWN VERTICALLY.

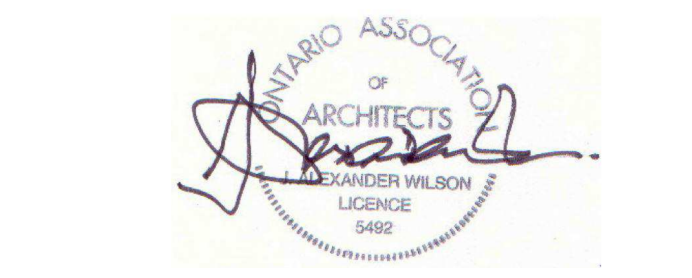
12 PARAPET WALL C/W METAL EDGE & TPO COVER TAPE DETAIL
A700 SCALE: NTS

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4		

- GENERAL NOTES**
1. ALL DETAILS TO BE CO-ORDINATED WITH MECHANICAL / ELECTRICAL AND STRUCTURAL DRAWINGS AND ROOFING CONTRACTOR PRIOR TO INSTALLATION.
 2. REFER TO SPECIFICATION FOR DETAILED MATERIALS AND INSTALLATION INSTRUCTIONS
 3. DETAILS SHOWN ARE POSSIBLE CONDITIONS AND NOT ALL MAY BE APPLICABLE.
 4. ALL ANCHORING & REINFORCING TO BE SIZED AND LOCATED ON STRUCTURAL DRAWINGS
 5. FABRICATION AND INSTALLATION DRAWINGS ARE REQUIRED TO BE SUBMITTED FOR ALUMINUM ENTRY SYSTEM FOR APPROVAL PRIOR TO INSTALLATION
 6. ROOF MEMBRANE TO BE SINGLE PLY WHITE EPDM MECHANICALLY FASTENED
 7. ATLAS GEMINI SERIES TAPERED EDGE STRIP OR APPROVED EQUAL (TYP.) TO ALL PARAPETS, CURBING, AND HVAC UNITS.
 8. LINE DENOTES 4'-0"X1'-0" PRE-MANUFACTURED ONE-PIECE DRAIN SET (ATLAS GEMINI ONE-PIECE DRAIN SETS OR APPROVED EQUAL)(TYP.)

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Project
NEW STARBUCKS COBOURG
1030 Division Street
Cobourg, Ontario
Drawing

ROOF DETAILS

Drawn By	CS	Checked By	JMJ
Scale	AS NOTED	Date	NOV 2023
Project No.	2343	Revision	1
Drawing No.	A700		

DO NOT SCALE DRAWINGS
 CHECK AND VERIFY ALL DIMENSIONS BEFORE
 PROCEEDING WITH THE WORK.
 DRAWINGS NOT TO BE USED FOR CONSTRUCTION
 UNLESS STAMPED AND SIGNED BY THE CONSULTANT.
 THESE DRAWINGS HAVE BEEN DESIGNED IN
 CONFORMANCE WITH THE ONTARIO BUILDING CODE.

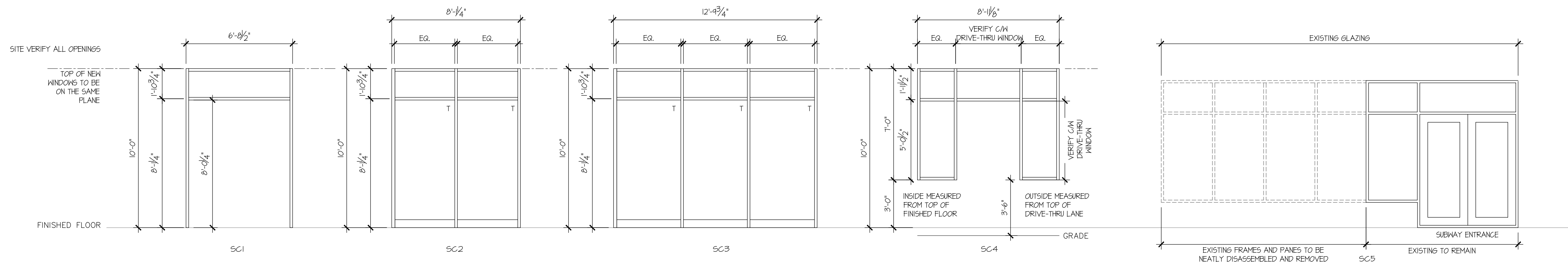
REV.	DATE	DESCRIPTION
1	2024/10/10	ISSUED FOR REVIEW
2	2024/10/24	ISSUED FOR COORDINATION
3	2024/11/13	ISSUED FOR BUILDING PERMIT
4		

ABBREVIATIONS

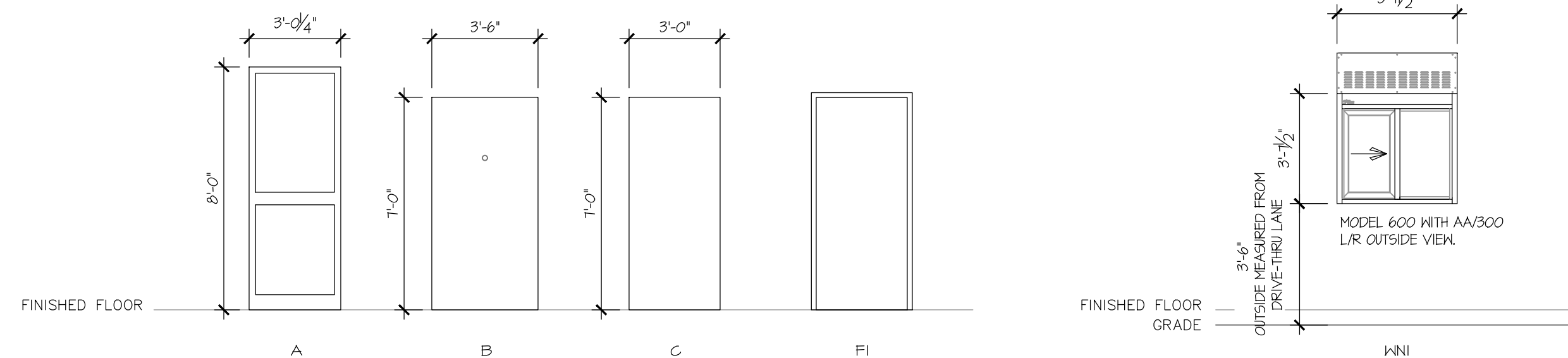
ALUM	ALUMINUM
CA	CLEAR ANODIZED
CNT	CLEAR TEMPERED INSULATED GLASS
DURD	DURINDAR
EQ	EQUAL
EX	EXISTING
FG G	FIXED GLAZING CLEAR GLASS
GALV	GALVANIZED STEEL
GW	GEORGIAN WIRE GLASS
HC	HOLLOW CORE
HM	HOLLOW METAL
HM	INSULATED HOLLOW METAL
INSUL	INSULATED
M.O.	MASONRY OPENING
OH	OVERHEAD DOOR
PT	PAINT
SA	SOUND ATTENUATING
SC	SOLID CORE WOOD
ST	STEEL
STA	STAIN
T	TEMPERED
T.B.D.	TO BE DIMENSIONED (SITE MEASURED)
TM	TO MATCH
WD	WOOD

HARDWARE GROUPS

GROUP 1	COMMERCIAL GRADE HARDWARE
	BUTT HINGES 115X100
	CLOSER
	LOCK SET
	FLUSH BOLT
	THRESHOLD
	WEATHER STRIPPING
	DOOR SWEEP
	DRIP EDGE
	PANIC BAR
	SIGN
GROUP 2	COMMERCIAL GRADE HARDWARE
	BUTT HINGES 115X100
	CLOSER
	LOCK SET
	FLUSH BOLT
	THRESHOLD
	WEATHER STRIPPING
	DOOR SWEEP
	DRIP EDGE
GROUP 3	POWER DOOR OPERATOR



1 SCREEN SCHEDULE
 SCALE: 1/4" = 1'-0"



2 DOOR & FRAME TYPES
 SCALE: 1/4" = 1'-0"

READY-ACCESS 600 SERIES SINGLE SLIDING MOER (MANUALLY OPEN, ELECTRONIC RELEASE) WITH 3/4" INSULATED GLASS, G/N AA300 HEATED AIR CURTAIN, WINDOW OPENING DIRECTION LEFT-TO-RIGHT WHEN VIEWED FROM OUTSIDE, DRIVE-THRU SERVICE WINDOW G/M ALL CONNECTIONS FULLY OPERATIONAL PER MANUFACTURE'S SPECIFICATIONS 4 TENANT'S CONSTRUCTION DOCUMENTS

3 WINDOW SCHEDULE
 SCALE: 1/4" = 1'-0"

DOOR & FRAME SCHEDULE												
DOOR #	FROM	TO	DOOR SIZE	TYPE	MATL	FINISH	FRAME / SCREEN		GLASS	HARDWARE GROUP	FIRE RATING	REMARKS
							TYPE	MATL / FINISH				
D1	EXTERIOR	INTERIOR UNIT	2 @ 3'-2" x 8'-0" x 1 1/2"	A	ALM	PT	SC1	ALM / PT	T	GROUP 1+3	-	THERMALLY BROKEN, CLEAR, DOUBLE GLAZED, LOW-E CW COMPLYING U-VALUE CURTAIN WALL SYSTEM + 2 LAYERS OF POWDER COAT, COLOUR: BLACK + POWER DOOR OPERATOR (GROUP 3)
D2	INTERIOR UNIT	EXTERIOR	3'-6" x 7'-0" x 1 1/2"	B	IHM	PT	F1	IHM / PT	-	GROUP 2	-	TO HAVE 2 LAYERS POWDER COAT, COLOUR: BLACK
D3	EXTERIOR	MECH. ROOM	3'-0" x 7'-0" x 1 1/2"	C	IHM	PT	F1	IHM / PT	-	GROUP 1	-	TO HAVE 2 LAYERS POWDER COAT, COLOUR: BLACK

4 DOOR & FRAME SCHEDULE
 SCALE: N/A

SITE VERIFY ALL DIMENSIONS & PROVIDE SHOP DRAWINGS

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SCHEDULES

Drawn By	CS	Checked By	JMJ
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