

# PROPOSED DEVELOPMENT

490 TAUNTON ROAD EAST,  
OSHAWA, ONTARIO

CONSULTANTS:

ARCHITECT:  
CIANFRONE ARCHITECT INC.

STRUCTURAL ENGINEER:  
D.G. BIDDLE & ASSOCIATES

MECHANICAL & ELECTRICAL ENGINEER:  
D.G. BIDDLE & ASSOCIATES

SITE ENGINEERING:  
D.G. BIDDLE & ASSOCIATES

SITE GRADING AND  
SERVICING DRAWING LIST:

ARCH. DRAWING LIST:

SP.1 - SITE PLAN  
A0.1 - DRAWING INFORMATION  
A0.2 - FIRE SEPARATION PLANS & SCHEDULES  
A1.1 - BASEMENT FLOOR PLAN  
A1.2 - FIRST FLOOR PLAN  
A1.3 - SECOND FLOOR PLAN  
A1.4 - THIRD FLOOR PLAN  
A1.5 - FOURTH FLOOR PLAN  
A1.6 - ROOF PLAN  
A2.1 - SOUTH ELEVATION  
A2.2 - NORTH ELEVATION  
A2.3 - EAST ELEVATION  
A2.4 - WEST ELEVATION  
A3.1 - CROSS SECTION  
A3.2 - LONGITUDINAL SECTION  
A4.1 - STAIR DETAIL X91  
A4.2 - STAIR X91 & ELEVATOR CROSS SECTION  
A4.3 - STAIR DETAIL X92  
A5.1 - WALL SECTIONS  
A6.1 - DETAILS BLOW-UPS  
A6.2 - DETAILS BLOW-UPS  
A6.3 - DETAILS BLOW-UPS  
A7.1 - BASEMENT & FIRST FLR CEILING PLAN  
A7.2 - TYPICAL 2nd to 4th FLRS CEILING PLAN  
A8.1 - KITCHEN/WASHROOM ELEVATIONS

STRUCTURAL DRAWING LIST:

MECHANICAL DRAWING LIST:

ELECTRICAL DRAWING LIST:

14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
13	06/01/2017	REISSUED FOR PERMIT
12	01/25/2017	REVISED HIGH PARAPET HEIGHT TO 14.5m
11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
10	12/20/2016	ISSUED FOR PERMIT
9	12/08/2016	ISSUED FOR PRICING
8	11/28/2016	REVISED ROOF PEAK
7	11/11/2016	ISSUED FOR FINAL SITE PLAN APPROVAL
6	10/07/2016	ISSUED FOR CLIENT REVIEW
5	09/12/2016	ISSUED FOR CONSULTANT COORDINATION
4	08/29/2016	REVISED AS PER CITY COMMENTS #2 Aug/24/16
3	07/20/2016	ISSUED FOR CONSULTANT COORDINATION
2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW
No.	Date	Description

Revisions

REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17



**GENERAL NOTES:**

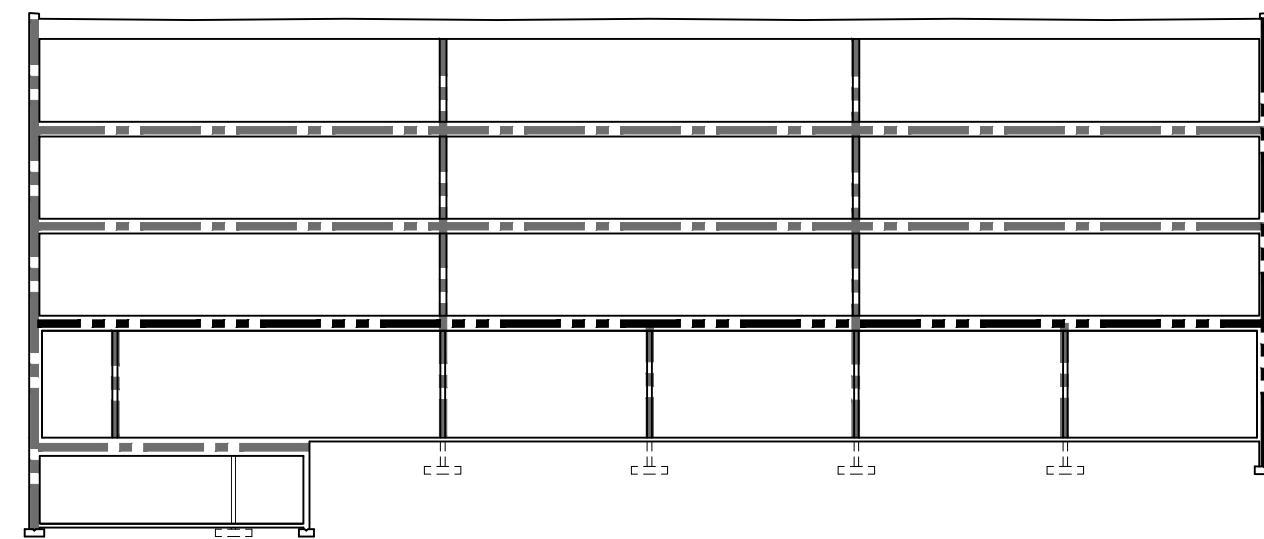
- 01 - WORK PROVIDED BY OWNER OR PERFORMED UNDER SEPARATE CONTRACTS**
- THE TERM "NIC" MEANS THE WORK OF THE PROJECT THAT IS NOT PERFORMED OR PROVIDED BY THE CONTRACTOR; THE TERM MEANS "NOT IN THIS CONTRACT" OR "NOT A PART OF THE WORK TO BE PERFORMED OR PROVIDED BY THE CONTRACTOR".
  - "NIC" WORK IS SPECIFIED AND/OR INDICATED ON THE DRAWINGS AS AN AID TO THE CONTRACTOR IN SCHEDULING THE AMOUNT OF TIME AND MATERIALS NECESSARY FOR THE COMPLETION OF THE CONTRACT.
  - THE OWNER WILL AWARD SEPARATE CONTRACTS IN ACCORDANCE WITH ARTICLE GC.3.3 OF THE GENERAL CONDITIONS FOR PROVISION OF THE FOLLOWING:
    - SUPPLY AND INSTALLATION OF VOICE/DATA/P.A. WIRING. (NOTE: CONTRACTOR TO PROVIDE ALL EMPTY CONDUITS WITH FULL WIRE)
    - SUPPLY AND INSTALLATION OF SECURITY SYSTEMS.
    - SUPPLY AND INSTALLATION OF FURNITURE & EQUIPMENT.
- 02 - EXAMINATION**
- EXAMINE EXISTING CONDITIONS AT THE PLACE OF THE WORK AND IN THE VICINITY OF THE PLACE OF THE WORK AND MAKE PROVISION AND ALLOWANCES FOR THESE CONDITIONS IN THE EXECUTION OF THE WORK.
  - EXAMINE BID DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS AND PAY SPECIAL ATTENTION TO LOCATIONS WHERE VARIOUS PARTS OF THE WORK MUST BE CAREFULLY CO-ORDINATED, ADVISE THE CONSULTANT OF CONFLICTING REQUIREMENTS AND REQUEST CLARIFICATION.
  - BEFORE PROCEEDING WITH PARTS OF THE WORK EXAMINE PREVIOUS WORK AND ENSURE THAT CONDITIONS ARE SATISFACTORY TO RECEIVE SUBSEQUENT WORK. DO NOT PROCEED WITH SUBSEQUENT PARTS OF THE WORK UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
- 03 - REFERENCE STANDARDS**
- CONFORM TO LATEST DATE OF ISSUE OF REFERENCED STANDARDS IN EFFECT ON DATE OF SUBMISSION OF BIDS, EXCEPT WHERE A SPECIFIC DATE OR ISSUE IS SPECIFICALLY NOTED.
- 04 - PROTECTION AND SECURITY**
- PROTECT EXISTING SERVICES, STRUCTURES, LANDSCAPING AND OTHER ITEMS REQUIRED TO REMAIN AND NEWLY INSTALLED WORK DURING CONSTRUCTION WITH SECURE AND DURABLE COVERINGS, BARRICADES OR GUARDS SUITABLE FOR THE VARIOUS CONDITIONS. PERFORM THE WORK IN A MANNER TO AVOID DAMAGE.
  - PROVIDE PROTECTION AGAINST THE ELEMENTS TO MAINTAIN PRODUCTS AND INSTALLATIONS FROM DAMAGE AND DETERIORATION.
- 05 - CONSTRUCTION SAFETY**
- OBSERVE AND ENFORCE ALL CONSTRUCTION SAFETY MEASURES, AS CONTAINED IN THE ONTARIO OCCUPATIONAL HEALTH & SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS, THE CURRENT REGULATIONS OF THE MINISTRY OF THE ENVIRONMENT, AND OTHER REQUIREMENTS OF FEDERAL, PROVINCIAL, MUNICIPAL AND OTHER AUTHORITIES HAVING JURISDICTION.
  - FOR THE PURPOSE OF THE OCCUPATIONAL HEALTH & SAFETY ACT, THE CONTRACTOR SHALL BE DESIGNATED THE CONSTRUCTOR, AND SHALL ASSUME THE RESPONSIBILITIES OF THE CONSTRUCTOR OR SET OUT IN THAT ACT AND ITS REGULATIONS. BE RESPONSIBLE TO PROVIDE FULL SAFETY PROGRAM FOR ANYONE WHO GETS PAID FOR SERVICES ON SITE INCLUDING MANAGEMENT STAFF, LABOUR, DELIVERY DRIVES, SERVICE PERSONNEL AND OTHERS INVOLVED FOR SERVICES ON SITE.
  - JOINT HEALTH AND SAFETY COMMITTEE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT AND OPERATION OF THE JOINT HEALTH AND SAFETY COMMITTEE AS REQUIRED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT.
  - PROVIDE AND MAINTAIN TEMPORARY LADDERS AND STAIRS AS REQUIRED DURING CONSTRUCTION. PROVIDE SUITABLE HANDRAILS AND SUBSTANTIAL BARRICADES AROUND ALL OPENINGS FOR PROTECTION OF WORKMAN, LADDERS AND HANDRAILS WILL BE STRONGLY CONSTRUCTED AND WILL COMPLY WITH ALL REQUIREMENTS OF SAFETY AUTHORITIES HAVING JURISDICTION OVER THE WORK.
  - BE RESPONSIBLE FOR DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY STRUCTURAL AND OTHER TEMPORARY FACILITIES. ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN APPROPRIATE DISCIPLINES TO PERFORM THESE FUNCTIONS WHEN REQUIRED BY LAW OR BY CONTRACT DOCUMENTS AND IN ALL CASES WHERE SUCH TEMPORARY FACILITIES AND THEIR METHOD OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.
  - PROVIDE DETAILED PROCEDURES FOR SAFE HANDLING STORAGE AND USE OF HAZARDOUS MATERIALS. LIST SPECIAL PRECAUTIONS AND SAFE CLEAN UP AND DISPOSAL PROCEDURES. CONFORM TO ENVIRONMENTAL PROTECTION ACT AND OTHER REQUIREMENTS OF AUTHORITIES FOR DISPOSAL AND CLEAN UP REQUIREMENTS.
- 06 - WHIMS - WORKPLACE HAZARDOUS MATERIALS INFORMATION SYSTEM REQUIREMENTS**
- COMPLY WITH WORKPLACE HAZARDOUS MATERIALS INFORMATION SYSTEM IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT (OSHA) REQUIREMENTS.
  - OBTAIN FROM THE OWNER, WHERE APPLICABLE, A LIST AND MSDS OF HAZARDOUS MATERIALS THAT MAY BE HANDLED, STORED OR USED BY OWNERS EMPLOYEES AND/OR OTHER CONTRACTORS RETAINED BY THE OWNER AT LOCATION WHERE WORK OF THIS CONTRACT WILL BE PERFORMED.
- 07 - DESIGNATED MATERIALS PROCEDURES**
- THE CONTRACTOR SHALL BE FULLY FAMILIAR AND COMPLY WITH ALL APPLICABLE ENVIRONMENTAL ACTS, REGULATIONS, AND MUNICIPAL BY-LAWS FOR ENVIRONMENTAL REQUIREMENTS AMENDED FROM TIME TO TIME, UNDER THE OCCUPATIONAL HEALTH AND SAFETY ACT IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT APPROPRIATE WORK PRACTICES ARE FOLLOWED.
- 08 - DELIVERY, HANDLING AND STORAGE OF PRODUCTS**
- ORDER PRODUCTS IN ADVANCE OF REQUIREMENT FOR INSTALLATION AND SCHEDULE DELIVERY TO MINIMIZE STORAGE AT THE PLACE OF WORK, BUT WITHOUT CAUSING DELAYS DUE TO LATE DELIVERY.
  - STORE PRODUCTS IN SUITABLE ACCOMMODATION, MAINTAIN ENVIRONMENT RECOMMENDED BY THE PRODUCTS MANUFACTURERS.
- 09 - FASTENERS, ANCHORS, BRACES AND SUPPORTS**
- INSTALL FASTENERS, ANCHORS, BRACES AND SUPPORTS REQUIRED TO MAINTAIN INSTALLATIONS ATTACHED TO THE BASIC BUILDING STRUCTURE OR TO FINISHED FLOORS, WALLS AND CEILINGS IN A SECURE AND RIGID MANNER CAPABLE OF WITHSTANDING THE DEAD WEIGHT OF THE INSTALLED ITEM, LIVE LOADS, SUPERIMPOSED DEAD LOADS AND VIBRATIONS.
  - USE FASTENERS COMPATIBLE WITH STRUCTURAL REQUIREMENTS, FINISHES AND TYPES OF MATERIAL TO BE CONNECTED. DO NOT USE MATERIALS SUBJECT TO ELECTROLYTIC ACTION OR CORROSION WHERE CONDITIONS WILL BE LIABLE TO CAUSE SUCH ACTION.
  - VERIFY THAT FASTENERS, ANCHORS, BRACES AND SUPPORTS FOR SUSPENDED INSTALLATIONS, AND THE STRUCTURE TO WHICH THEY ARE TO BE SECURED ARE DESIGNED TO SUPPORT THE LOAD REQUIREMENTS INCLUDING A SAFETY FACTOR.
  - CONDUCT ON-SITE TESTS OF INSTALLED ANCHORS AND FASTENERS, EMPLOYING AN INDEPENDENT TESTING LABORATORY ACCEPTABLE TO THE CONSULTANT USING PROPERLY ENGINEERED AND CALIBRATED FORCE-MEASURING METERS.
- 10 - CUTTING AND PATCHING**
- PERFORM CUTTING AND REMEDIAL WORK USING SPECIALISTS FAMILIAR WITH THE PRODUCTS AFFECTED AND PERFORM IN A MANNER TO NEITHER DAMAGE NOR ENDANGER THE WORK. PERFORM CUTTING AND REMEDIAL WORK AS REQUIRED TO MAKE THE SEVERAL PARTS OF THE WORK COME TOGETHER PROPERLY. CO-ORDINATE CUTTING AND REMEDIAL WORK TO ENSURE THAT THIS REQUIREMENT IS KEPT TO A MINIMUM.
- 11 - LOAD BEARING STRUCTURE**
- DO NOT CUT, BORE, OR SLEEVE LOAD-BEARING STRUCTURE WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.
- 12 - ADJACENT PROPERTY AND BUILDINGS**
- EXAMINE, PROTECT, AND RESTORE IF DAMAGED BY THE EXECUTION OF THE WORK, ALL PROPERTY ADJACENT TO THE WORK OR THAT MAY BE AFFECTED BY THE WORK, INCLUDING ALL EQUIPMENT AND SERVICES WITHIN THE PROPERTIES.
- 13 - RECORD DRAWINGS AND SPECIFICATIONS**
- OBTAIN AND KEEP IN THE FIELD OFFICE AT THE PLACE OF THE WORK ONE COMPLETE SET OF DRAWINGS, DETAILS AND SCHEDULES AND ONE SET OF SPECIFICATIONS AND ADDENDA. DO NOT USE THESE SETS FOR DAILY WORKING CONDITIONS.
  - ON THESE DOCUMENTS NEATLY, LEGIBLY AND ACCURATELY NOTE CHANGES MADE DUE TO SITE CONDITIONS, ADDENDA, CHANGE ORDERS AND FIELD INSTRUCTIONS INCLUDING CHANGES SHOWN ON SUPPLEMENTARY DRAWINGS ISSUED WITH THESE NAMED DOCUMENTS. NOTE ALSO THE REFERENCE OR AUTHORITY FOR THE CHANGE AND THE DATE OF ISSUE.
  - MARK INVERT ELEVATIONS OF UNDERGROUND SERVICES.
- 14 - TRIAL USAGE AND INSTRUCTIONS**
- REVIEW INFORMATION PROVIDED IN THE MAINTENANCE INSTRUCTIONS AND DATA MANUAL WITH THE OWNER'S REPRESENTATIVES TO ENSURE THE OWNER HAS A COMPLETE UNDERSTANDING OF THE EQUIPMENT AND SYSTEMS AND THEIR OPERATION.
  - ENSURE MAINTENANCE MANUALS AND AS-BUILT DRAWINGS ARE SUBMITTED IN APPROVED FORM TO THE OWNER PRIOR TO THE OWNERS TRAINING AND INSTRUCTION OF SYSTEMS AND EQUIPMENT.
- 15 - LAYOUT AND SURVEY**
- LINE LEVELS AND LOCATIONS FOR BUILDING;
  - EXISTING GRADES, LINES, AND SITE CONDITIONS SHOWN ON DRAWINGS WERE TAKEN FROM SURVEY INFORMATION ESTABLISHED BY PERSONS ENGAGED DIRECTLY BY OWNER. THE ACCURACY OF SURVEY INFORMATION IS NOT THE CONSULTANT'S RESPONSIBILITY.
  - EMPLOY AN ONTARIO LAND SURVEYOR TO:
    - LAY OUT BUILDING ON SITE
    - ESTABLISH PERMANENT BENCH MARK, OR MARKERS AS WIDELY SEPARATED AS POSSIBLE
    - VERIFY ELEVATIONS OF FLOOR LEVELS AS CONSTRUCTION PROCEEDS, AND RELATE TO BENCH MARK DATUM
    - VERIFY ACCURACY OF SITE DIMENSIONS SHOWN ON DRAWINGS
    - PROVIDE A SURVEY TO VERIFY LOCATION OF BUILDING ON SITE
    - PROVIDE A SURVEY TO VERIFY LOCATION OF BUILDING RELATED TO PROPERTY LINES WHEN FOUNDATION WALLS ARE COMPLETED TO GRADE LEVEL.
- 16 - DRAINAGE**
- ENSURE THAT POSITIVE DRAINAGE IS PROVIDED TO ROOF, FLOOR, AND SITE DRAINS AND CATCH BASINS, AS SET IN THEIR FINAL POSITIONS. PROVIDE CONSTANT SLOPES FOR DRAINED SURFACES TO DRAINS AND DRAINAGE COURSES.
  - VERIFY THE EXTENT OF EACH AREA SERVED BY A DRAIN, OR DRAINAGE COURSE, TO ELIMINATE POSSIBLE UNDRAINED SURFACES. COORDINATE THE WORK OF INVOLVED SECTIONS BEFORE EACH PROCEEDS.
- 17 - PROJECT MEETINGS**
- IMMEDIATELY UPON BEING AWARDED THE CONTRACT, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A JOB MEETING TO BE HELD ON THE SITE. AT WHICH TIME, THE OWNER, CONSULTANTS, QUALIFIED REPRESENTATIVES OF THE CONTRACTOR AND HIS SUBCONTRACTORS AS REQUIRED WILL BE IN ATTENDANCE.
  - THE CONTRACTOR SHALL CHAIR THE MEETING, RECORD THE MINUTES, AND DISTRIBUTE COPIES TO ALL ATTENDING PERSONS AND TWO COPIES TO THE OWNER. EACH PROJECT MEETING REPORT SHALL INCLUDE AN OUTLINE OF THE PROGRESS OF THE WORK AND LIST ALL OUTSTANDING ITEMS THAT ARE CRITICAL TO THE WORK SCHEDULE.
  - CONTRACTOR SHALL MAKE COPIES AS REQUIRED TO ISSUE TO SUBCONTRACTORS WHOSE PART OF THE WORK IS PERTINENT TO THE DISCUSSIONS AT THE MEETING. CONTRACTOR TO ORGANIZE AND PRESIDE OVER SITE MEETINGS WITH SUBCONTRACTORS AND SUPPLIERS AS REQUIRED TO CO-ORDINATE, SCHEDULE AND EXPEDITE THE WORK. HOLD THESE MEETINGS SEPARATE FROM THE OWNER/CONSULTANT/CONTRACTOR MEETINGS.
- 18 - PROGRESS RECORDS**
- MAINTAIN A PERMANENT WRITTEN RECORD ON SITE OF THE PROGRESS OF THE WORK. THIS RECORD SHALL BE AVAILABLE TO THE OWNER AT THE SITE, AND A COPY SHALL BE FURNISHED TO HIM ON REQUEST. THE RECORD SHALL CONTAIN:
    - DATES OF THE COMMENCEMENT AND COMPLETION OF THE WORK OF EACH TRADE IN EACH AREA OF THE PROJECT.
    - WORK FORCE ON PROJECT DAILY.
    - VISIT TO SITE BY PERSONNEL OF OWNER, CONSULTANTS, JURISDICTIONAL AUTHORITIES AND TESTING COMPANIES.
- 19 - SHOP DRAWINGS**
- WORK AFFECTED BY THE SUBMITTAL SHALL NOT PROCEED UNTIL REVIEW IS COMPLETE.
  - REVIEW SUBMITTALS PRIOR TO SUBMISSION TO CONSULTANT.
  - THE CONSULTANTS REVIEW WILL NOT INCLUDE REVIEW OF DIMENSIONS, QUANTITIES, CALCULATIONS, WEIGHTS, FABRICATION PROCESSES. CONSTRUCTION MEANS OR METHODS, THE CO-ORDINATION OF TRADES, OR SAFETY FACTORS RELATING TO THE CONSTRUCTION FOR WHICH THE CONTRACTOR HAS THE SOLE RESPONSIBILITY IN CONNECTION THEREWITH. SHOULD ANY ERRORS IN DIMENSIONS, OR INTERFERENCES WITH OTHER WORK BE NOTICED BY THE CONSULTANT IN HIS REVIEW OF THE SHOP DRAWINGS, THE ATTENTION OF THE CONTRACTOR WILL BE CALLED TO THEM, BUT REVIEW OF SHOP BY THE CONSULTANT SHALL NOT, IN ANY WAY WHATSOEVER, RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITIES INDICATED IN GC.3.10 SHOP DRAWINGS.
  - KEEP ONE REVIEWED COPY OF EACH SUBMISSION AT THE PLACE OF THE WORK.
- 20 - CONTRACTOR'S QUALITY CONTROL**
- PROVIDE AND MAINTAIN AN EFFECTIVE QUALITY CONTROL PROGRAM AND PERFORM SUFFICIENT INSPECTIONS AND TESTS OF ALL ITEMS OF WORK, INCLUDING THOSE OF SUBCONTRACTORS, TO ENSURE COMPLIANCE WITH CONTRACTOR DOCUMENTS.
  - INSPECTION OR TESTS REQUIRED BY CODES, ORDINANCES OR BY AUTHORITIES HAVING JURISDICTION SHALL BE THE RESPONSIBILITY OF, AND PAID FOR BY, THE CONTRACTOR, UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS.
- 21 - INSPECTION AND TESTING - OWNER'S QUALITY CONTROL**
- THE OWNER MAY APPOINT AN INDEPENDENT INSPECTION AND TESTING COMPANY TO CARRY OUT INSPECTION AND TESTING OF THE WORK FOR CONFORMANCE TO THE CONTRACT DOCUMENTS FOR THE OWNER'S OWN QUALITY CONTROL. SUCH COSTS FOR INSPECTION AND TESTING WILL BE PAID BY A SPECIFIED CASH ALLOWANCE.

INTERIOR WALL TYPES	EXTERIOR WALL TYPES	FLOOR TYPES
<p><b>P1</b> INTERIOR STUD PARTITION 1/2" GYPSUM WALL BOARD - 3/8" STEEL STUDS @ 16" O.C. - 1/2" GYPSUM WALL BOARD</p>	<p><b>W1</b> BRICK MASONRY VENEER SYSTEM - 4" BRICK VENEER - 1" AIR SPACE - 2" RIGID INSULATION (R10) - AIR/VAPOUR BARRIER - 5/8" TYPE-X GYPSUM SHEATHING - 6" STEEL STUDS AS PER STRUCT WITH DEFLECTION TRACK - 5" MINERAL WOOL BATT INSULATION - 1 LAYERS 5/8" TYPE-X GYPSUM WALL BOARD * PROVIDE BRICK TIES @ 24" VERT. AND 16" HORIZONTAL * PROVIDE FERRO SLOTTED RAP TIE</p>	<p><b>F1</b> FLOOR SYSTEM (1 HR FRR) [SB-2, 2.3.12] (STC 54) - FLOOR FINISH AS SPECIFIED - 2.5" CONCRETE (SEE STRUCT) - 1.5" STEEL DECK (SEE STRUCT) - 1/2" BRIBGLASS BATT INSULATION - 1 1/2" x 3/4" x 16 Gg CRS CARRYING CHANNELS @ 36" O.C. - 1/2" RESILIENT CHANNELS @ 16" O.C. - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD</p>
<p><b>P2</b> INTERIOR STUD PARTITION - 1/2" GYPSUM WALL BOARD - 1/2" RESILIENT CHANNEL - 3/8" STEEL STUDS @ 16" O.C. - 1/2" GYPSUM WALL BOARD</p>	<p><b>W2</b> STONE MASONRY SYSTEM [2 HR FRR] [SB-2, 2.1.2] (STC 54) - 4" STONE - 1" AIR SPACE - 2" SPRAY FOAM INSULATION (R13) - 8" CONCRETE BLOCK ADD REIN. AS PER STRUCT. DWGS. - 1/2" MINERAL WOOL BATT INSULATION - 1/2" RESILIENT CHANNEL - 2 LAYERS 1/2" TYPE-X GYPSUM WALL BOARD * PROVIDE BRICK TIES @ 24" VERT. AND 16" HORIZONTAL * PROVIDE FERRO SLOTTED RAP TIE</p>	<p><b>F2</b> FLOOR SYSTEM (2 HR FRR) [ULC 1507] (ASTM E119) (STC 54) - FINISH FLOOR AS SPEC'D - 2.5" CONCRETE (SEE STRUCT) - 1.5" STEEL DECK (SEE STRUCT) - 1/4" STEEL OWSJ (SEE STRUCT) - 5" ACOUSTIC BATT INSULATION (ADDED) - 1 1/2" x 3/4" x 16 Gg CRS CARRYING CHANNELS @ 36" O.C. - 7/8" FURRING CHANNELS @ 16" O.C. - 5/8" TYPE X GYPSUM BD</p>
<p><b>P3</b> AHU ENCLOSURE WALL 1/2" GYPSUM WALL BOARD - 2 1/2" (25 Gg.) STEEL STUDS @ 16" O.C.</p>	<p><b>W3</b> STONE ON BLOCK (1 HR FRR) [SB-2, 2.1.2] (STC 54) - 4" STONE VENEER - 1" AIR SPACE - 2" SPRAY FOAM INSULATION (R13) - 8" CONCRETE BLOCK ADD REIN. AS PER STRUCT. DWGS. - 1/2" MINERAL WOOL BATT INSULATION - 1/2" RESILIENT CHANNEL - 2 LAYERS 1/2" TYPE-X GYPSUM WALL BOARD</p>	<p><b>F3</b> BALCONY FLOOR (1 HR FRR) [SB-2, TABLE 2.3.12] - TURF OR DURABLE ULTRA WATER PROOF MEMBRANE - 3/4" PLYWOOD SHEATHING - 2.5" CONCRETE TOPPING - 1.5" STEEL DECK - STEEL BEAM (SEE STRUCT) - 1 1/2" x 3/4" x 16 Gg CRS CARRYING CHANNELS @ 36" O.C. MAXIMUM ON 4mm HANGER WIRE - 7/8" FURRING CHANNELS @ 16" O.C. - 2 LAYERS 5/8" TYPE X DENSGLASS SHEATHING - PRE-FINISHED ALUMINIUM SOFFIT</p>
<p><b>P4</b> PLUMBING CHASE WALL 1/2" GYPSUM WALL BOARD - 6" STEEL STUDS @ 16" O.C. - 5" MINERAL WOOL BATT INSULATION - 1/2" GYPSUM WALL BOARD</p>	<p><b>W4</b> BRICK MASONRY VENEER SYSTEM (2 HR FRR) [ULC W453] (STC 40) - 4" BRICK VENEER - 1" AIR SPACE - 2" RIGID INSULATION (R10) - AIR/VAPOUR BARRIER - 1/2" TYPE-X GYPSUM SHEATHING - 6" STEEL STUDS AS PER STRUCT WITH DEFLECTION TRACK - 5" MINERAL WOOL BATT INSULATION - 1/2" RESILIENT CHANNEL - 2 LAYERS 1/2" TYPE-X GYPSUM WALL BOARD * PROVIDE BRICK TIES @ 24" VERT. AND 16" HORIZONTAL * PROVIDE FERRO SLOTTED RAP TIE</p>	<p><b>F4</b> FLOOR ASSEMBLY OVER BASEMENT (1 HR FRR) [ULC FB17] - 4" CONCRETE C/W REINFT AS PER STRUCT - 1.5" STEEL DECK (SEE STRUCT) - 1/4" STEEL OWSJ (SEE STRUCT) - SPRAY FIRE PROOFING FOR 1 HR FRR</p>
<p><b>P5</b> STAIR WALL (1 HR FRR) [ULC W414] (STC 54) - SEE STRUCTURAL DWGS FOR REQUIREMENTS - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD - 1/2" RESILIENT CHANNEL ADJ TO RETAIL SUITE - 6" STEEL STUDS AS PER STRUCT WITH DEFLECTION TRACK - 5" MINERAL WOOL BATT INSULATION - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD</p>	<p><b>W5</b> FOUNDATION WALL - 8" CM BOARD (R15) FULL HEIGHT - 5 1/2" GLASS FIBER INSULATION (W/ 200) - POURED CONCRETE WALL (SEE STRUCTURAL DRAWINGS) DRAINABLE BACKFILL OR DELTA MS</p>	<p><b>F5</b> CONCRETE SLAB ON GRADE - FLOOR FINISH AS SPECIFIED - CONCRETE SLAB ON GRADE (SEE STRUCTURAL DRAWINGS) - 10 MIL POLY VAPOUR BARRIER - 4" RIGID INSULATION (R20) FOR 2" AROUND PERIMETER - 8" CLEAR STONE - COMPACTED GRANULAR FILL</p>
<p><b>P6</b> MECHANICAL ROOM (2 HR FRR) [ULC W414] (STC 54) - 4" METAL STUDS @ 16" O.C. - 5" MINERAL WOOL BATT INSULATION - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD - 3/4" PLYWOOD SHEATHING FOR PANELS</p>	<p><b>W6</b> BASEMENT FOUNDATION WALL - 3" SM BOARD (R15) FULL HEIGHT - 5 1/2" GLASS FIBER INSULATION - POURED CONCRETE WALL (SEE STRUCTURAL DRAWINGS) DRAINABLE BACKFILL OR DELTA MS</p>	<p><b>F6</b> FLOOR ASSEMBLY OVER BASEMENT (1 HR FRR) [ULC FB17] - 4" CONCRETE C/W REINFT AS PER STRUCT - 1.5" STEEL DECK (SEE STRUCT) - 1/4" STEEL OWSJ (SEE STRUCT) - SPRAY FIRE PROOFING FOR 1 HR FRR</p>
<p><b>P7</b> DEMISING WALL (MIN 1 HR FRR) [ULC DES U334] (STC 58) - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD - 1/2" RESILIENT CHANNEL - 6" METAL STUDS @ 16" O.C. - 5 1/2" GLASS FIBER INSULATION - 2 LAYERS 5/8" TYPE X GYPSUM WALL BOARD</p>	<p><b>W7</b> RIS WALL &amp; POURED CONC. (2 HR FRR) [ULC DES U334] (STC 58) - FINISH COAT - BASE COAT AND REINFORCING MESH - 3" TYPE I EXPANDED POLYSTYRENE (CANULIC-5701-97) - ADHERED WITH INSULATION ADHESIVE - AIR/MOISTURE BARRIER - 5/8" TYPE X DENS GLASS SHEATHING - 8" POURED CONCRETE (SEE STRUCT)</p>	<p><b>F7</b> WALKWAY CANOPY/OVERHANG (2 HR FRR) [ULC R703] - 2 PLY MODIFIED BITUMEN MEMBRANE - TAPERED INSULATION TO ROOF DRAINS - TAPERED INSULATION TO ROOF DRAINS - FIRESTONE V-FORCE VAPOUR BARRIER - 1/2" DENS DECK - 1/2" STEEL DECK (SEE STRUCT) - 1/2" STEEL OWSJ (SEE STRUCT) - SPRAY FIREPROOFING 2 HR FRR - 1 1/2" x 3/4" x 16 Gg CRS CARRYING CHANNELS @ 36" O.C. MAXIMUM ON 4mm HANGER WIRE - 7/8" FURRING CHANNELS @ 16" O.C. - PRE-FIN. ALUMINIUM SOFFIT - 12" X 14" SOLID * 2:10 SLOPED JOIST FOR ROOF DRAINAGE</p>
<p><b>P8</b> CONCRETE WALL (1 HR FRR) [SB-2, 2.1.2] (STC 54) - 8" POURED CONCRETE (SEE STRUCTURAL FOR REINFORCING) - 1/2" GYPSUM BOARD (WHERE SHOWN)</p>	<p><b>W8</b> ELEVATOR CONCRETE WALL (SEE STRUCTURAL DRAWINGS)</p>	<p><b>R1</b> FLAT ROOF - 2 PLY MODIFIED BITUMEN MEMBRANE - TAPERED INSULATION TO ROOF DRAINS - 2 LAYERS OF 3" POLYISO INSULATION (R30) - FIRESTONE V-FORCE VAPOUR BARRIER - 1/2" DENS DECK - 1/2" STEEL DECK (SEE STRUCT) - 1/2" STEEL OWSJ (SEE STRUCT) - SPRAY FIREPROOFING 2 HR FRR - 1 1/2" x 3/4" x 16 Gg CRS CARRYING CHANNELS @ 36" O.C. - 5/8" TYPE X GYPSUM BD</p>
<p><b>P9</b> ELEVATOR WALL (1 HR FRR) [SB-2, 2.1.2] (STC 54) - 8" POURED CONCRETE ELEVATOR WALL (SEE STRUCTURAL FOR REINFORCING) - FURRING &amp; GYPSUM BOARD @ EXPOSED SURFACES</p>	<p><b>W9</b> DRYWALL BULKHEAD - 5/8" GYPSUM BOARD - 2 1/2" (25 GA.) STEEL STUDS @ 16" O.C. FASTENED TO STEEL TRUCK RUNNERS</p>	<p><b>R2</b> ELEVATOR FLAT ROOF [ULC SYSTEM NO. FH-12-0286] - MODIFIED BITUMEN CAP SHEET - SELF ADHERING MODIFIED BITUMEN BASE SHEET - TAPERED FIBER BOARD INSULATION - 5" POLYISO RIGID INSULATION (R30) - SELF ADHERING MODIFIED BITUMEN VAPOUR BARRIER - 1/2" DENS DECK SECURED - 1.5" STEEL DECK</p>
<p><b>PY</b> COMMERCIAL SUITE DEMISING WALL (2 HR FRR) [ULC DES W453] (STC 54) - 2 LAYERS 5/8" TYPE X GYPSUM BOARD - 3 5/8" (20 Gg.) STEEL STUDS @ 16" O.C. - 5" GLASS FIBER INSULATION - 2 LAYERS 5/8" TYPE X GYPSUM BOARD</p>	<p><b>CB</b> DRYWALL BULKHEAD - 5/8" GYPSUM BOARD - 2 1/2" (25 GA.) STEEL STUDS @ 16" O.C. FASTENED TO STEEL TRUCK RUNNERS</p>	<p><b>R3</b> ELEVATOR FLAT ROOF [ULC SYSTEM NO. FH-12-0286] - MODIFIED BITUMEN CAP SHEET - SELF ADHERING MODIFIED BITUMEN BASE SHEET - TAPERED FIBER BOARD INSULATION - 5" POLYISO RIGID INSULATION (R30) - SELF ADHERING MODIFIED BITUMEN VAPOUR BARRIER - 1/2" DENS DECK SECURED - 1.5" STEEL DECK</p>
<p><b>PZ</b> SHAFT WALL (1 HR FRR) [ULC W452] SYSTEM 31 (STC 50) - 2 LAYER 1/2" TYPE-X GYPSUM WALL BOARD - 4" USG C-H STUDS, 25 GA. @ 24" O.C. - 3" MINERAL WOOL INSULATION - 1" SHAFT WALL LINER PANEL</p>	<p><b>CD</b> SUSPENDED DRYWALL CEILING - 5/8" GYPSUM BOARD - 7/8" FURRING CHANNELS @ 16" O.C. - 1 1/2" x 3/4" x 16 Gg CRS CARRYING CHANNELS @ 36" O.C. MAXIMUM ON 3/16" HANGER WIRE</p>	<p><b>CT</b> ACOUSTIC TILE CEILING - 24" x 24" x 5/8" ACOUSTICAL LAY-IN TILE - TWO DIRECTIONAL 24" x 24" INTERMEDIATE DUTY MAIN BEAMS &amp; CROSS TEES OF WHITE BAKED ENAMEL (COORDINATE LIGHTING &amp; HVAC INSTALLATION)</p>

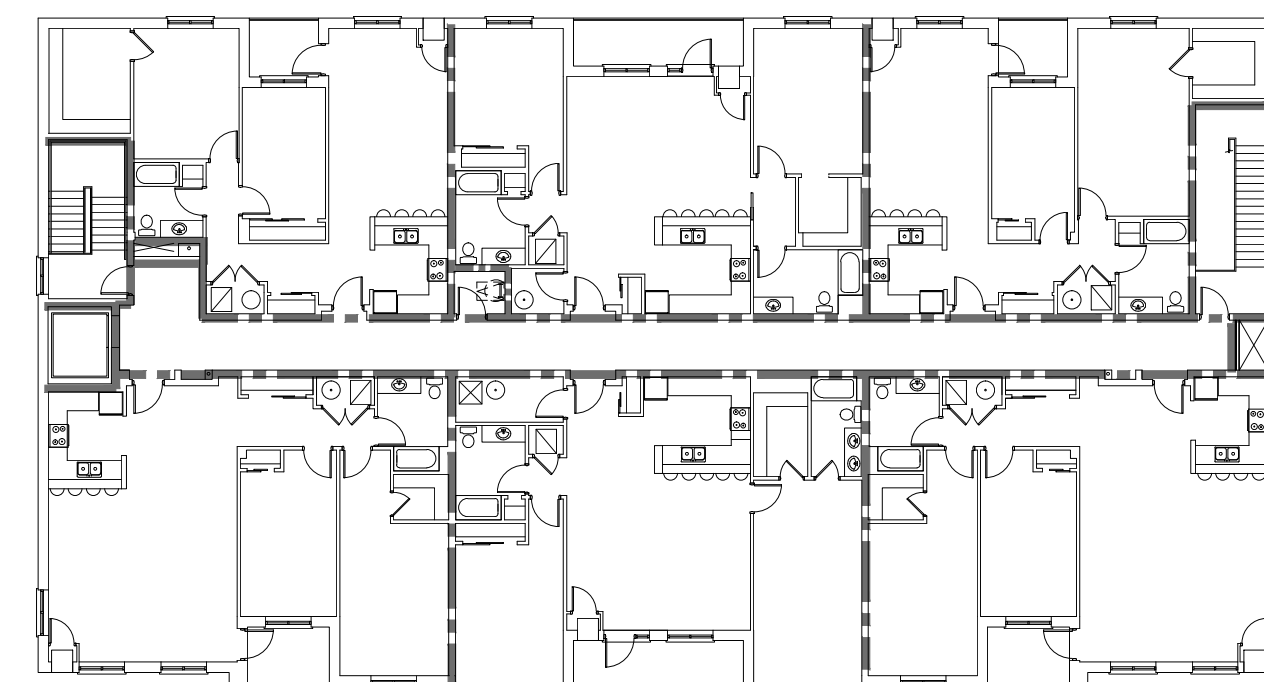


ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	O.B.C. REFERENCE																																																												
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE	<input checked="" type="checkbox"/> PART 3																																																												
2	MAJOR OCCUPANCY(S) GROUP 'C' & GROUP 'E'	3.1.2.1.(1)																																																												
3	BUILDING AREA (m²) EXISTING: N/A NEW: 928 m²	DIV A, 1.4.1.2																																																												
4	GROSS AREA EXISTING: N/A NEW: 3,712 m²	DIV A, 1.4.1.2																																																												
5	NUMBER OF STOREYS ABOVE GRADE: 4 BELOW GRADE: 1	3.2.1, DIV A, 1.4.1.2																																																												
6	HEIGHT OF BUILDING (m) 14.5 m (47'-6 1/2")	FIRST FLR TO T.O. HIGH PARAPET																																																												
7	NUMBER OF STREETS / ACCESS ROUTES 1	3.2.2.10 & 3.2.5.5																																																												
8	BUILDING CLASSIFICATION OBC 3.2.2.45 & OBC 3.2.2.58	3.2.2.20-83																																																												
9	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> STORAGE ROOM <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> REFUGE ROOM <input type="checkbox"/> GROUND FLOOR ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17																																																												
10	STANDPIPE REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9																																																												
11	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4																																																												
12	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO																																																													
13	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6																																																												
14	PERMITTED CONSTRUCTION ACTUAL CONSTRUCTION COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	3.2.2.20-83 3.2.2.45																																																												
15	MEZZANINE(S) AREA (m²) N/A	3.2.1.1.(3)-(9)																																																												
16	OCCUPANT LOAD BASED ON m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17																																																												
17	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8																																																												
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO	3.3.1.2.(1) & 3.3.1.19.(1)																																																												
19	REQUIRED FIRE RESISTANCE (F.R.R.) RATING ROOF MEMBERS CORRIDORS EXIT STAIRS ELEVATOR MECHANICAL ROOMS JANITOR'S ROOM BETWEEN OCCUPANCIES BETWEEN SUITES	<table border="1"> <thead> <tr> <th>REQUIRED</th> <th>HORIZONTAL ASSEMBLIES F.R.R. (HOURS)</th> <th>LISTED DESIGN NO. OR DESCRIPTION (SB-2)</th> <th>OCCUPANCY LOAD</th> </tr> </thead> <tbody> <tr> <td>FIRE</td> <td>2 HOUR</td> <td>ULC 1507</td> <td>1 PERSON/3.70 m²</td> </tr> <tr> <td>RESISTANCE</td> <td>THIRD &amp; FOURTH FLOORS 1 HOUR</td> <td>SB-2, 2.3.12</td> <td></td> </tr> <tr> <td>RATING</td> <td>F.R.R. OF SUPPORTING MEMBERS</td> <td>LISTED DESIGN NO. OR DESCRIPTION (SB-2)</td> <td></td> </tr> <tr> <td></td> <td>SECOND FLOOR 2 HOUR</td> <td>ULC/UL Des X518</td> <td></td> </tr> <tr> <td></td> <td>THIRD &amp; FOURTH FLOORS 1 HOUR</td> <td>ULC/UL Des X518</td> <td></td> </tr> <tr> <td></td> <td>ROOF 0 HOURS</td> <td>-</td> <td></td> </tr> <tr> <td></td> <td>OTHER F.R.R.</td> <td>LISTED DESIGN NO. OR DESCRIPTION (SB-2)</td> <td></td> </tr> <tr> <td></td> <td>CORRIDORS 1 HOUR</td> <td>ULC DES U334</td> <td>3.3.1.4</td> </tr> <tr> <td></td> <td>EXIT STAIRS 1 HOUR</td> <td>ULC DES U334</td> <td>3.3.1.4</td> </tr> <tr> <td></td> <td>ELEVATOR 1 HOUR</td> <td>SB-2, 2.1.2, (8" MASONRY)</td> <td>3.5.3.1</td> </tr> <tr> <td></td> <td>MECHANICAL ROOMS 1 HOUR</td> <td>ULC DES U334</td> <td>3.6.2.1</td> </tr> <tr> <td></td> <td>JANITOR'S ROOM 1 HOUR</td> <td>ULC DES U334</td> <td>3.3.1.20.</td> </tr> <tr> <td></td> <td>BETWEEN OCCUPANCIES 1 &amp; 2 HOURS</td> <td>ULC DES U334</td> <td>3.1.3.1</td> </tr> <tr> <td></td> <td>BETWEEN SUITES 1 HOUR</td> <td>ULC DES U334</td> <td>3.3.4.2(1)</td> </tr> </tbody> </table>	REQUIRED	HORIZONTAL ASSEMBLIES F.R.R. (HOURS)	LISTED DESIGN NO. OR DESCRIPTION (SB-2)	OCCUPANCY LOAD	FIRE	2 HOUR	ULC 1507	1 PERSON/3.70 m²	RESISTANCE	THIRD & FOURTH FLOORS 1 HOUR	SB-2, 2.3.12		RATING	F.R.R. OF SUPPORTING MEMBERS	LISTED DESIGN NO. OR DESCRIPTION (SB-2)			SECOND FLOOR 2 HOUR	ULC/UL Des X518			THIRD & FOURTH FLOORS 1 HOUR	ULC/UL Des X518			ROOF 0 HOURS	-			OTHER F.R.R.	LISTED DESIGN NO. OR DESCRIPTION (SB-2)			CORRIDORS 1 HOUR	ULC DES U334	3.3.1.4		EXIT STAIRS 1 HOUR	ULC DES U334	3.3.1.4		ELEVATOR 1 HOUR	SB-2, 2.1.2, (8" MASONRY)	3.5.3.1		MECHANICAL ROOMS 1 HOUR	ULC DES U334	3.6.2.1		JANITOR'S ROOM 1 HOUR	ULC DES U334	3.3.1.20.		BETWEEN OCCUPANCIES 1 & 2 HOURS	ULC DES U334	3.1.3.1		BETWEEN SUITES 1 HOUR	ULC DES U334	3.3.4.2(1)
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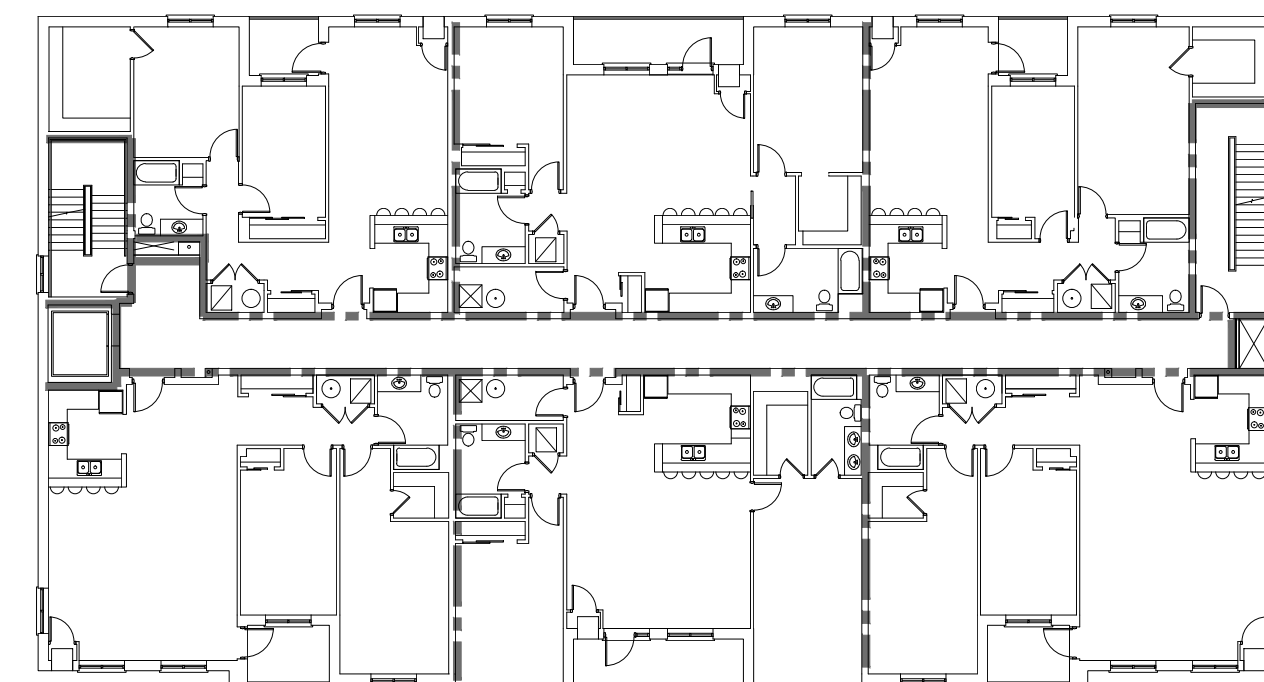




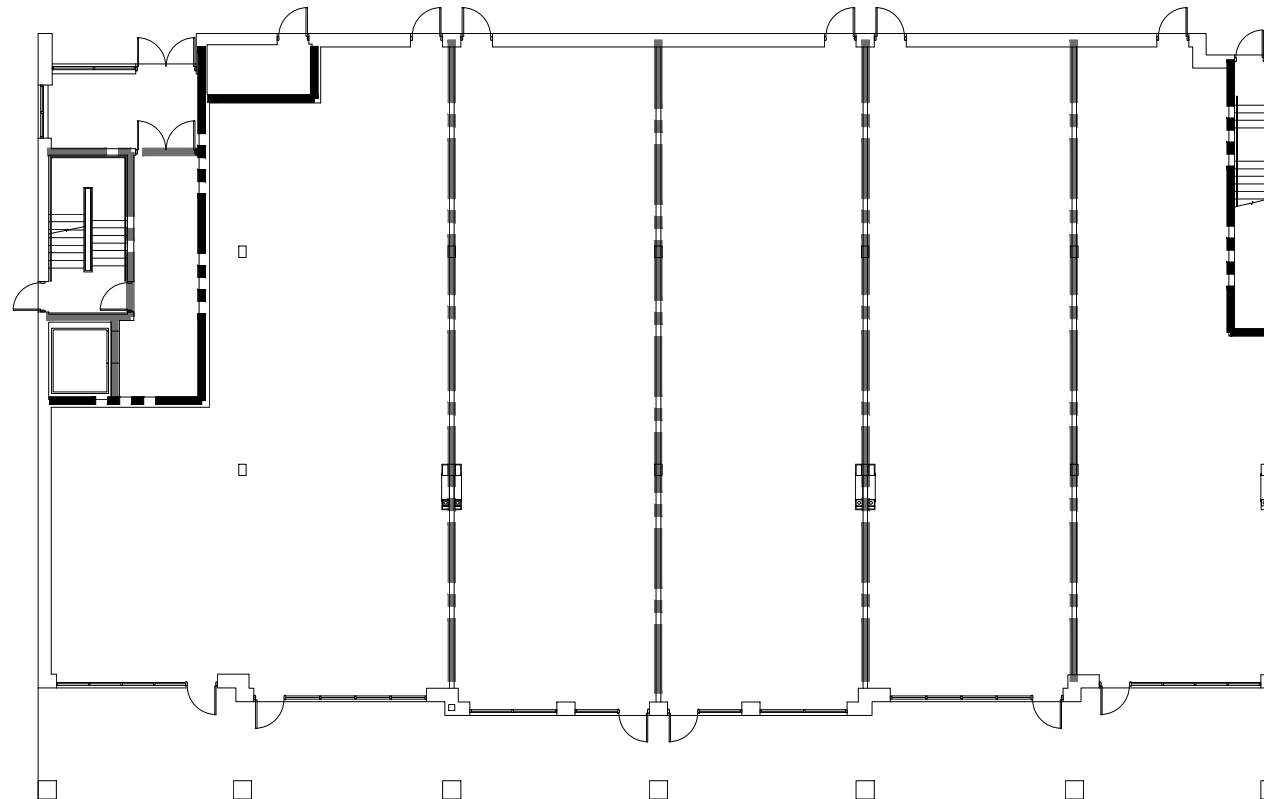
CROSS SECTION  
SCALE: 3/64" = 1'-0"



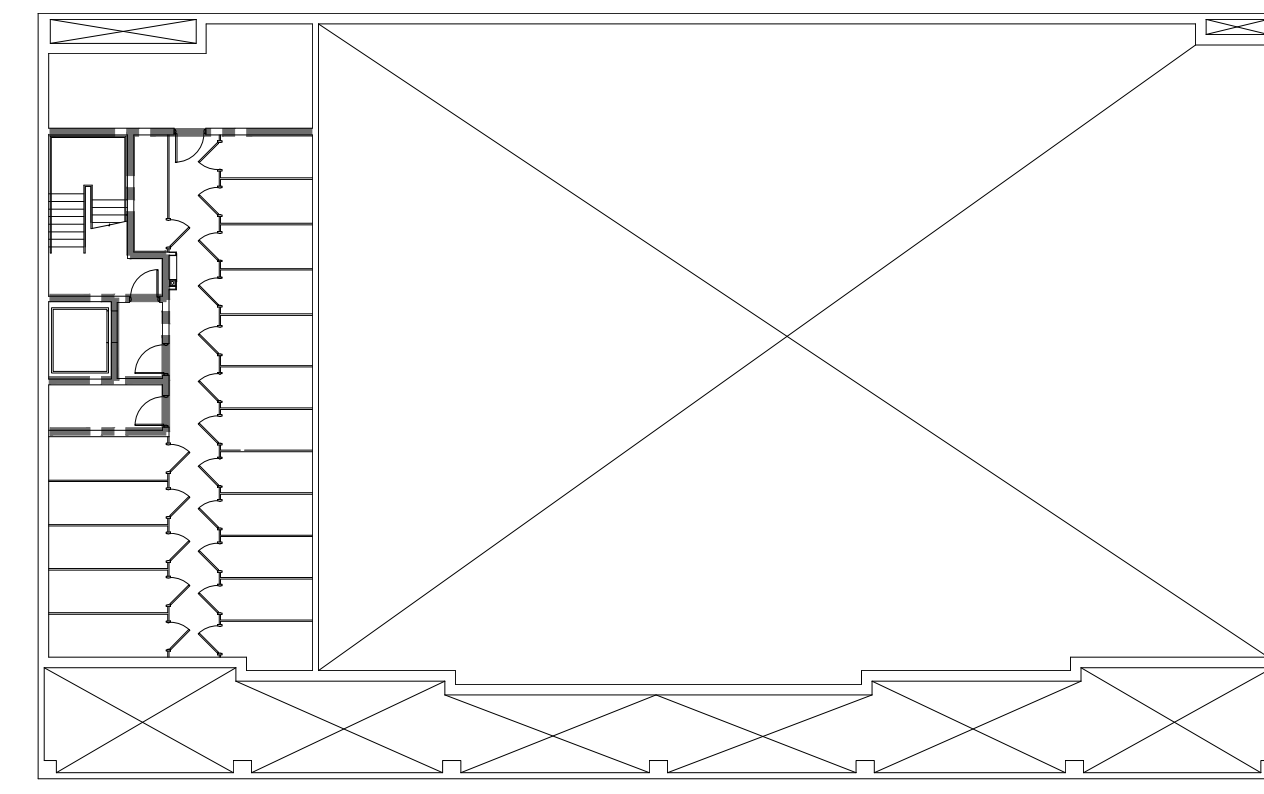
FOURTH FLOOR PLAN  
SCALE: 3/64" = 1'-0"



SECOND & THIRD FLOOR PLAN  
SCALE: 3/64" = 1'-0"



FIRST FLOOR PLAN  
SCALE: 3/64" = 1'-0"



BASEMENT  
SCALE: 3/64" = 1'-0"

LEGEND OF SYMBOLS

F.R.R. (HOURS)

2 HOUR FIRE RATING

1 HOUR FIRE RATING

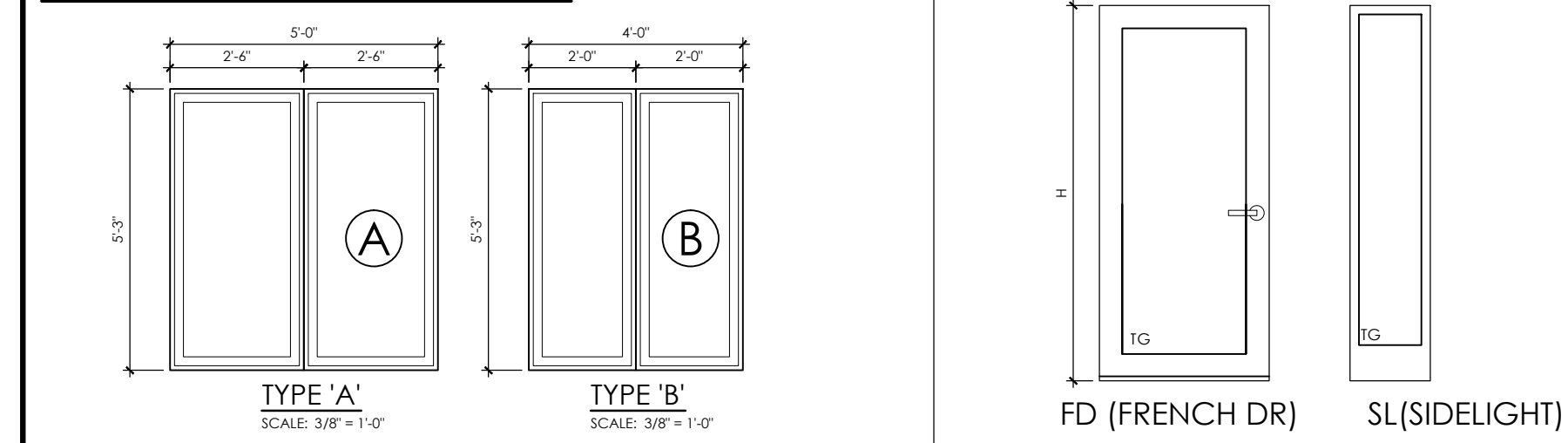
NON-COMBUSTIBLE FIRE SEPARATION

\*TD = TRAVEL DISTANCE

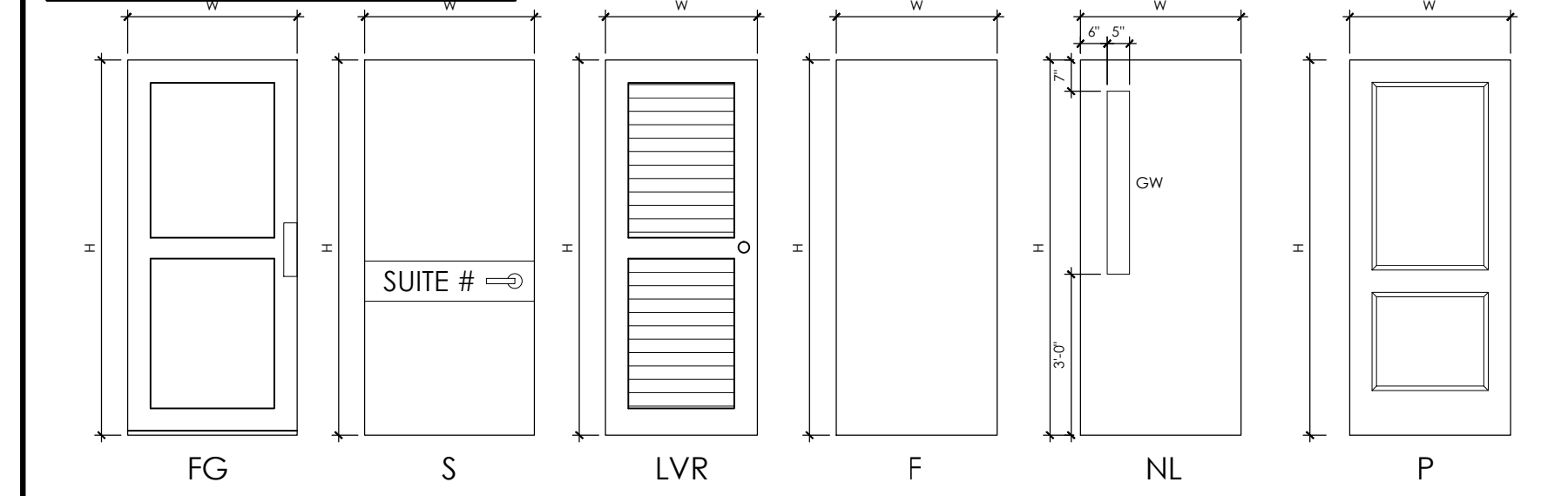
ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR		WALLS				CEILING			REMARKS
		FINISH	BASE	NORTH	SOUTH	EAST	WEST	FINISH	GRID	HEIGHT	
BASEMENT LEVEL											
001	VESTIBULE	-	-	DW/PT	DW/PT	DW/PT	DW/PT	EXP	-	7'-5 1/2'	
002	S/W METER ROOM	CONC/SE	RB	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	EXP	-	7'-5 1/2'	
003	MACHINE ROOM	CONC/SE	RB	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	EXP	-	7'-5 1/2'	
091	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	EXP	-	-	
FIRST FLOOR											
101	RETAIL SUITE	CONC	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	11'-9"	
102	RETAIL SUITE	CONC	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	11'-9"	
103	RETAIL SUITE	CONC	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	11'-9"	
104	RETAIL SUITE	CONC	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	11'-9"	
105	RETAIL SUITE	CONC	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	11'-9"	
106	GAS ROOM	CONC/SE	RB	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	11'-9"	
107	ELECTRICAL ROOM	CONC/SE	RB	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	11'-9"	
108	VESTIBULE	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	11'-9"	
109	RESIDENTIAL LOBBY	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	11'-9"	
191	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	-	
192	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	-	
SECOND FLOOR											
281	CORRIDOR	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
291	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	-	
292	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	-	
THIRD FLOOR											
381	CORRIDOR	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
391	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	-	
392	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	-	
FOURTH FLOOR											
481	CORRIDOR	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
491	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	-	
492	STAIR	-	-	EXP/CONC	EXP/CONC	EXP/CONC	EXP/CONC	DW/PT	-	-	
TYPICAL SUITE (INCLUDING BARRIER FREE)											
XXXX	FOYER	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXB	KITCHEN	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXC	LIVING ROOM	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXD	BATHROOM	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXE	BEDROOM	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXF	BEDROOM	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXG	BALCONY	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXH	EN SUITE	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXJ	DEN	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
TYPICAL RETAIL SUITE											
XXXX	B.F. WASHROOM	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	
XXXB	MECHANICAL ROOM	-	-	DW/PT	DW/PT	DW/PT	DW/PT	DW/PT	-	9'-0"	

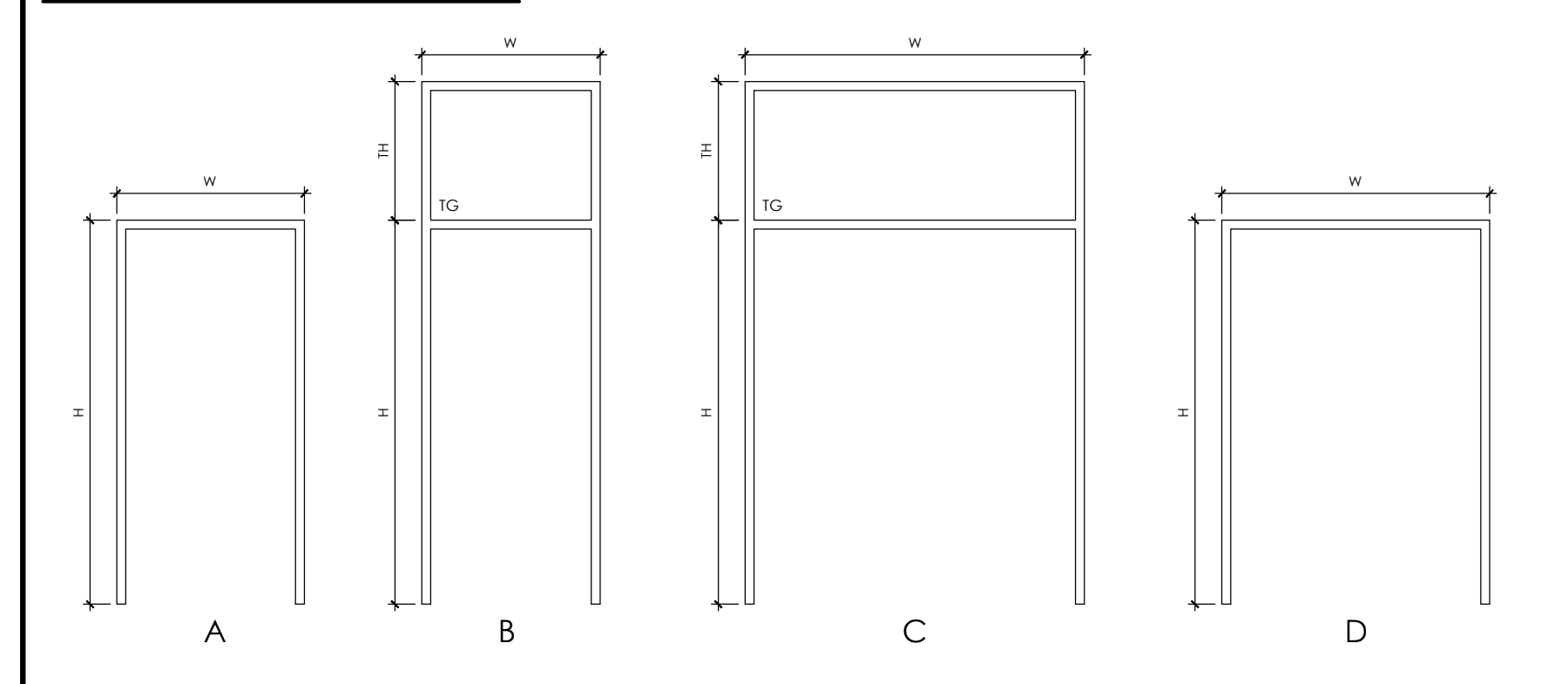
WINDOW TYPE SCHEDULE



DOOR TYPE SCHEDULE



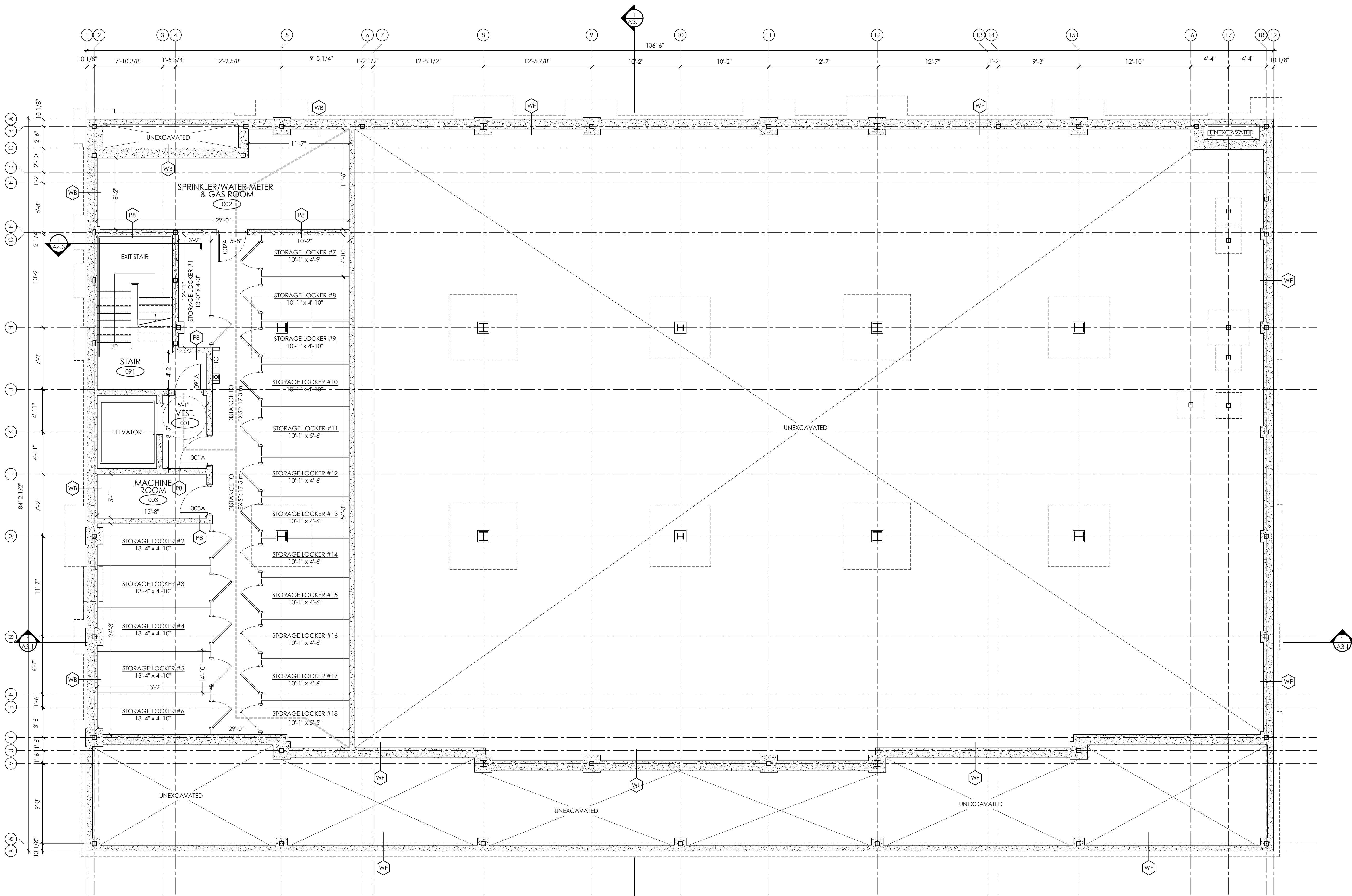
FRAME TYPE SCHEDULE



DOOR SCHEDULE

DOOR #	ROOM NAME	DOOR SIZE	DOOR		FRAME		HARDWARE														REMARKS						
			TYPE	MATERIAL	TYPE	MATERIAL	GLAZING	LATCH SET	PRIVACY LOCK	STAY LOCK	LOCK	LOCK-OUT	PUSH & PULL	PANIC SET	CLOSER	DOOR STOP	COVERHEAD	DOOR STOP	THRESHOLD	WEATHER STRIP		WEATHER BEARINGS	FINISHES	F.B.R.	INSULATED	POWER OPERATOR	
BASEMENT LEVEL																											
001A	VESTIBULE	3'-2" x 7'-0" x 1.75"	NL	HM	PT	A	HM	PT	GW	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
002A	S/W METER ROOM	3'-2" x 7'-0" x 1.75"	F	HM	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
003A	MACHINE ROOM	3'-2" x 7'-0" x 1.75"	F	HM	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
091A	STAIR	3'-0" x 7'-0" x 1.75"	NL	HM	PT	A	HM	PT	GW	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
FIRST FLOOR																											
101A	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	FG	AL	AN	B	AL	AN	FG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
101B	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	FG	AL	AN	B	AL	AN	FG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
101C	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	F	HM	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
102A	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	FG	AL	AN	B	AL	AN	FG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
102B	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	F	HM	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
103A	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	FG	AL	AN	B	AL	AN	FG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
103B	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	F	HM	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
104A	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	FG	AL	AN	B	AL	AN	FG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
104B	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	F	HM	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
105A	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	FG	AL	AN	B	AL	AN	FG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
105B	RETAIL SUITE	3'-2" x 7'-0" x 1.75"	F	HM	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
106A	GAS ROOM	3'-2" x 7'-0" x 1.75"	F	HM	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
107A	VESTIBULE	2'-3" x 7'-0" x 1.75"	FG	AL	AN	B	AL	AN	TG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
107B	VESTIBULE	2'-3" x 7'-0" x 1.75"	FG	AL	AN	B	AL	AN	TG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
191A	STAIR	3'-0" x 7'-0" x 1.75"	FG	AL	AN	A	AL	AN	TG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
191B	STAIR	3'-0" x 7'-0" x 1.75"	NL	HM	PT	A	HM	PT	GW	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
192A	STAIR	3'-0" x 7'-0" x 1.75"	FG	AL	AN	A	AL	AN	TG	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
SECOND FLOOR																											
201A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
202A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
203A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
204A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
205A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
206A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
291A	STAIR	3'-0" x 7'-0" x 1.75"	NL	HM	PT	A	HM	PT	GW	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
292A	STAIR	3'-0" x 7'-0" x 1.75"	NL	HM	PT	A	HM	PT	GW	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
THIRD FLOOR																											
301A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
302A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
303A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
304A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
305A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
306A	RESIDENTIAL SUITE	3'-2" x 7'-0" x 1.75"	S	SC	PT	A	HM	PT	X	X	X	X	X														





No.	Date	Description
14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
13	06/01/2017	REISSUED FOR PERMIT
12	01/25/2017	REVISED HIGH PARAPET HEIGHT TO 14.5m
11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
10	12/20/2016	ISSUED FOR PERMIT
9	12/08/2016	ISSUED FOR PRICING
8	11/28/2016	REVISED ROOF PEAK
7	11/11/2016	ISSUED FOR FINAL SITE PLAN APPROVAL
6	10/07/2016	ISSUED FOR CLIENT REVIEW
5	09/12/2016	ISSUED FOR CONSULTANT COORDINATION
4	08/29/2016	REVISED AS PER CITY COMMENTS #2 Aug/24/16
3	07/20/2016	ISSUED FOR CONSULTANT COORDINATION
2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW

Revisions

REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17



Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

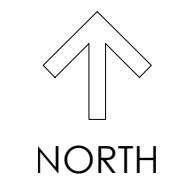
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Drawn: I.A.M. Scale: AS NOTED  
Checked: A.R.C. Printed: 06/30/2017

Drawing No.: **A1.1**

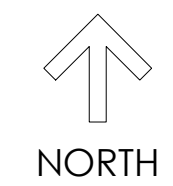
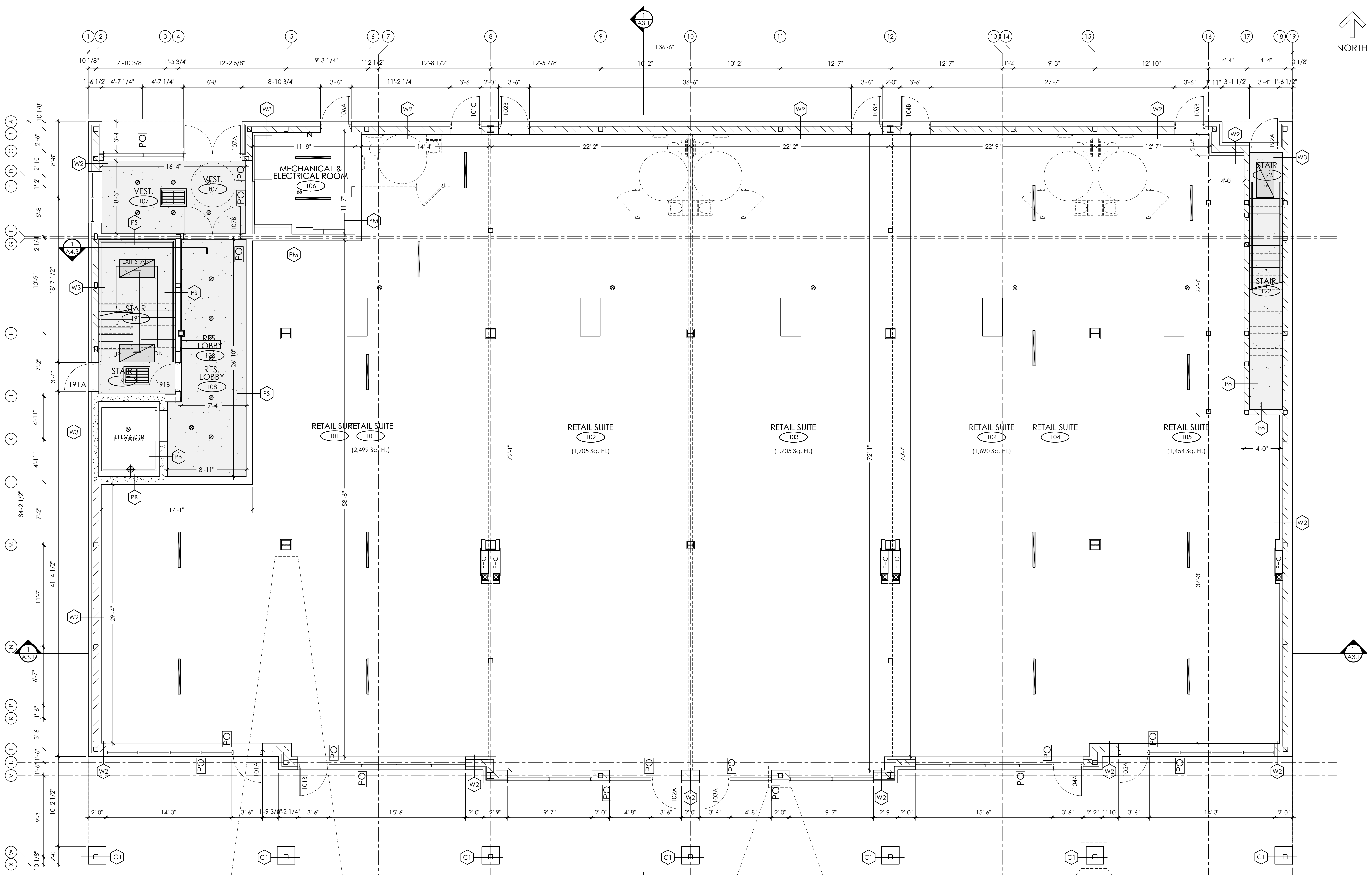
Revision: 14

BASEMENT FLOOR PLAN

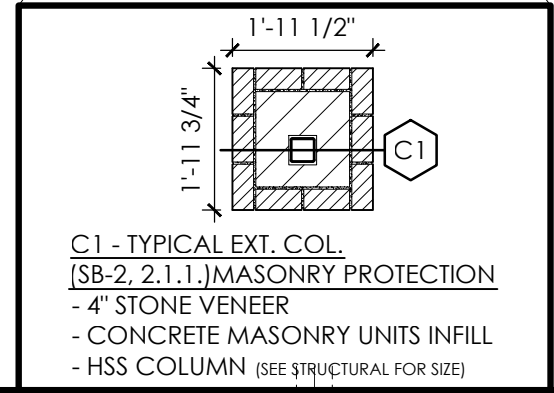
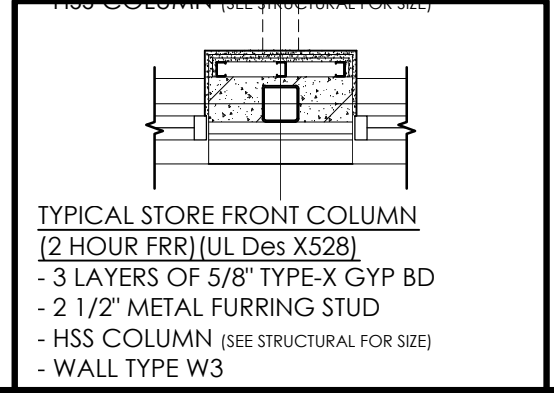
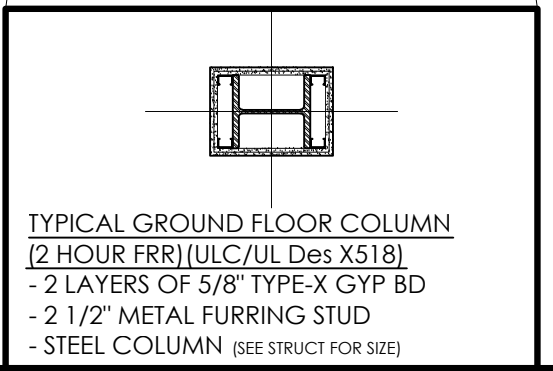
**BASEMENT PLAN**  
SCALE: 3/16" = 1'-0"  
AREA = 1691 SQFT (157m²)







**FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



No.	Date	Description
14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
13	06/01/2017	REISSUED FOR PERMIT
12	01/25/2017	REVISED HIGH PARAPET HEIGHT TO 14.5m
11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
10	12/20/2016	ISSUED FOR PERMIT
9	12/08/2016	ISSUED FOR PRICING
8	11/28/2016	REVISED ROOF PEAK
7	11/11/2016	ISSUED FOR FINAL SITE PLAN APPROVAL
6	10/07/2016	ISSUED FOR CLIENT REVIEW
5	09/12/2016	ISSUED FOR CONSULTANT COORDINATION
4	08/29/2016	REVISED AS PER CITY COMMENTS #2 Aug/24/16
3	07/20/2016	ISSUED FOR CONSULTANT COORDINATION
2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW

**Revisions**

REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17



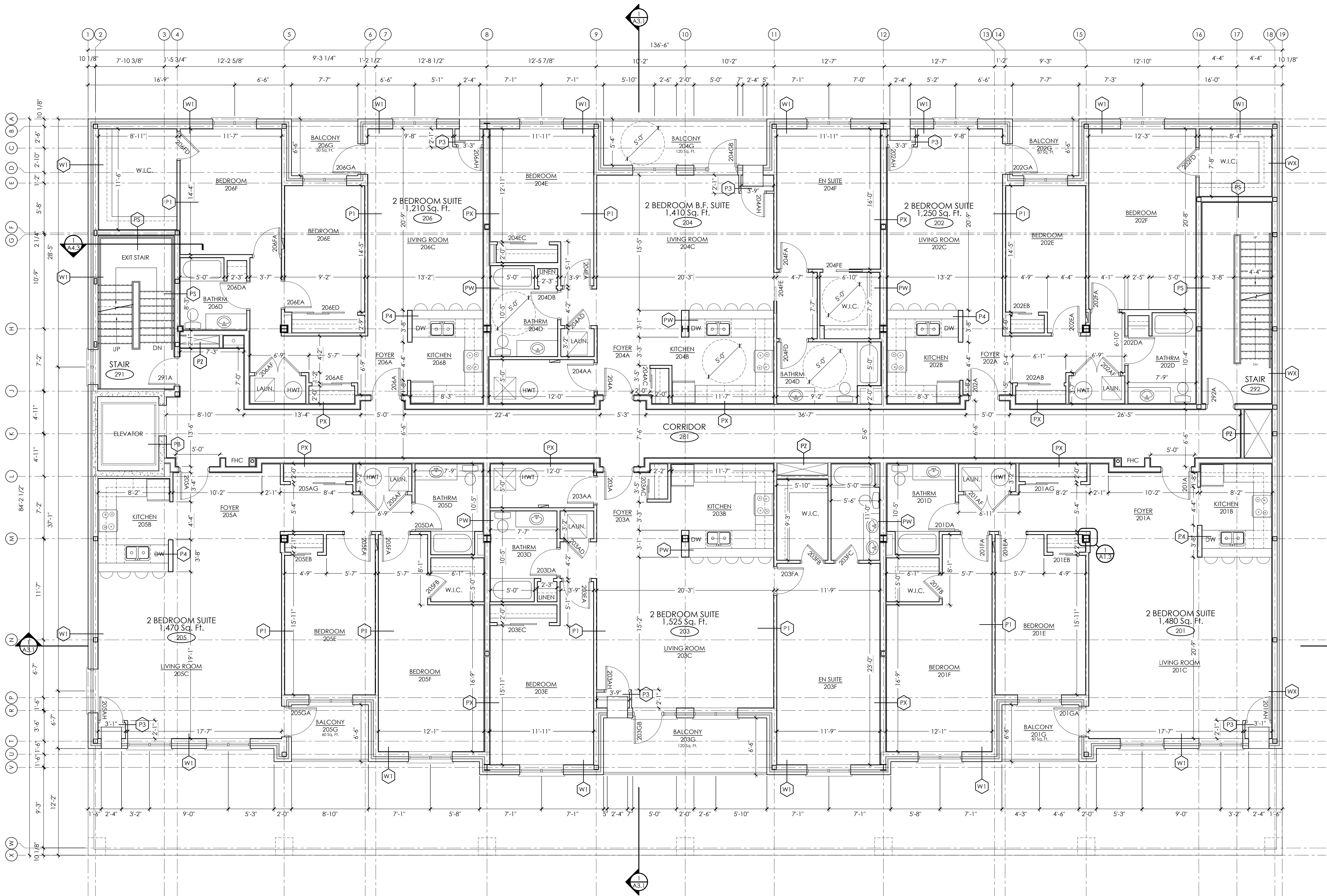
Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

Design: A.R.C. Project No.: -  
Drawn: I.A.M. Scale: AS NOTED  
Checked: A.R.C. Printed: 06/30/2017

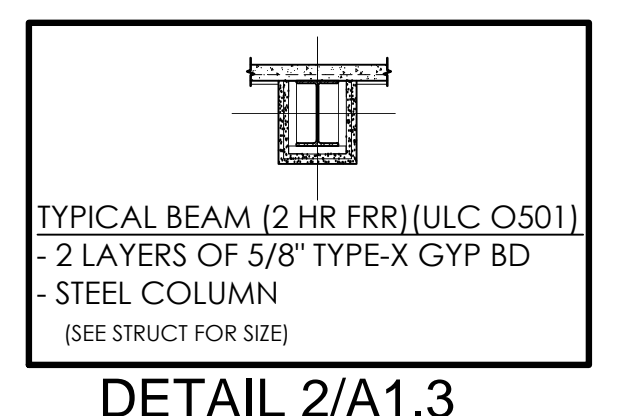
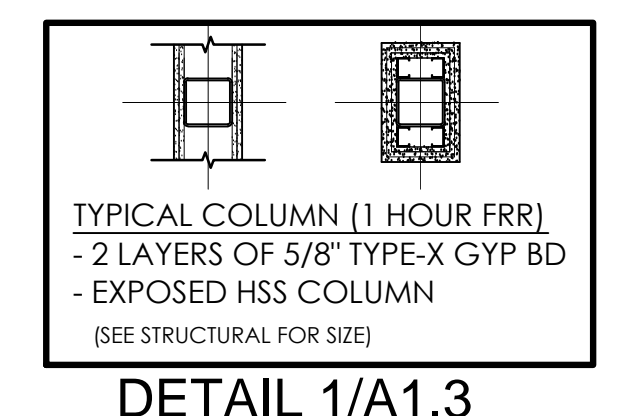
Drawing No.: **A1.2**  
Revision: 14

FIRST FLOOR PLAN






  
**SECOND FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"



No.	Date	Description
14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
13	06/01/2017	REISSUED FOR PERMIT
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3	07/20/2016	ISSUED FOR CONSULTANT COORDINATION
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1	06/20/2016	ISSUED FOR CLIENT REVIEW

**Revisions**  
 REVISED AS PER CITY COMMENTS  
 #3 JUNE/28/17

ONTARIO ASSOCIATION  
 OF ARCHITECTS  
  
 A.R. CIANFRONE  
 LICENCE  
 2081


**cianfrone architect**  
 HAMILTON ON I N C. (905) 570 1656

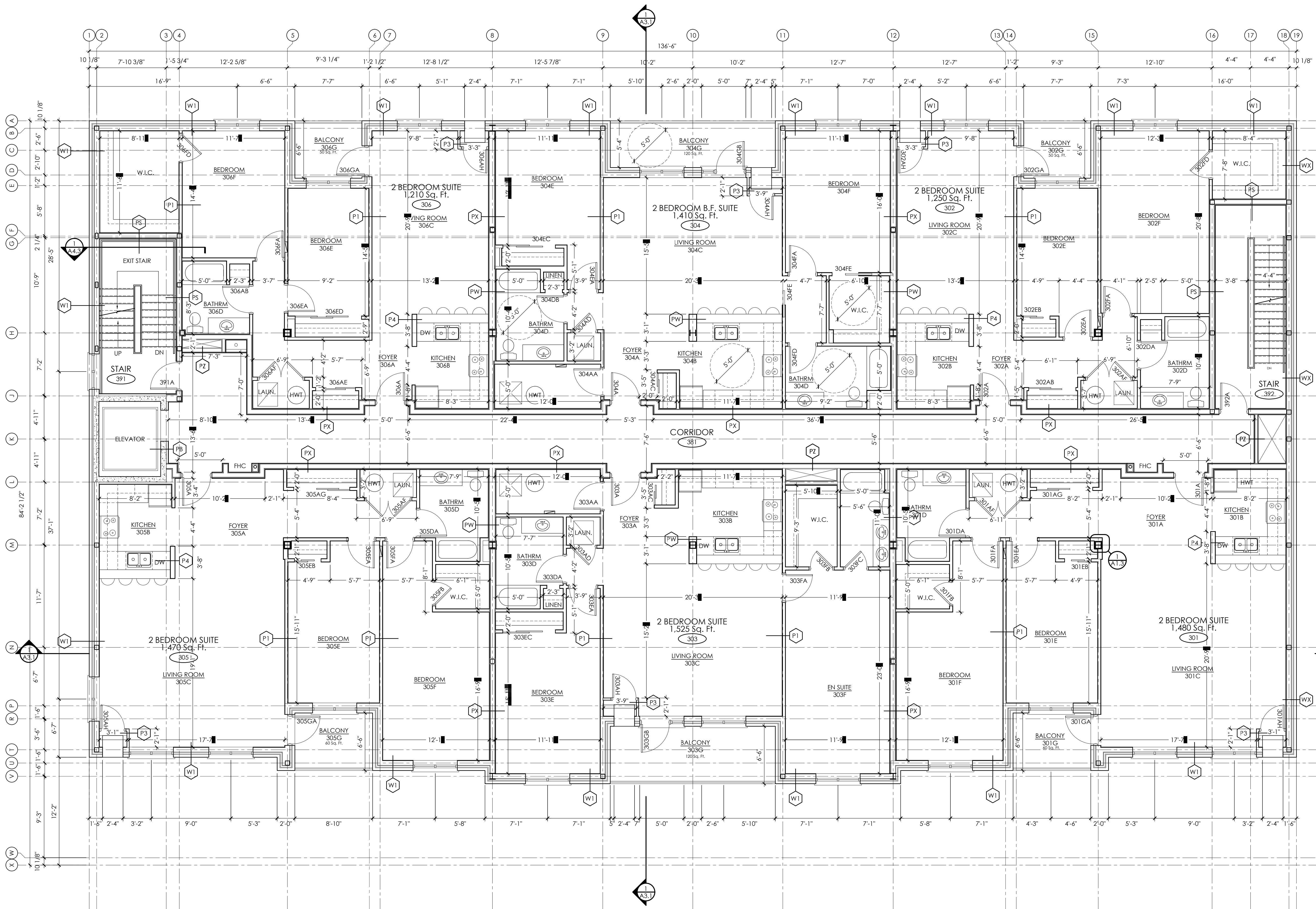
Project:  
**PROPOSED DEVELOPMENT**  
 490 TAUNTON ROAD EAST  
 OSHAWA, ONTARIO

Design: A.R.C.	Project No.: -
Drawn: I.A.M.	Scale: AS NOTED
Checked: A.R.C.	Printed: 06/30/2017

Drawing No.: **A1.3**  
 Revision: 14

SECOND FLOOR PLAN





No.	Date	Description
14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
13	06/01/2017	REISSUED FOR PERMIT
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11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
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9	12/08/2016	ISSUED FOR PRICING
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2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW

Revisions

REVISED AS PER CITY COMMENTS #3 JUNE/28/17



Project:  
**PROPOSED DEVELOPMENT**  
 490 TAUNTON ROAD EAST  
 OSHAWA, ONTARIO

Design: A.R.C.	Project No.:
Drawn: I.A.M.	Scale: AS NOTED
Checked: A.R.C.	Printed: 06/30/2017

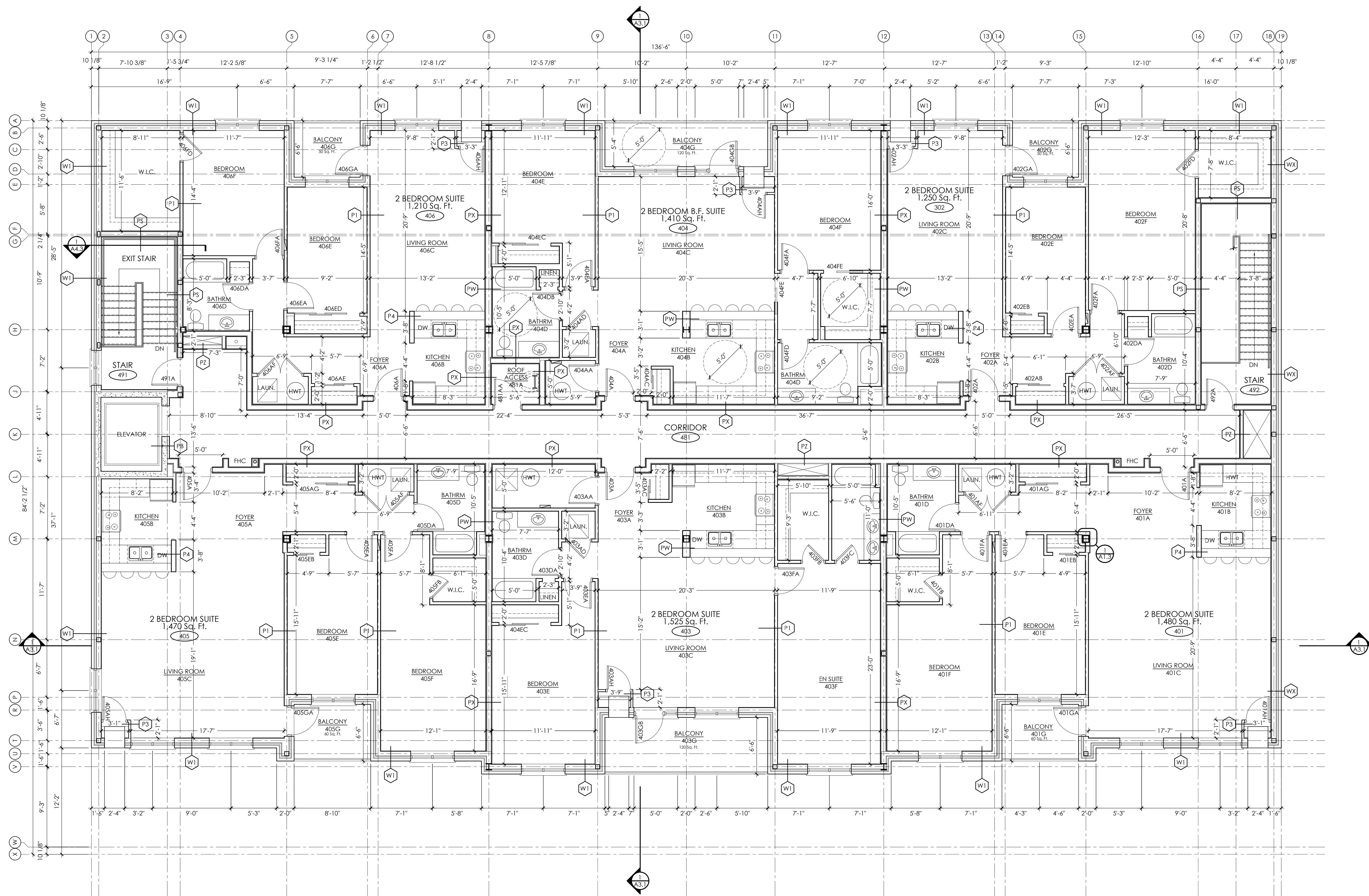
Drawing No.: **A1.4**

Revision: 14

↑ NORTH  
**THIRD FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

THIRD FLOOR PLAN





14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
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2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW

Revisions  
 REVISED AS PER CITY COMMENTS  
 #3 JUNE/28/17



Project:  
**PROPOSED DEVELOPMENT**  
 490 TAUNTON ROAD EAST  
 OSHAWA, ONTARIO

Design: A.R.C.	Project No.: -
Drawn: I.A.M.	Scale: AS NOTED
Checked: A.R.C.	Printed: 06/30/2017

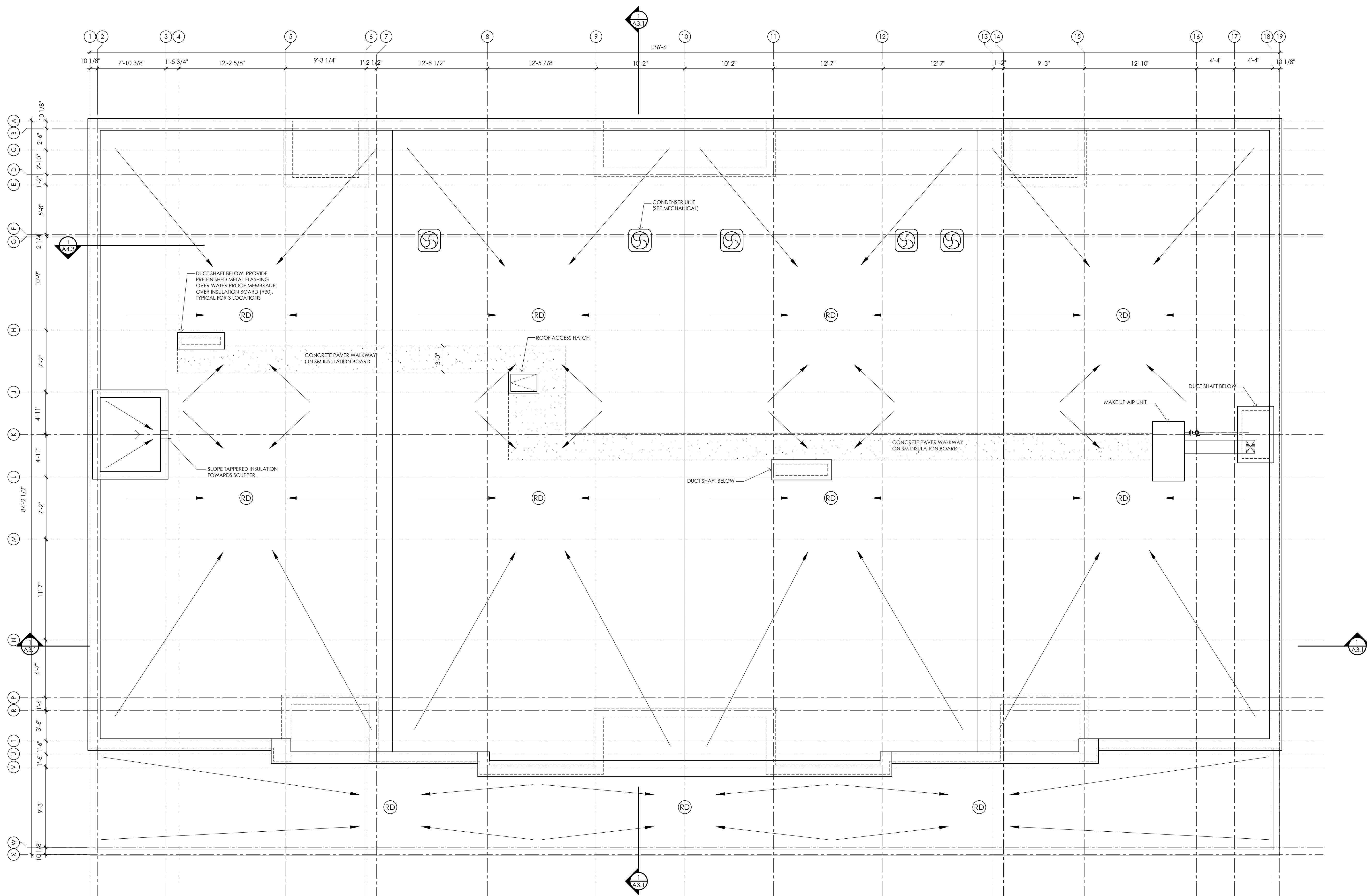
Drawing No.:  
A1.5

Revision: 14

**FOURTH FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

FOURTH FLOOR PLAN

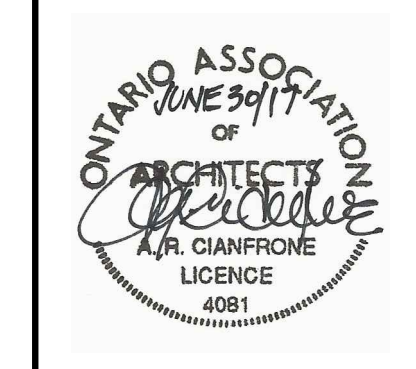




No.	Date	Description
14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
13	06/01/2017	REISSUED FOR PERMIT
12	01/25/2017	REVISED HIGH PARAPET HEIGHT TO 14.5m
11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
10	12/20/2016	ISSUED FOR PERMIT
9	12/08/2016	ISSUED FOR PRICING
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7	11/11/2016	ISSUED FOR FINAL SITE PLAN APPROVAL
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2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW

Revisions

REVISED AS PER CITY COMMENTS #3 JUNE/28/17



Project:  
**PROPOSED DEVELOPMENT**  
 490 TAUNTON ROAD EAST  
 OSHAWA, ONTARIO

Design: A.R.C.	Project No.: -
Drawn: I.A.M.	Scale: AS NOTED
Checked: A.R.C.	Printed: 06/30/2017

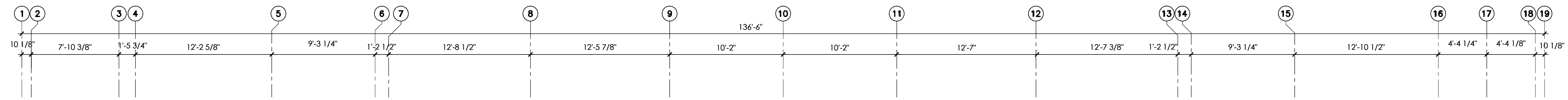
Drawing No.: **A1.6**

Revision: 14

**ROOF PLAN**  
 SCALE: 3/16" = 1'-0"

ROOF PLAN





MAXIMUM PERMITTED HEIGHT AS PER TRANSPORT CANADA ZONING IS 180m asl



SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

\*\* REFER TO MECH. HVAC DWGS FOR LOCATIONS OF ALL EXTERIOR EXHAUST GRILLS. CO-ORDINATION WITH FRAMING & MASONRY.

ELEVATION MATERIAL LEGEND:

SCALE: 3/16" = 1'-0"

- 1 PRE-FINISHED METAL FLASHING
- 2 ARRISCRAFT BLINESE STONE BAND 90HX190
- 3 ARRISCRAFT REN190 SMOOTH FACE STONE BAND
- 4 BRICK QUOINING (BROWN)
- 5 PRECAST SILL 90 & LINTEL 190 (NATURAL)
- 6 ARRISCRAFT REN 90X190 & 290 SMOOTH FACE STONE BAND
- 7 DOUBLE GLAZED WINDOW (ANODIZED ALUMINUM)
- 8 BRICK WALL (MAX SIZE) (BROWN)
- 9 HOLLOW METAL EXIT DOORS (MATCH TO STONE WORK)
- 10 ARRISCRAFT ROCKED STONE VENEER-VERIFY COLOUR AND TEXTURE
- 11 ARRISCRAFT ROCKED STONE VENEER-VERIFY COLOUR AND TEXTURE
- 12 CURTAIN WALL STOREFRONT (ANODIZED ALUMINUM)
- 13 PRE-FINISHED ALUMINUM RAILING 42" HIGH MIN
- 14 RESERVED

No.	Date	Description
14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
13	06/01/2017	REISSUED FOR PERMIT
12	01/25/2017	REVISED HIGH PARAPET HEIGHT TO 14.5m
11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
10	12/20/2016	ISSUED FOR PERMIT
9	12/08/2016	ISSUED FOR PRICING
8	11/28/2016	REVISED ROOF PEAK
7	11/11/2016	ISSUED FOR FINAL SITE PLAN APPROVAL
6	10/07/2016	ISSUED FOR CLIENT REVIEW
5	09/12/2016	ISSUED FOR CONSULTANT COORDINATION
4	08/29/2016	REVISED AS PER CITY COMMENTS #2 Aug/24/16
3	07/20/2016	ISSUED FOR CONSULTANT COORDINATION
2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW

Revisions

REVISED AS PER CITY COMMENTS #3 JUNE/28/17

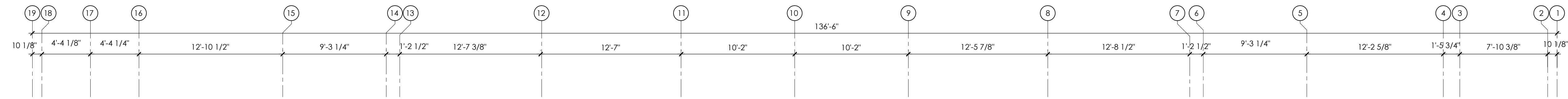


Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

Design: A.R.C.	Project No.: -
Drawn: I.A.M.	Scale: AS NOTED
Checked: A.R.C.	Printed: 06/30/2017
Drawing No.: <b>A2.1</b>	
Revision:	14

SOUTH ELEVATION





MAXIMUM PERMITTED HEIGHT AS PER  
TRANSPORT CANADA ZONING IS 180m asl



NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

\*\* REFER TO MECH. HVAC DWGS FOR LOCATIONS OF ALL EXTERIOR EXHAUST GRILLS. CO-ORDINATION WITH FRAMING & MASONRY.

ELEVATION MATERIAL LEGEND:

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- 14 RESERVED

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Revisions

REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17



**cianfrone architect**  
HAMILTON ON I N C. (905) 570 1656

Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

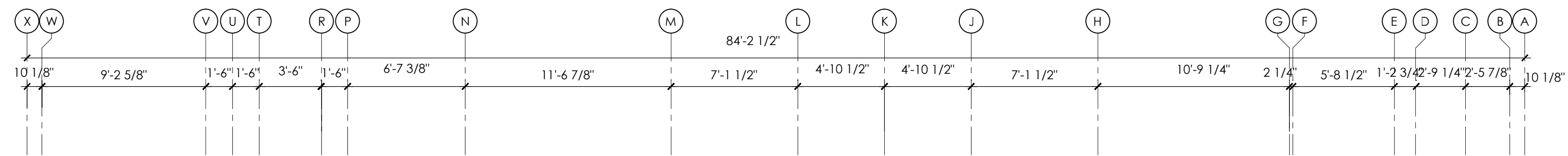
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Drawing No.: **A2.2**

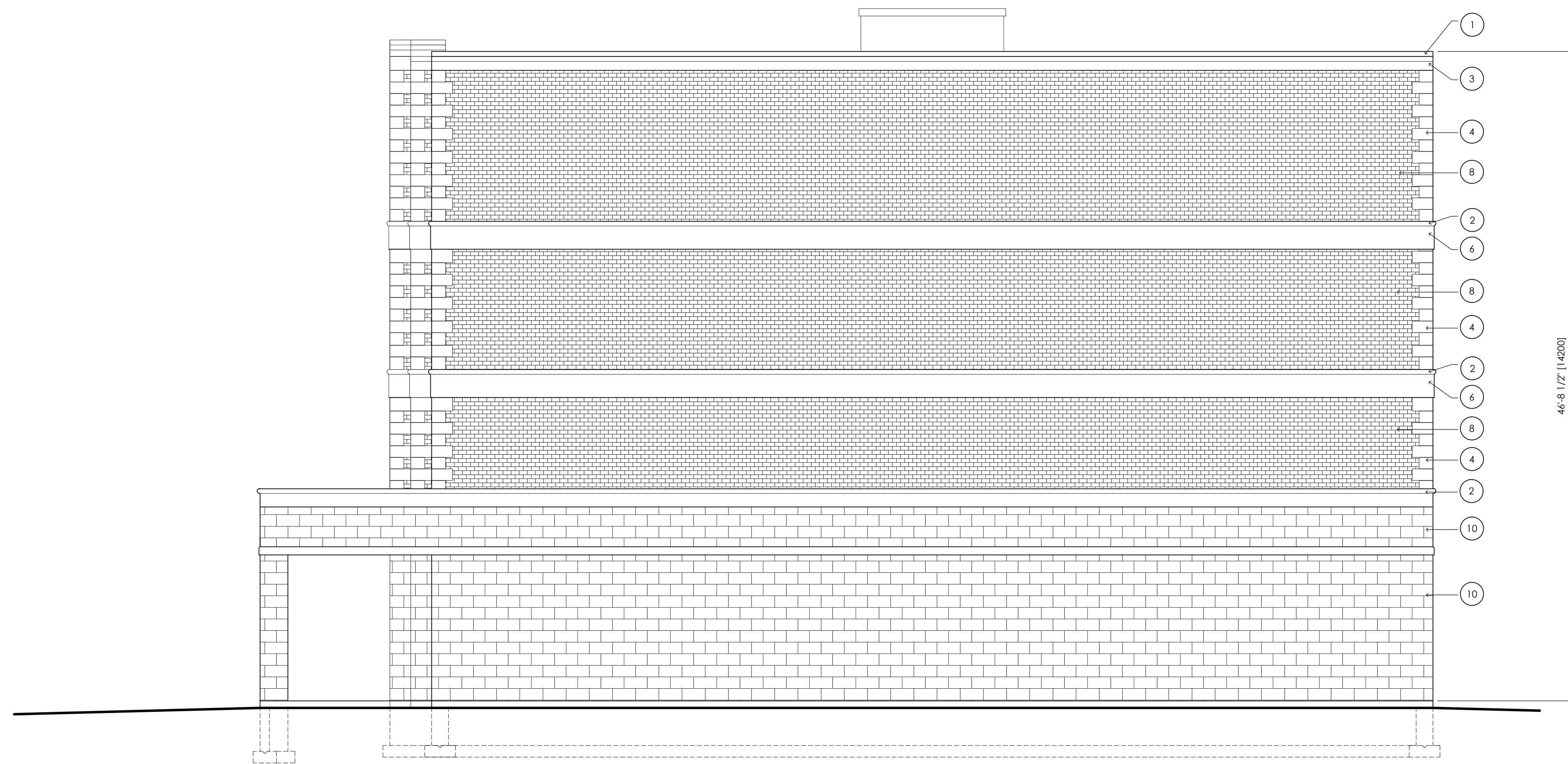
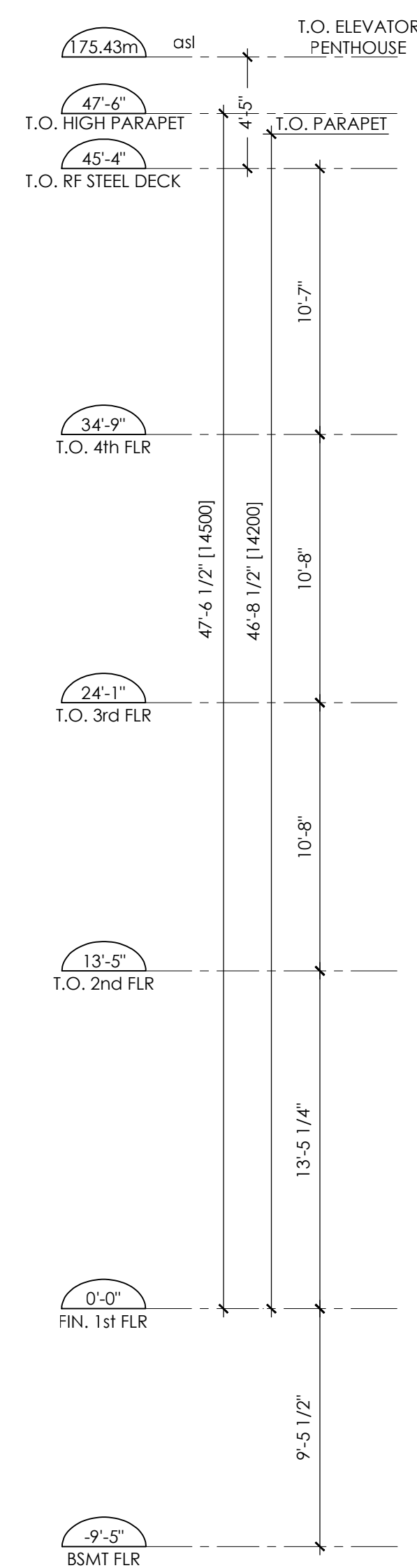
Revision: 14

NORTH ELEVATION





MAXIMUM PERMITTED HEIGHT AS PER TRANSPORT CANADA ZONING IS 180m asl



EAST ELEVATION  
SCALE: 3/16" = 1'-0"

\*\* REFER TO MECH. HVAC DWGS FOR LOCATIONS OF ALL EXTERIOR EXHAUST GRILLS. CO-ORDINATION WITH FRAMING & MASONRY.

ELEVATION MATERIAL LEGEND:

SCALE: 3/16"=1'-0"

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Revisions

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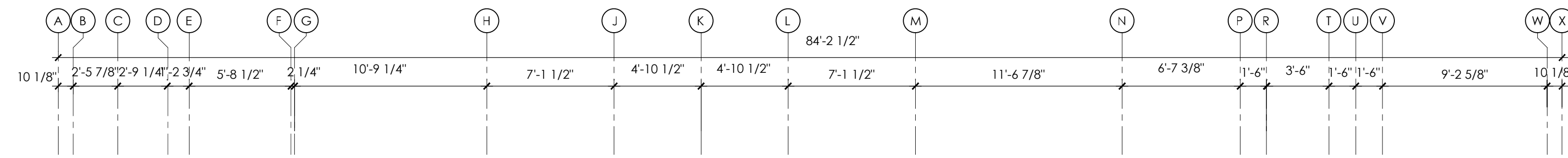
Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

Design: A.R.C. Project No.: -  
Drawn: I.A.M. Scale: AS NOTED  
Checked: A.R.C. Printed: 06/30/2017

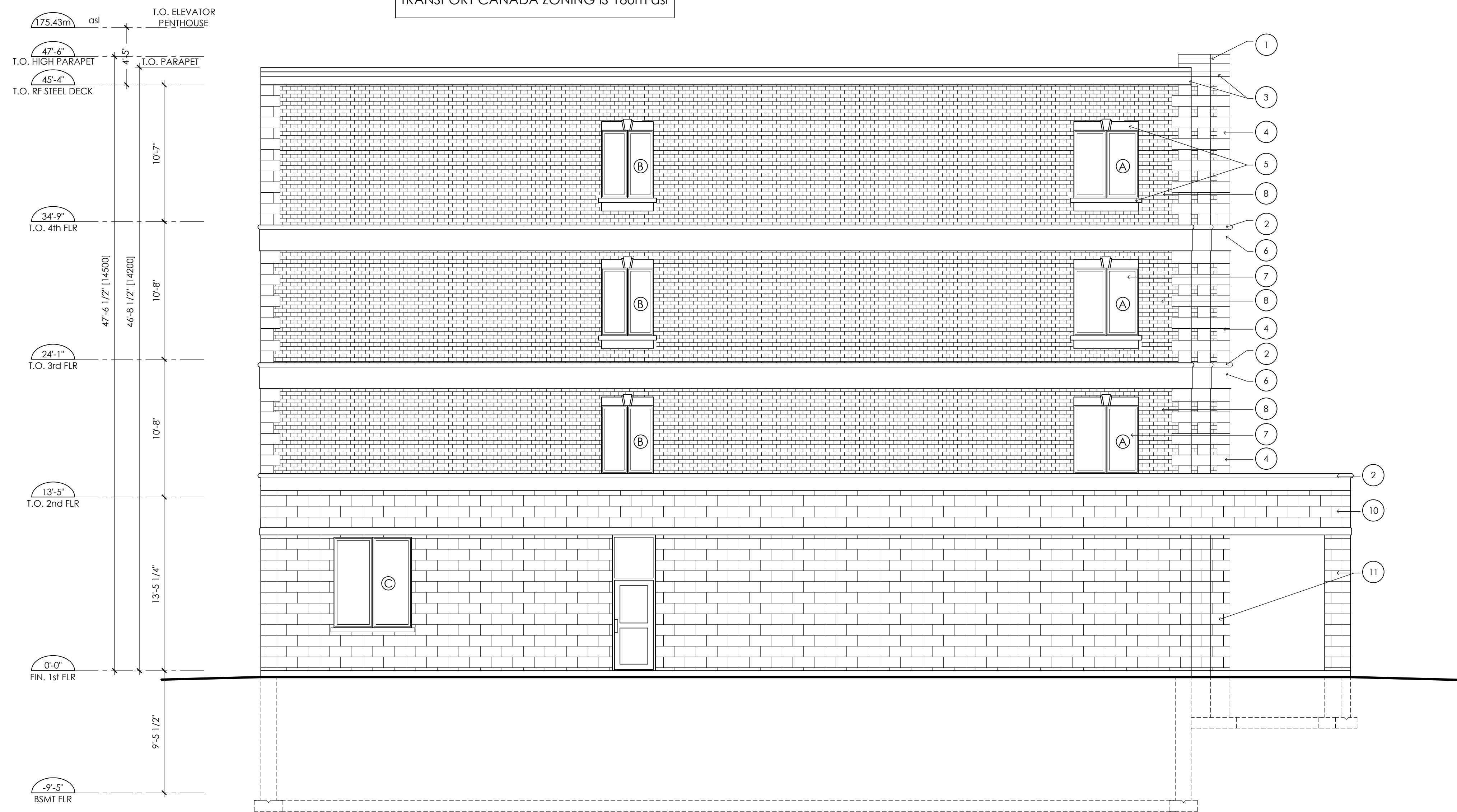
Drawing No.: **A2.3**

EAST ELEVATION

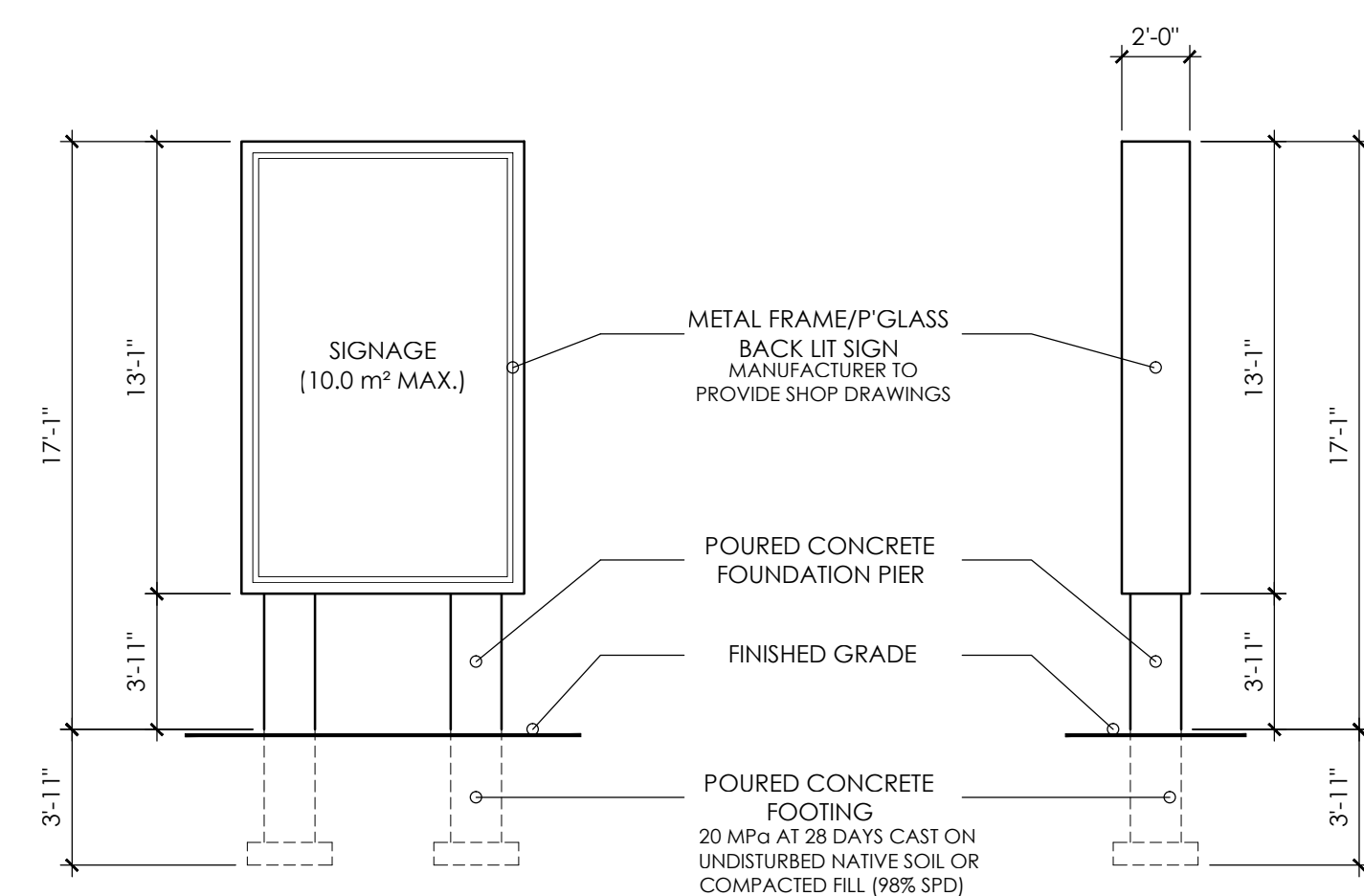




MAXIMUM PERMITTED HEIGHT AS PER TRANSPORT CANADA ZONING IS 180m asl



WEST ELEVATION  
SCALE: 3/16" = 1'-0"



SIGNAGE ELEVATION  
SCALE: 3/16" = 1'-0"

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- 14 RESERVED

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Revisions

REVISED AS PER CITY COMMENTS #3 JUNE/28/17



Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

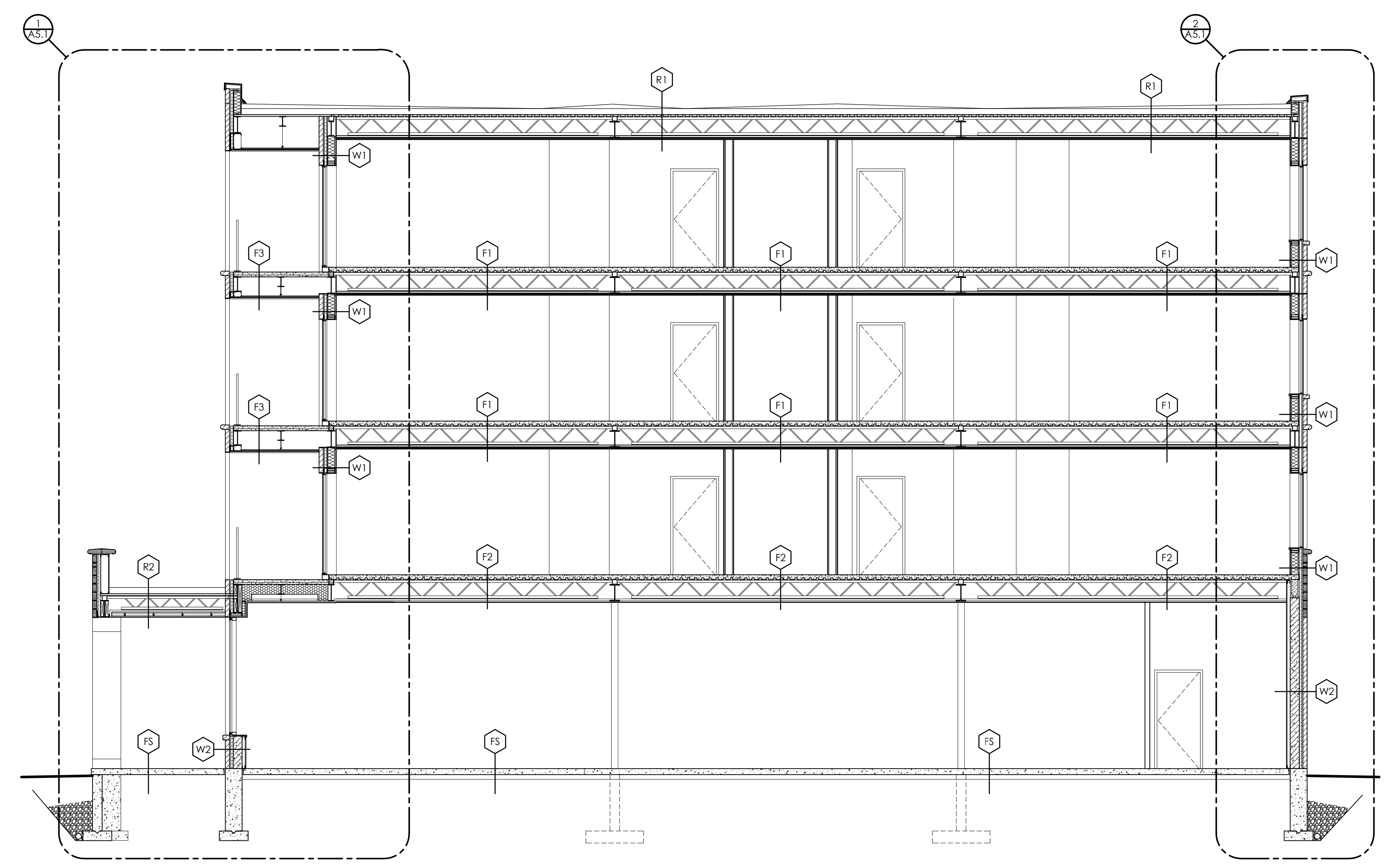
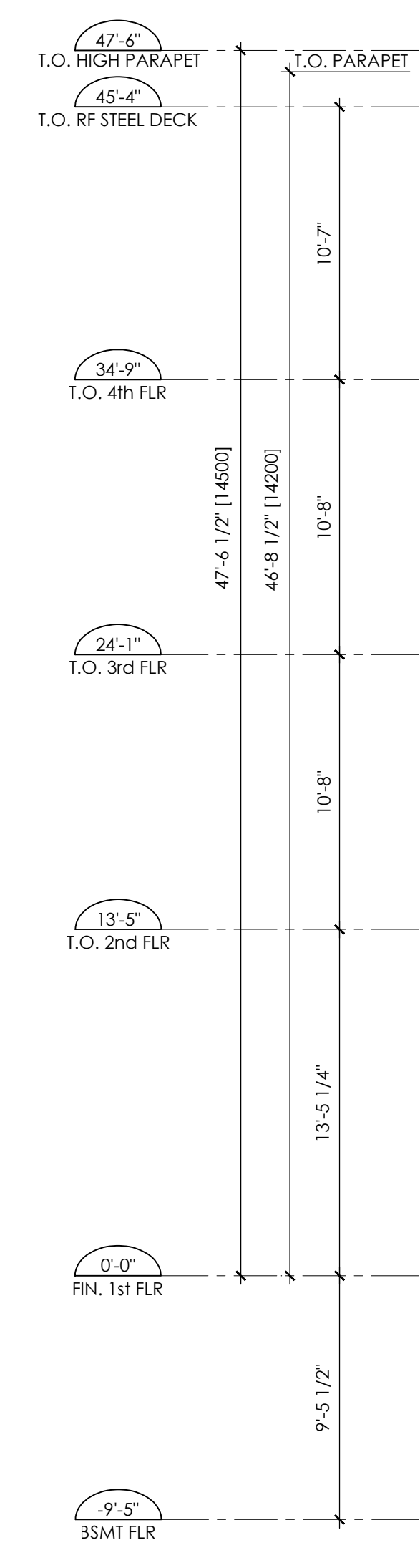
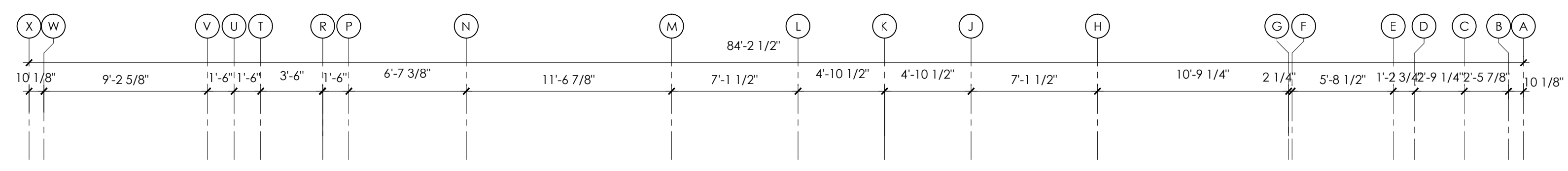
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Drawn: I.A.M.	Scale: AS NOTED
Checked: A.R.C.	Printed: 06/30/2017

Drawing No.:  
**A2.4**

Revision: 14

WEST ELEVATION





**1**  
**A3.1** CROSS SECTION  
SCALE: 3/16" = 1'-0"

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14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
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Revisions

**REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17**



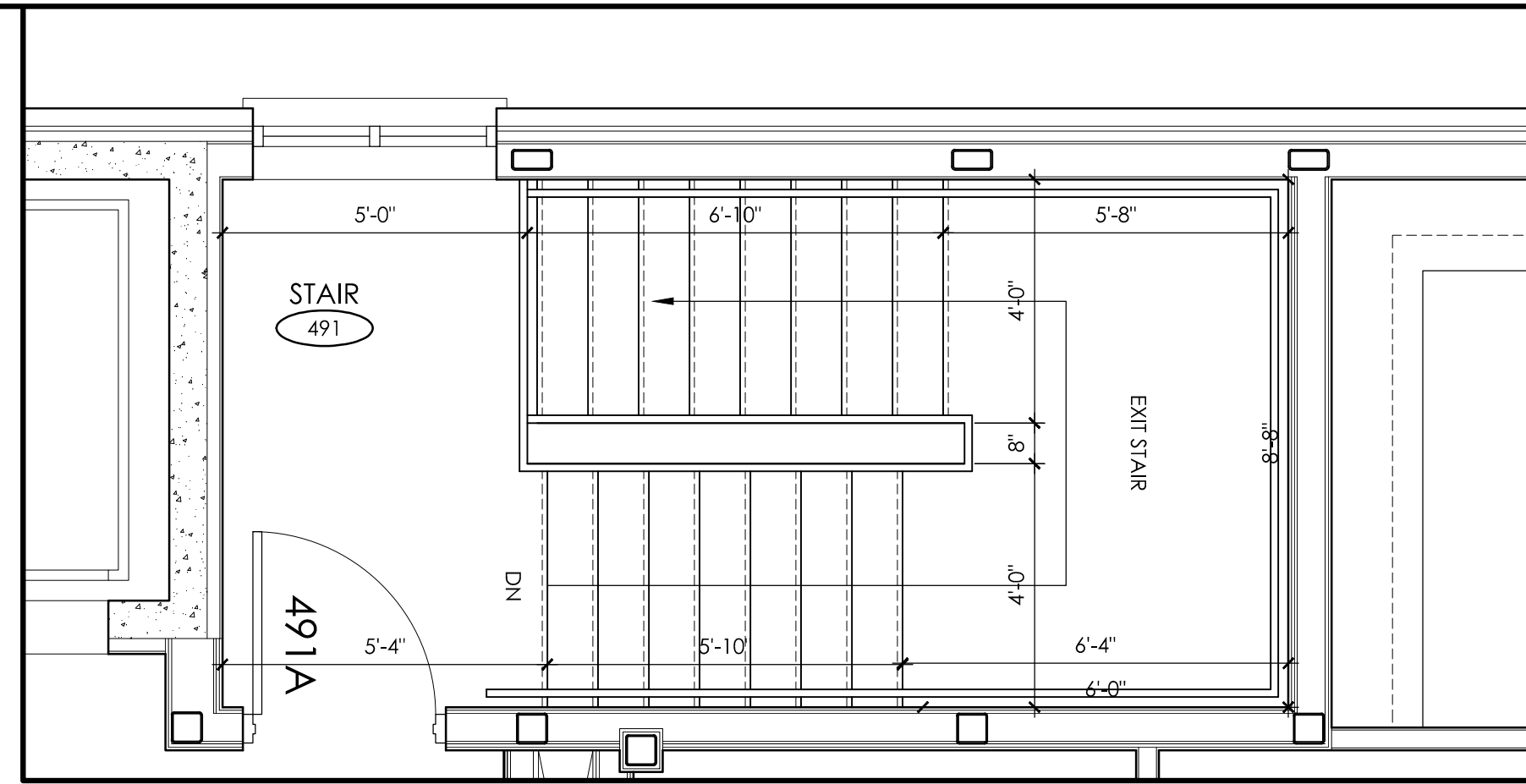
Project:	
<b>PROPOSED DEVELOPMENT</b> 490 TAUNTON ROAD EAST OSHAWA, ONTARIO	
Design: A.R.C.	Project No.: -
Drawn: I.A.M.	Scale: AS NOTED
Checked: A.R.C.	Printed: 06/30/2017
Drawing No.:	<b>A3.1</b>
Revision:	14

CROSS SECTION

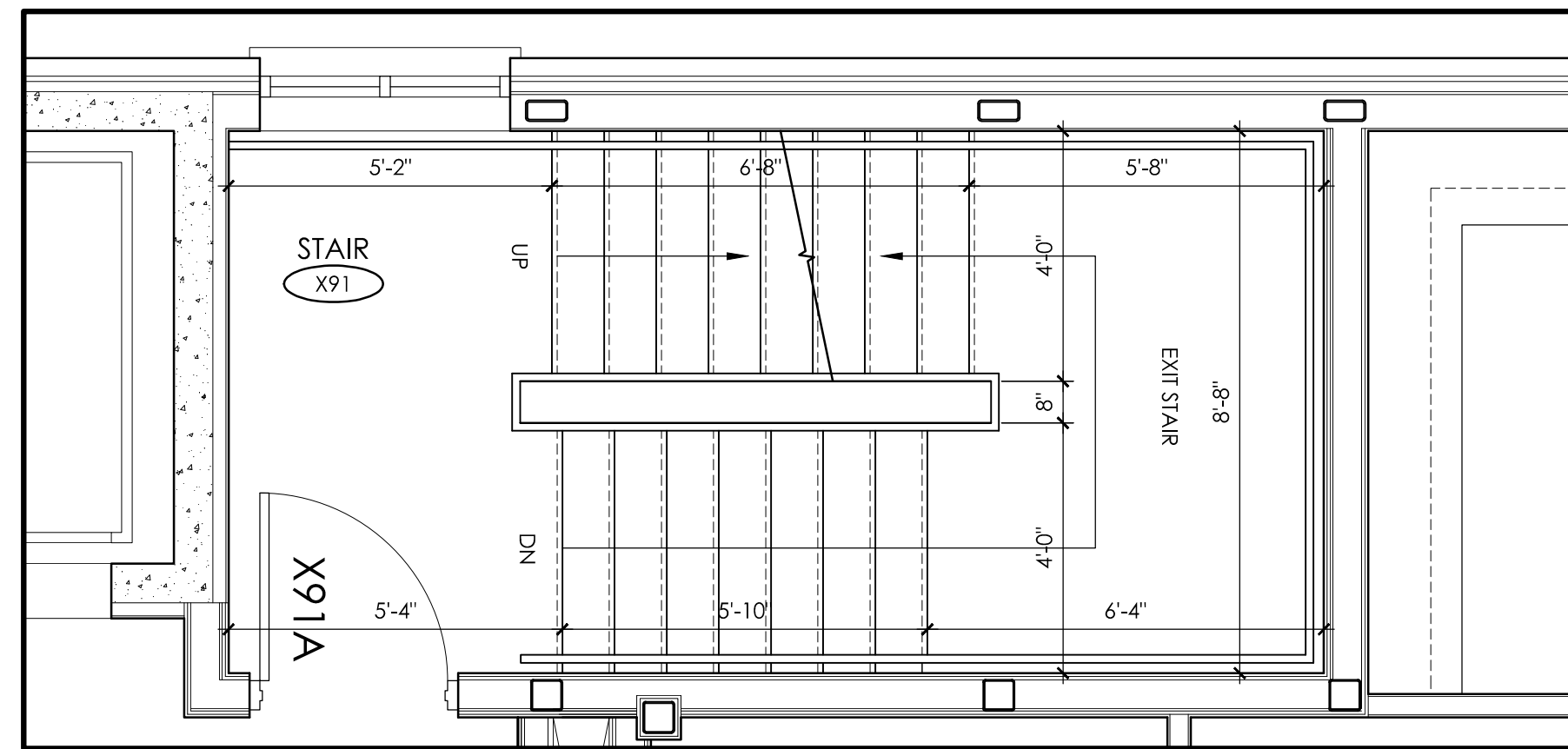




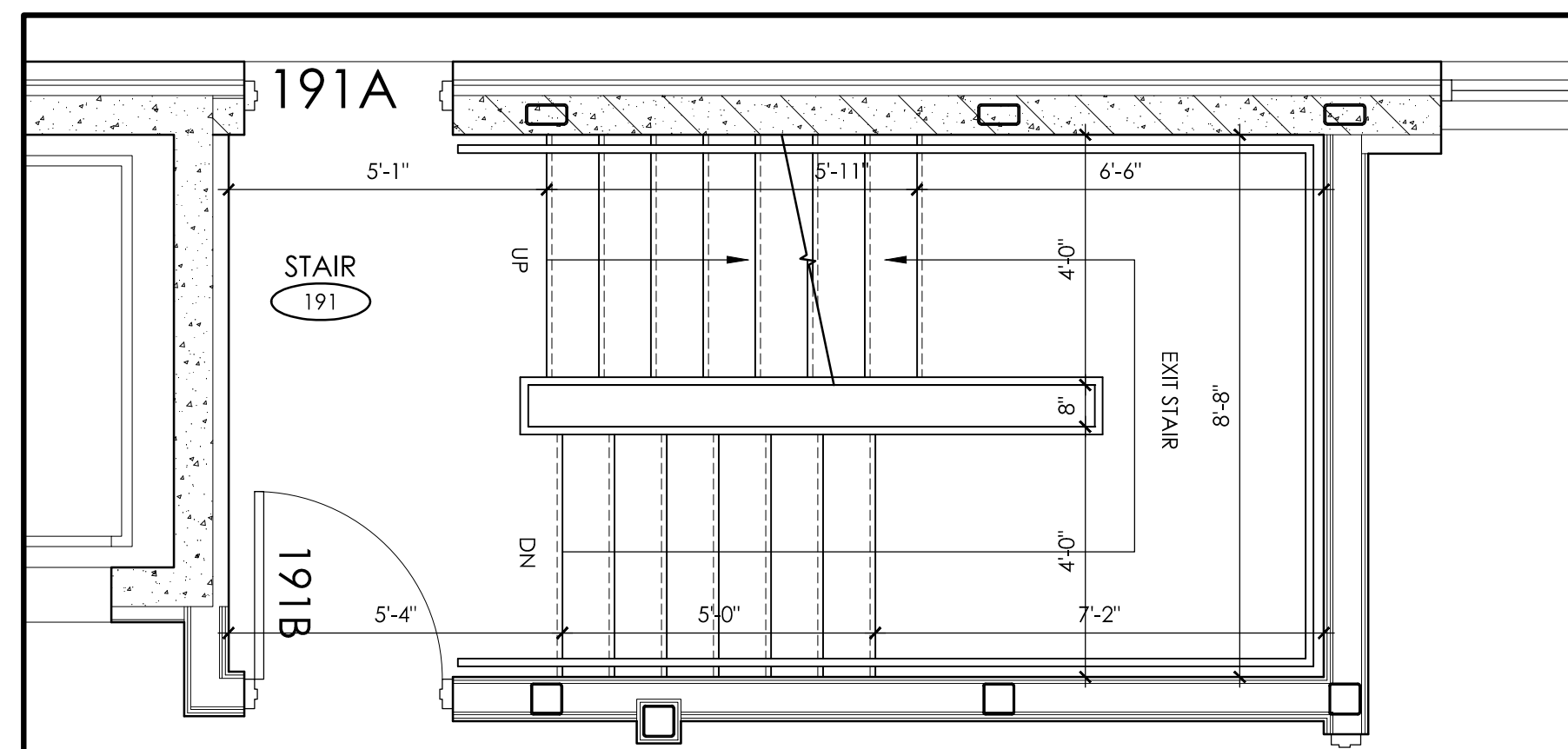




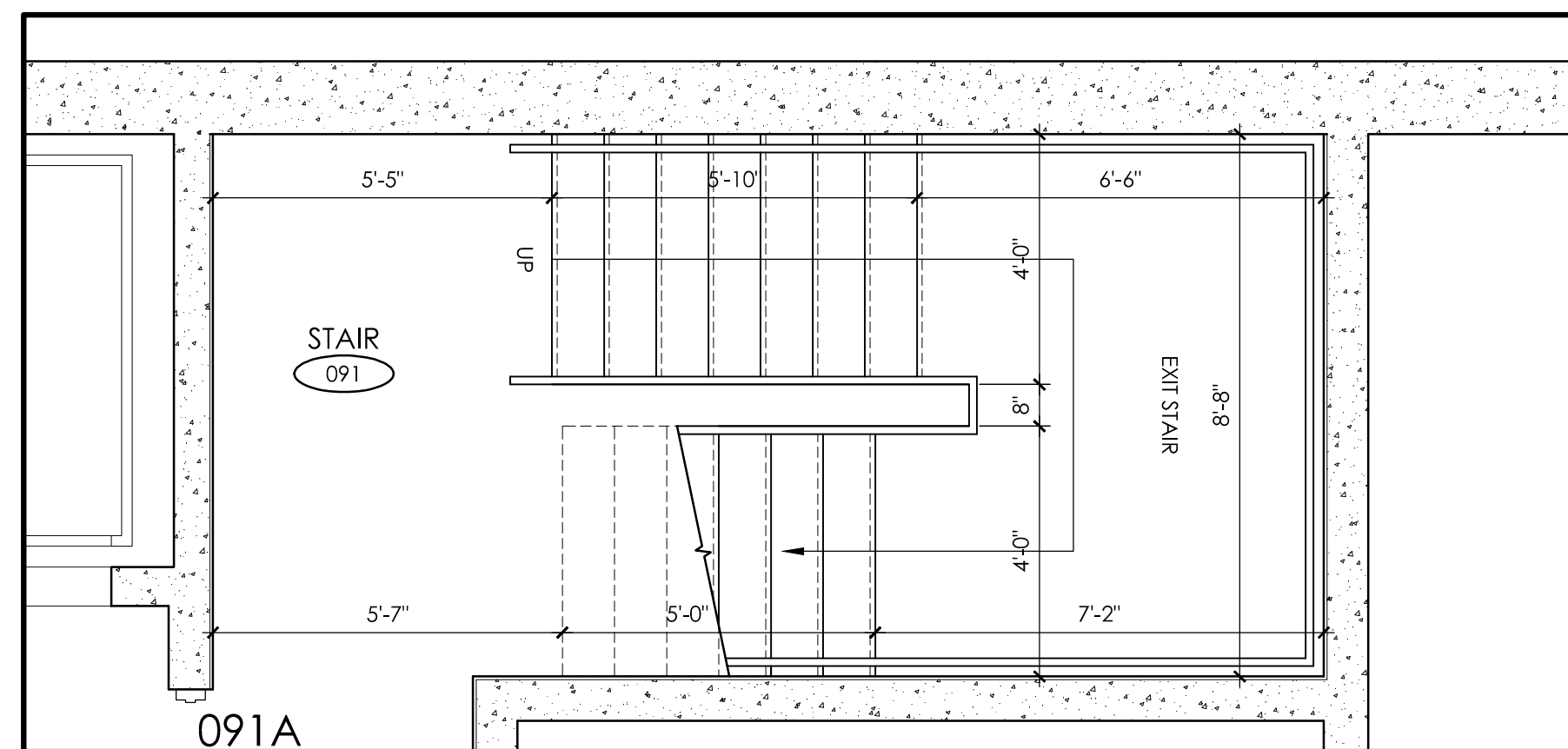
4 STAIR X91 FOURTH FLOOR PLAN  
A4.1 SCALE: 3/8" = 1'-0"



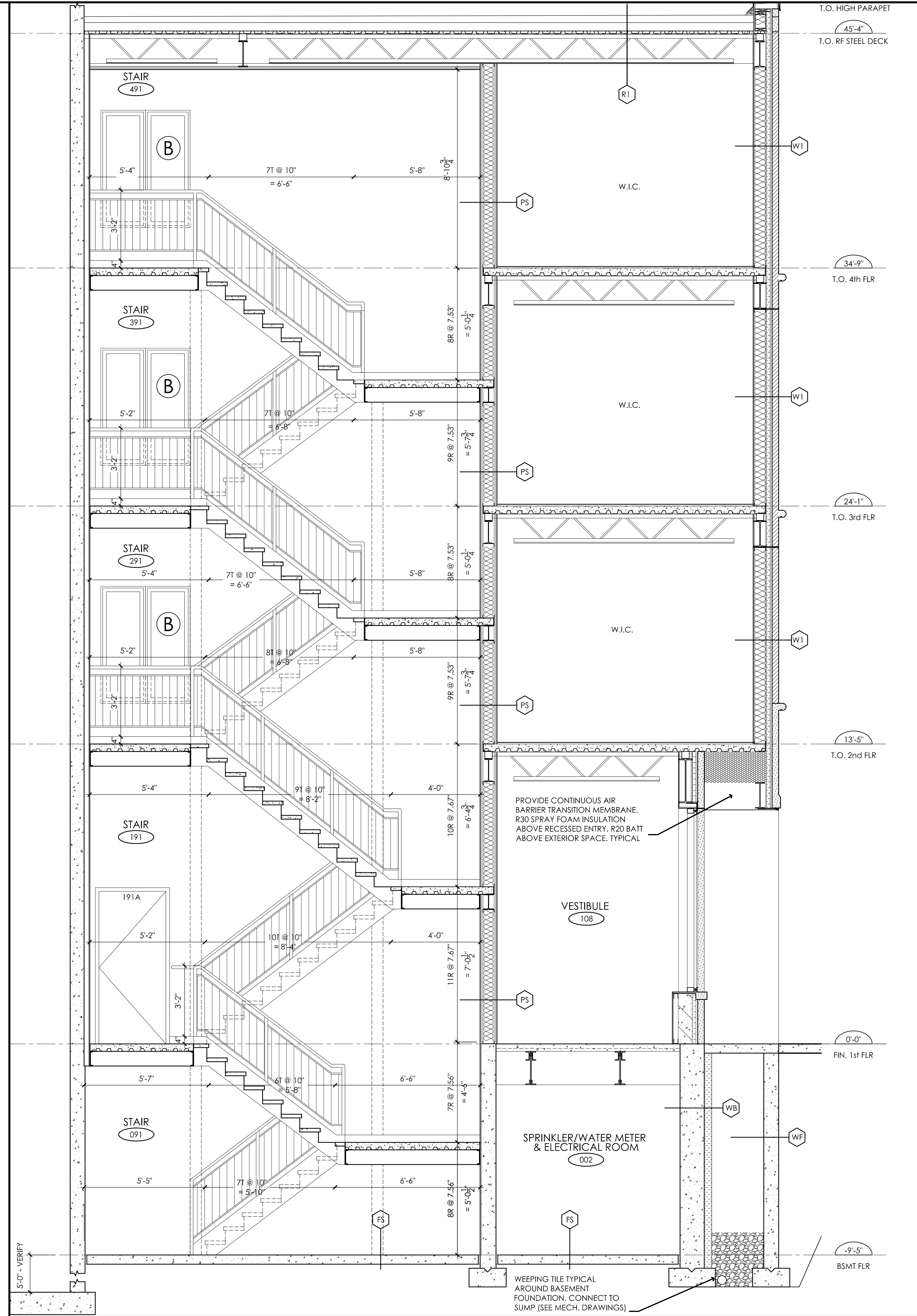
3 STAIR X91 SECOND & THIRD FLOOR PLAN  
A4.1 SCALE: 3/8" = 1'-0"



2 STAIR X91 FIRST FLOOR PLAN  
A4.1 SCALE: 3/8" = 1'-0"



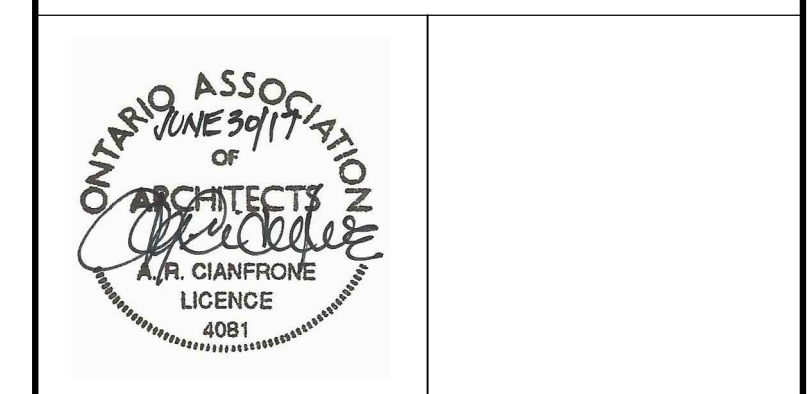
1 STAIR X91 BASEMENT PLAN  
A4.1 SCALE: 3/8" = 1'-0"



0 STAIR X91 SECTION  
A4.1 SCALE: 3/8" = 1'-0"

No.	Date	Description
14	06/30/2017	REVISED AS PER CITY COMMENTS #3 JUN/28/17
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Revisions  
REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17



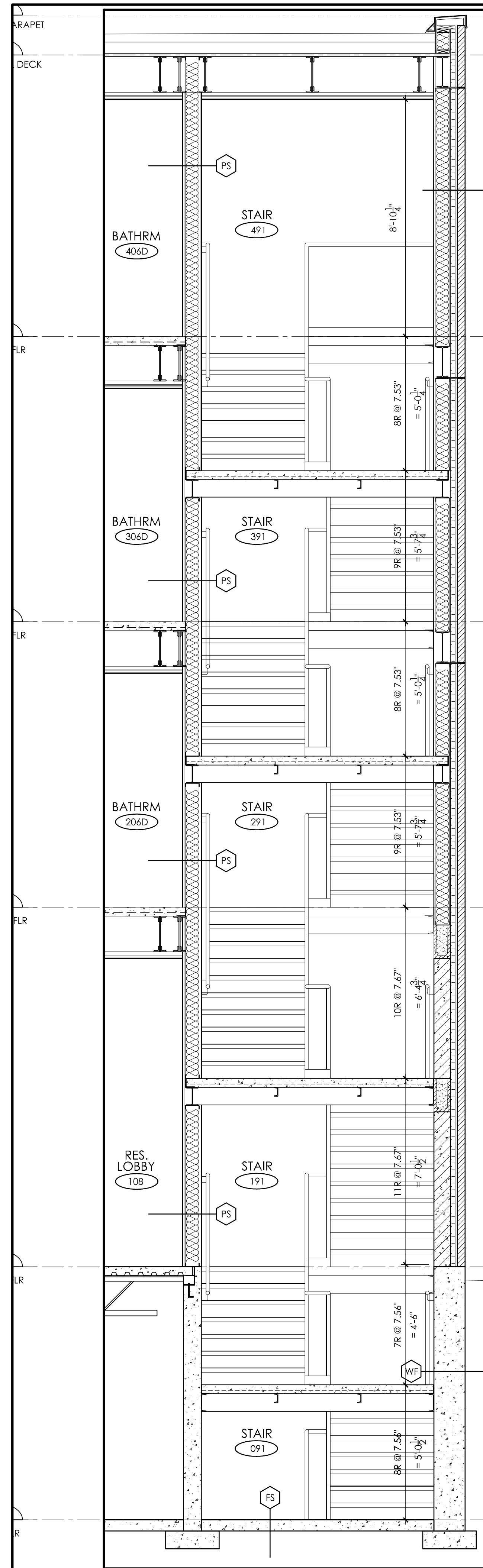
Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

Design: A.R.C. Project No.: -  
Drawn: I.A.M. Scale: 3/8" = 1'-0"  
Checked: A.R.C. Printed: 06/30/2017

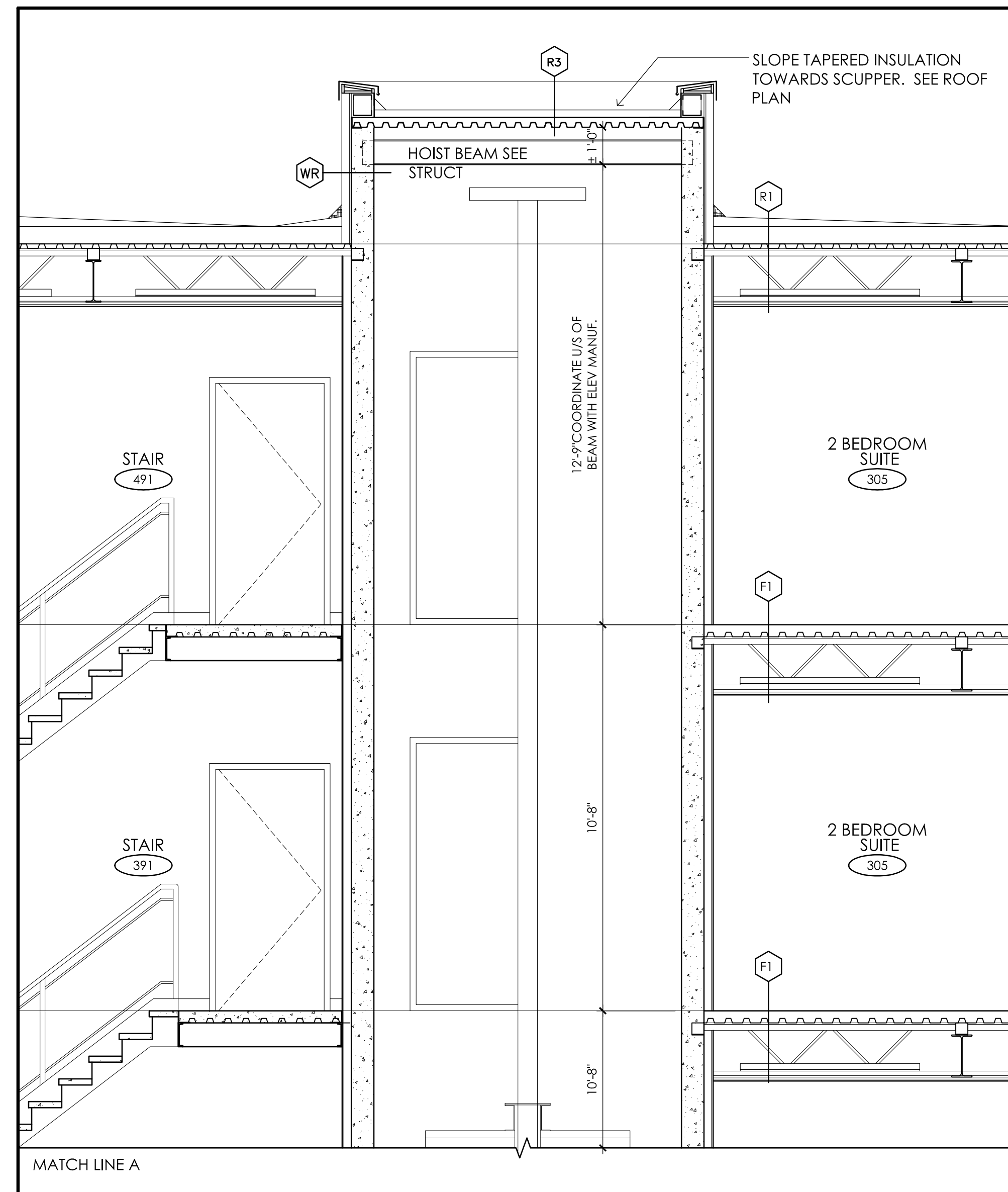
Drawing No.:  
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Revision: 14

STAIR DETAIL X91

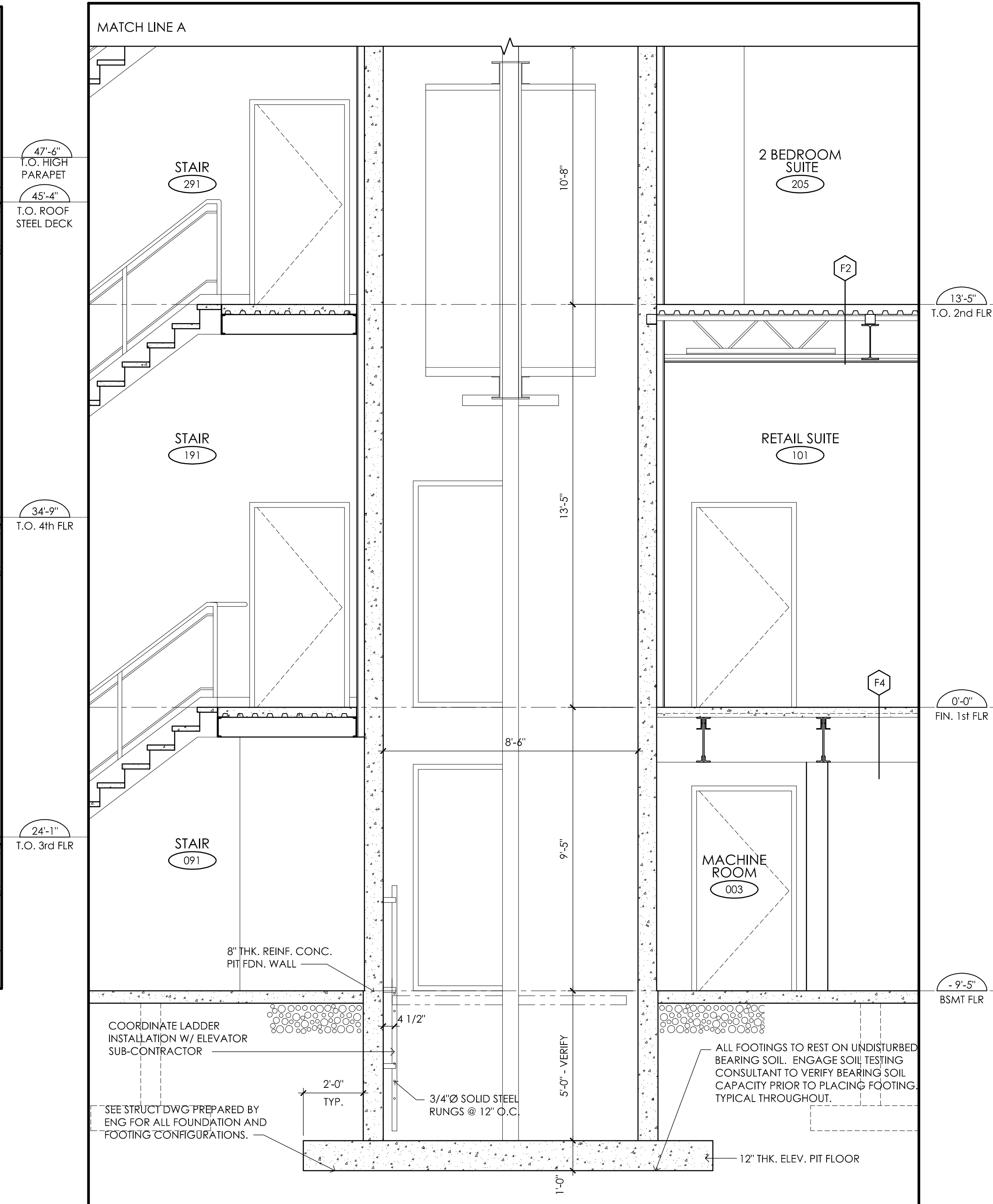




1 STAIR X91 CROSS SECTION  
A4.2 SCALE: 3/8" = 1'-0"



2 ELEVATOR SECTION  
A4.2 SCALE: 3/8" = 1'-0"



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Project: PROPOSED DEVELOPMENT  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

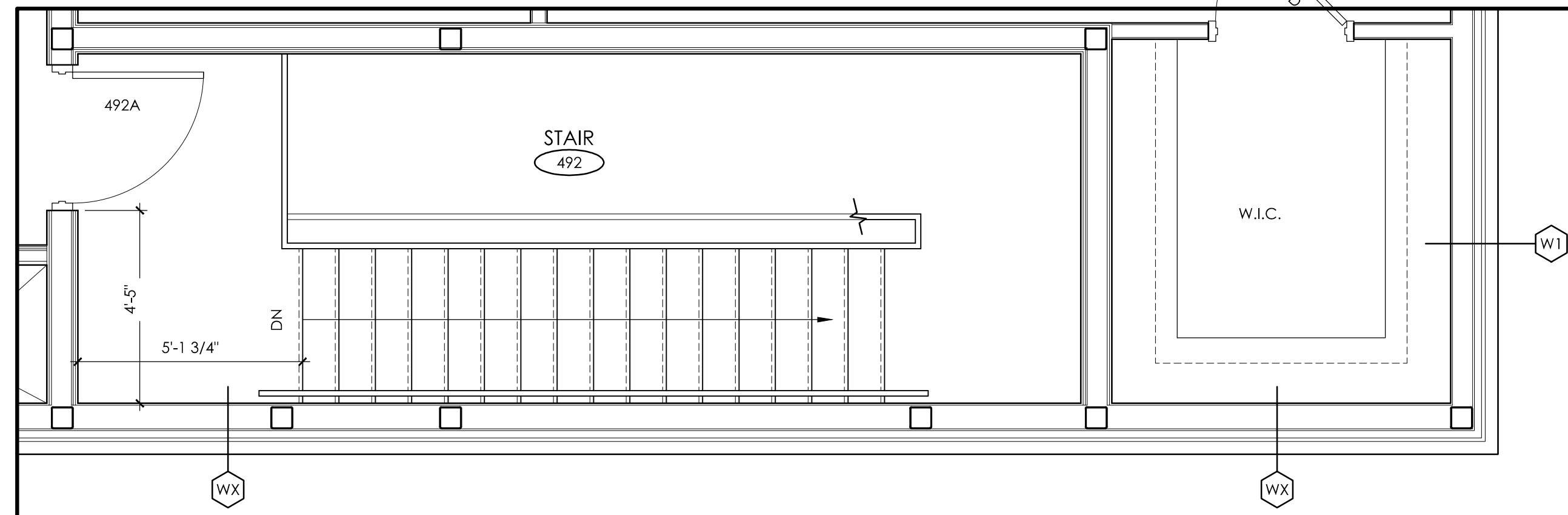
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Drawing No.: A4.2

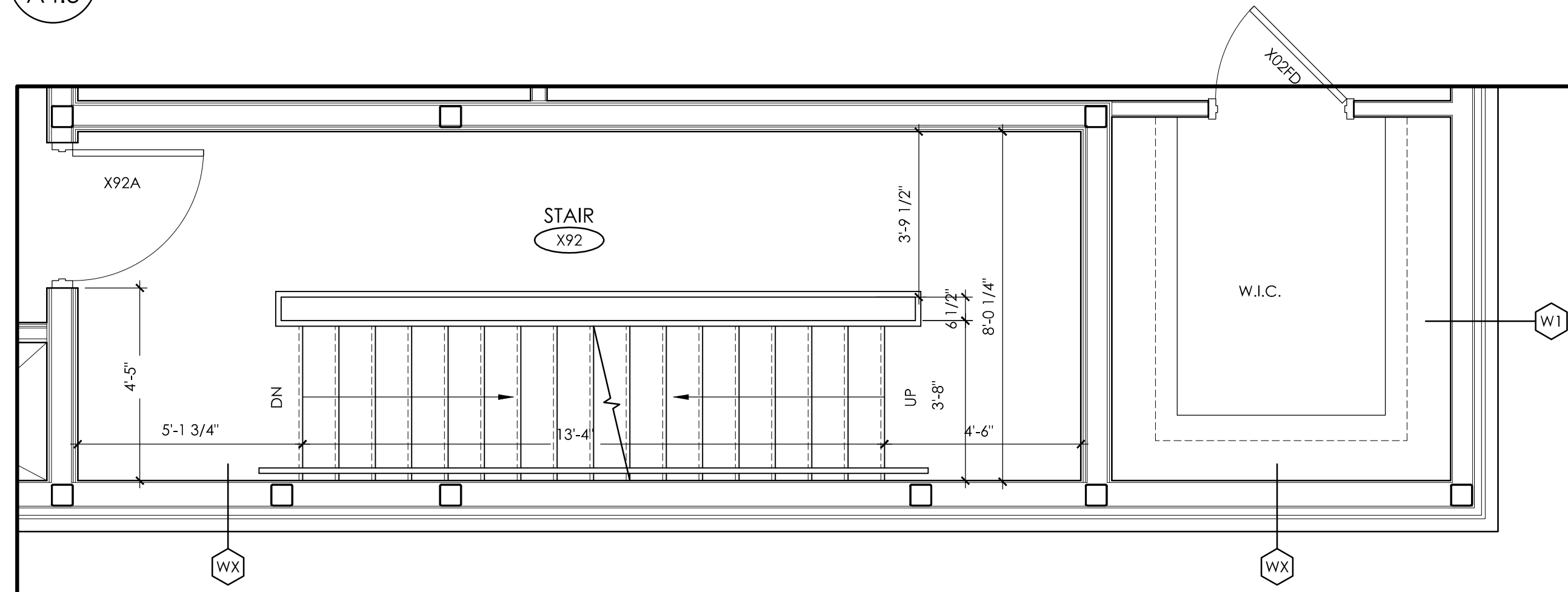
Revision: 14

STAIR X91 CROSS SECTION AND ELEVATOR SECTION

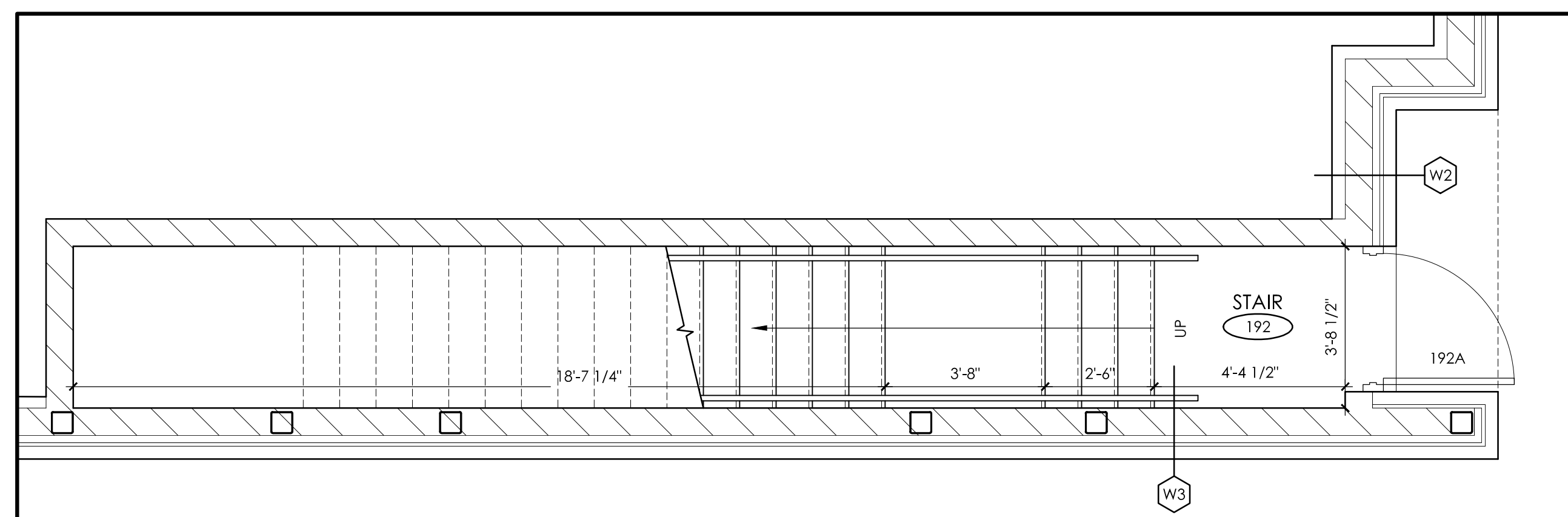




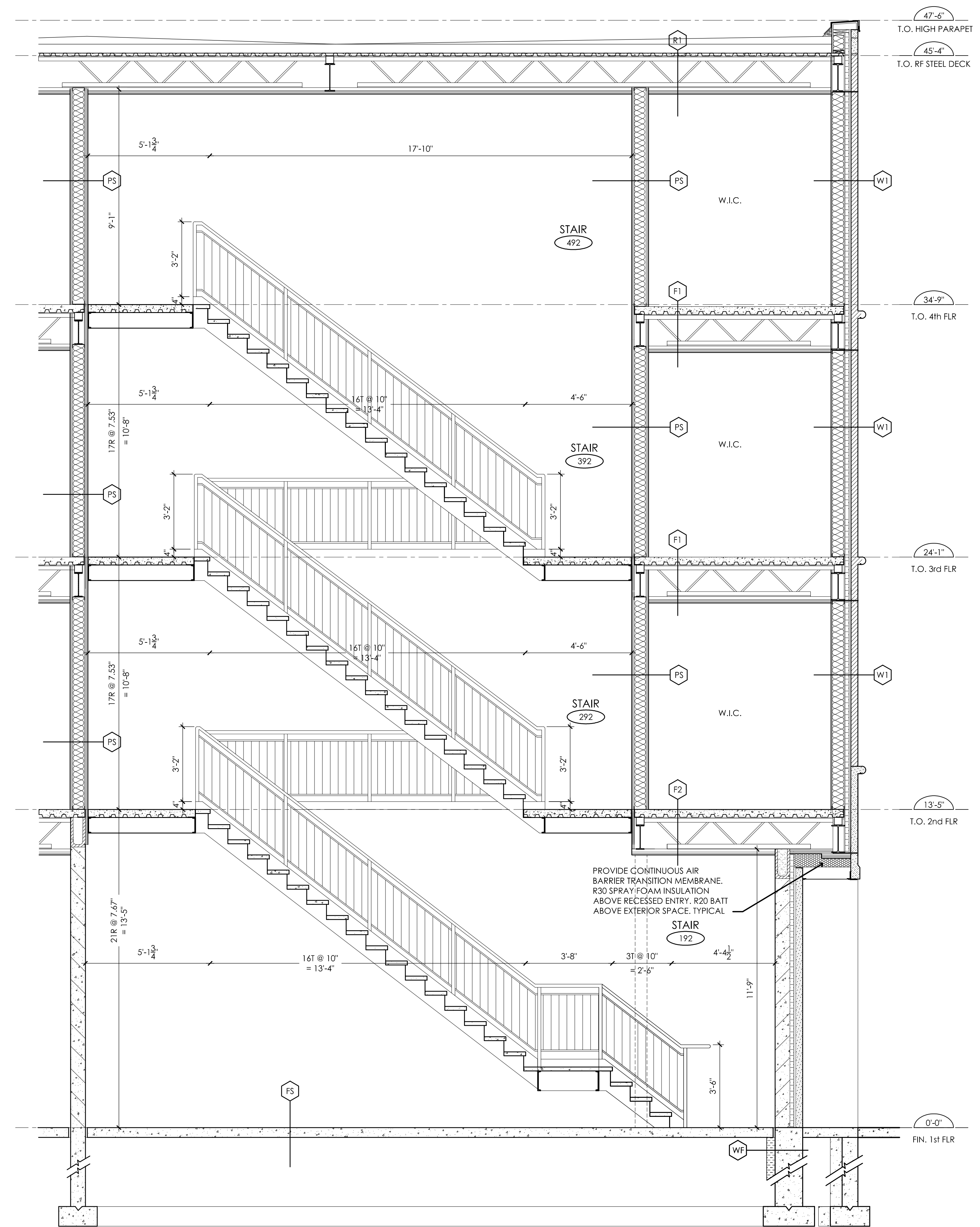
3 STAIR X92 SECOND & THIRD FLOOR PLAN  
A4.3 SCALE: 3/8" = 1'-0"



2 STAIR X92 SECOND & THIRD FLOOR PLAN  
A4.3 SCALE: 3/8" = 1'-0"



1 STAIR X92 FIRST FLOOR PLAN  
A4.3 SCALE: 3/8" = 1'-0"



0 STAIR X92 SECTION  
A4.3 SCALE: 3/8" = 1'-0"

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Revisions

REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17



**cianfrone architect**  
HAMILTON ON I N C. (905) 570 1656

Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

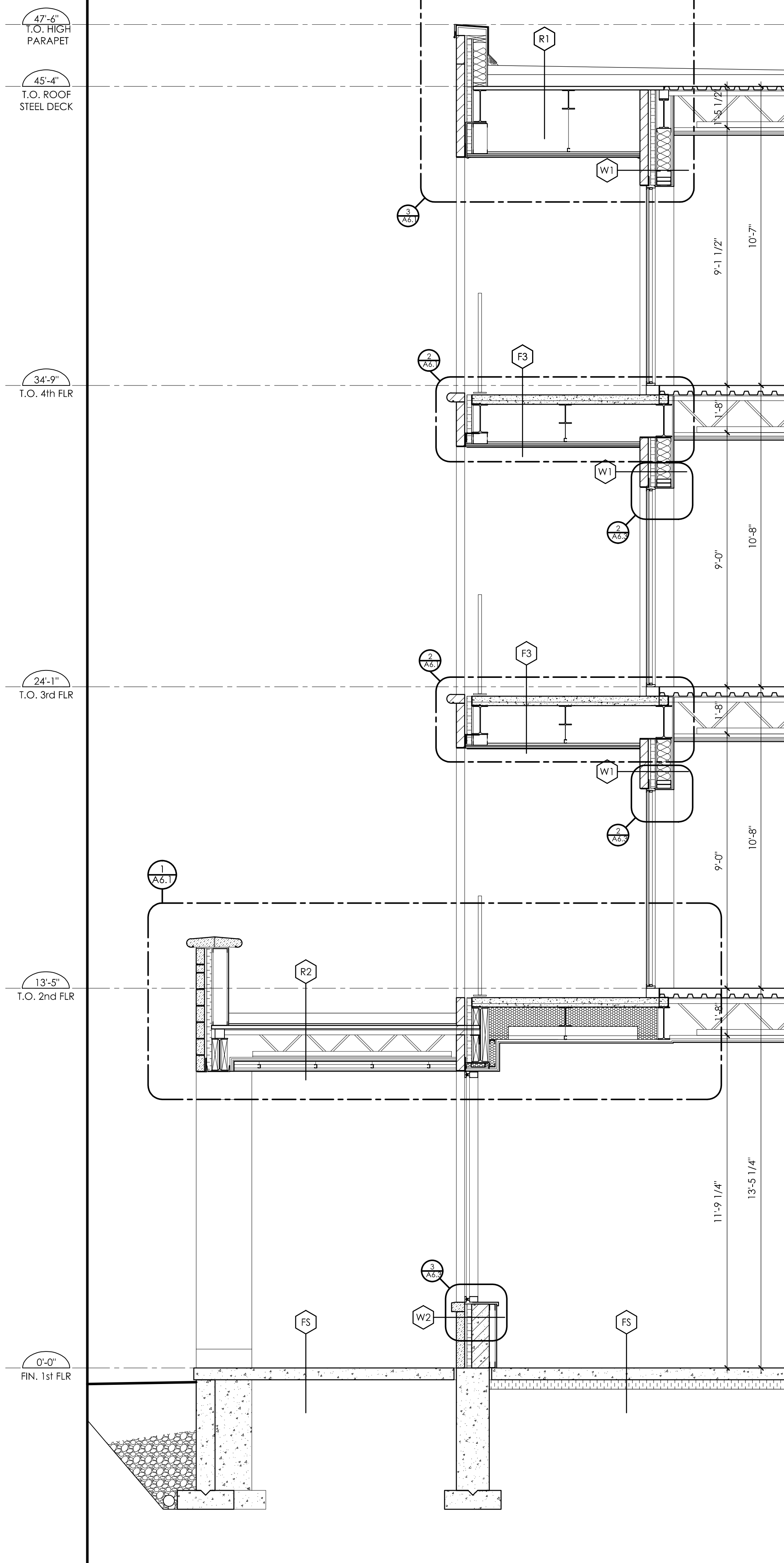
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Drawing No.:

**A4.3**

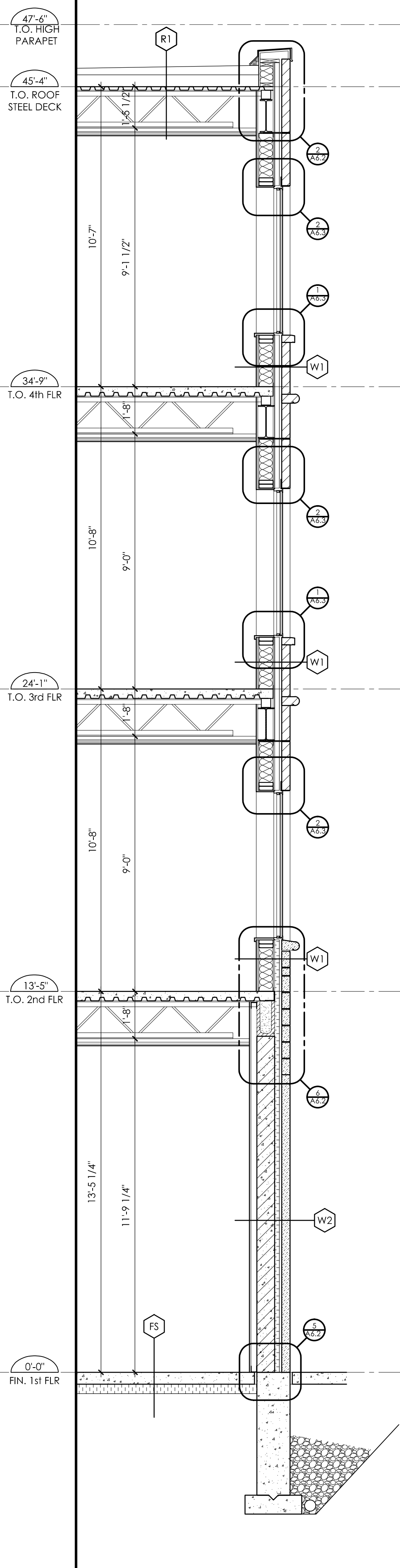
Revision: 14

STAIR DETAIL X92

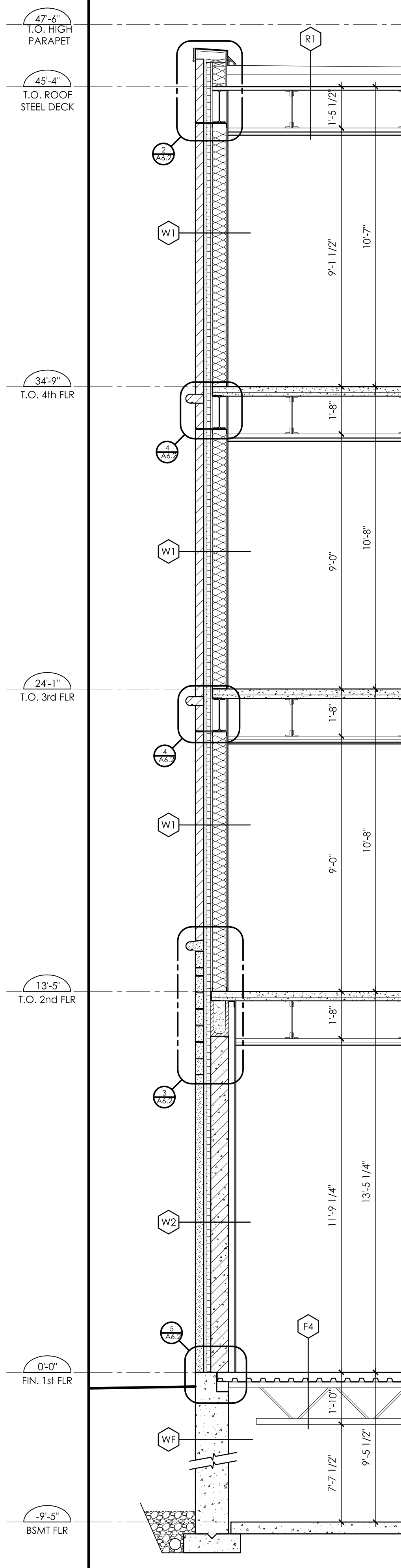




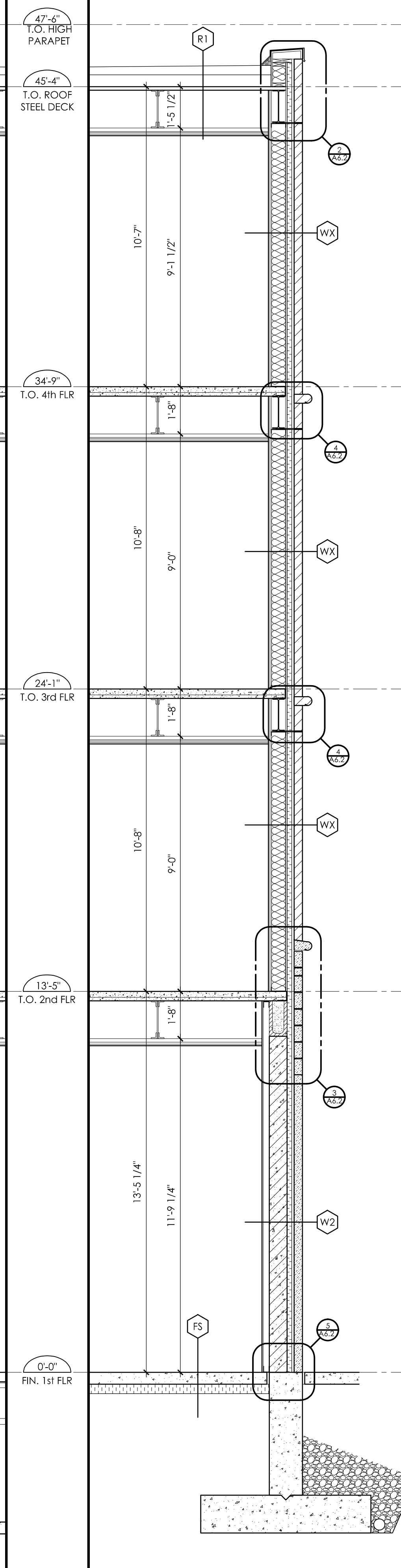
1 WALL SECTION  
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2 WALL SECTION  
A5.1 SCALE: 3/8" = 1'-0"



3 WALL SECTION  
A5.1 SCALE: 3/8" = 1'-0"



4 WALL SECTION  
A5.1 SCALE: 3/8" = 1'-0"

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11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
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1	06/20/2016	ISSUED FOR CLIENT REVIEW

Revisions

REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17



Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

Design: A.R.C. Project No.: -  
Drawn: I.A.M. Scale: 3/8" = 1'-0"  
Checked: A.R.C. Printed: 06/30/2017

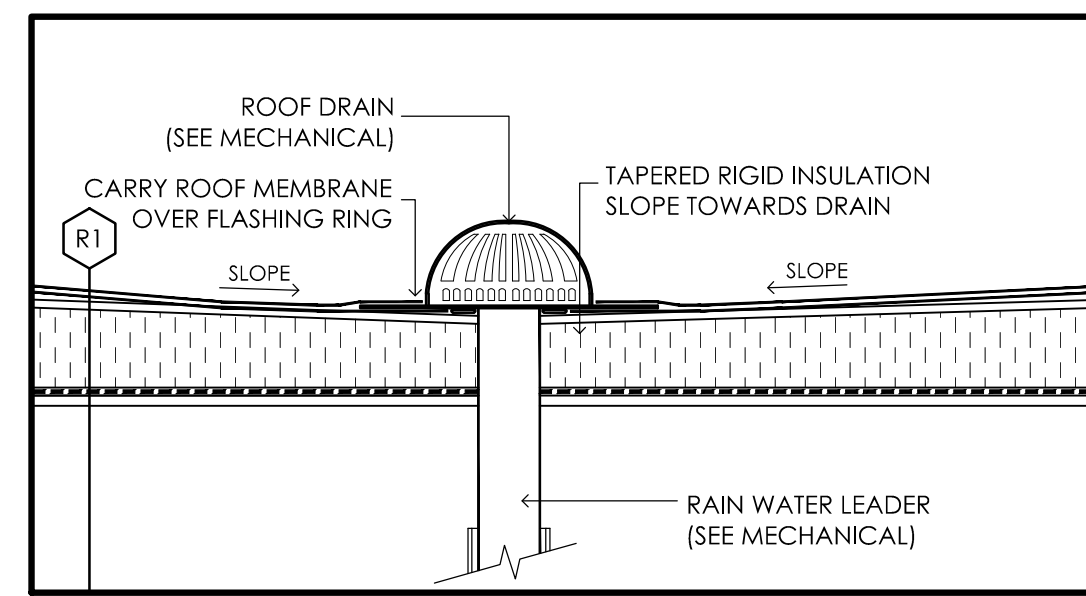
Drawing No.:

**A5.1**

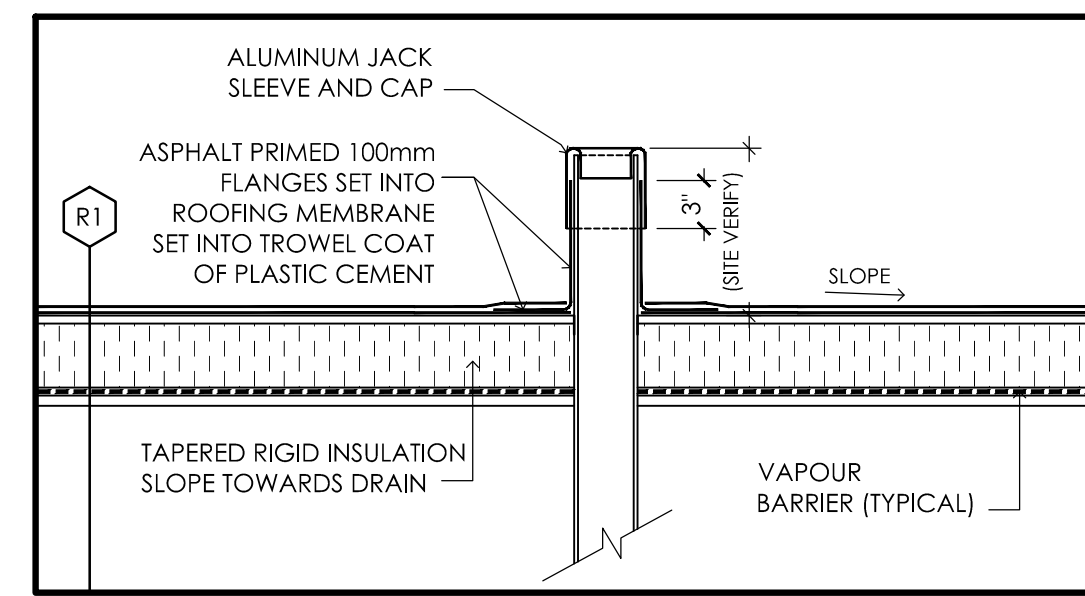
Revision: 14

WALL SECTIONS

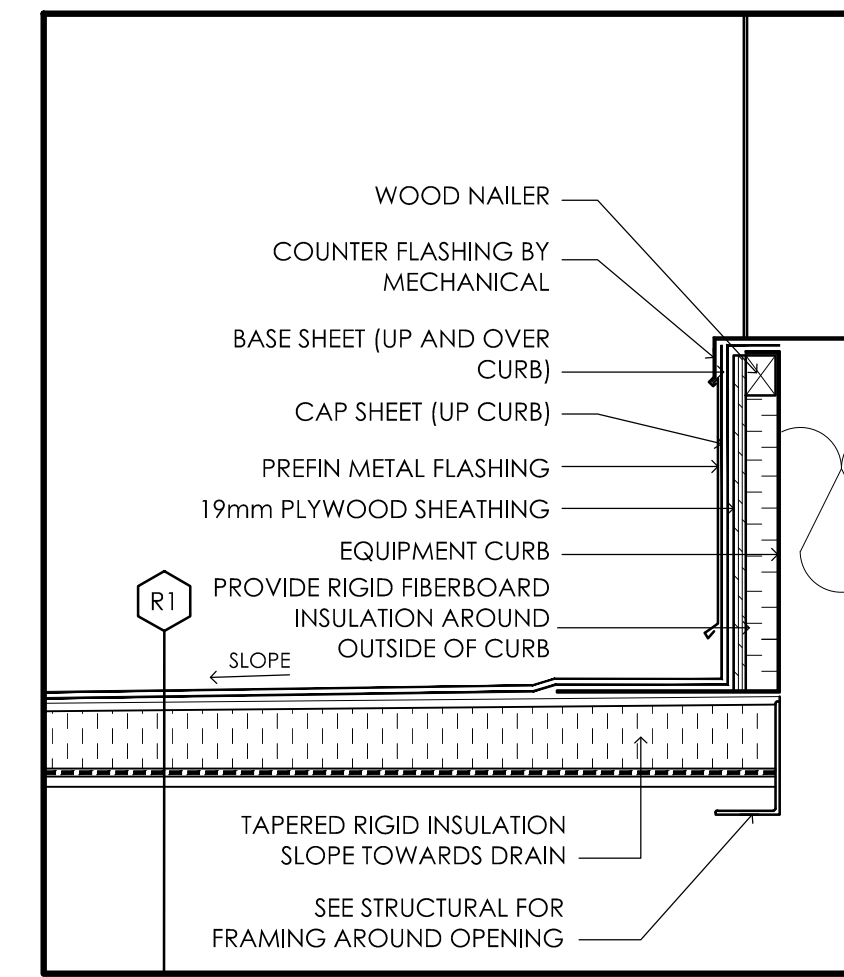




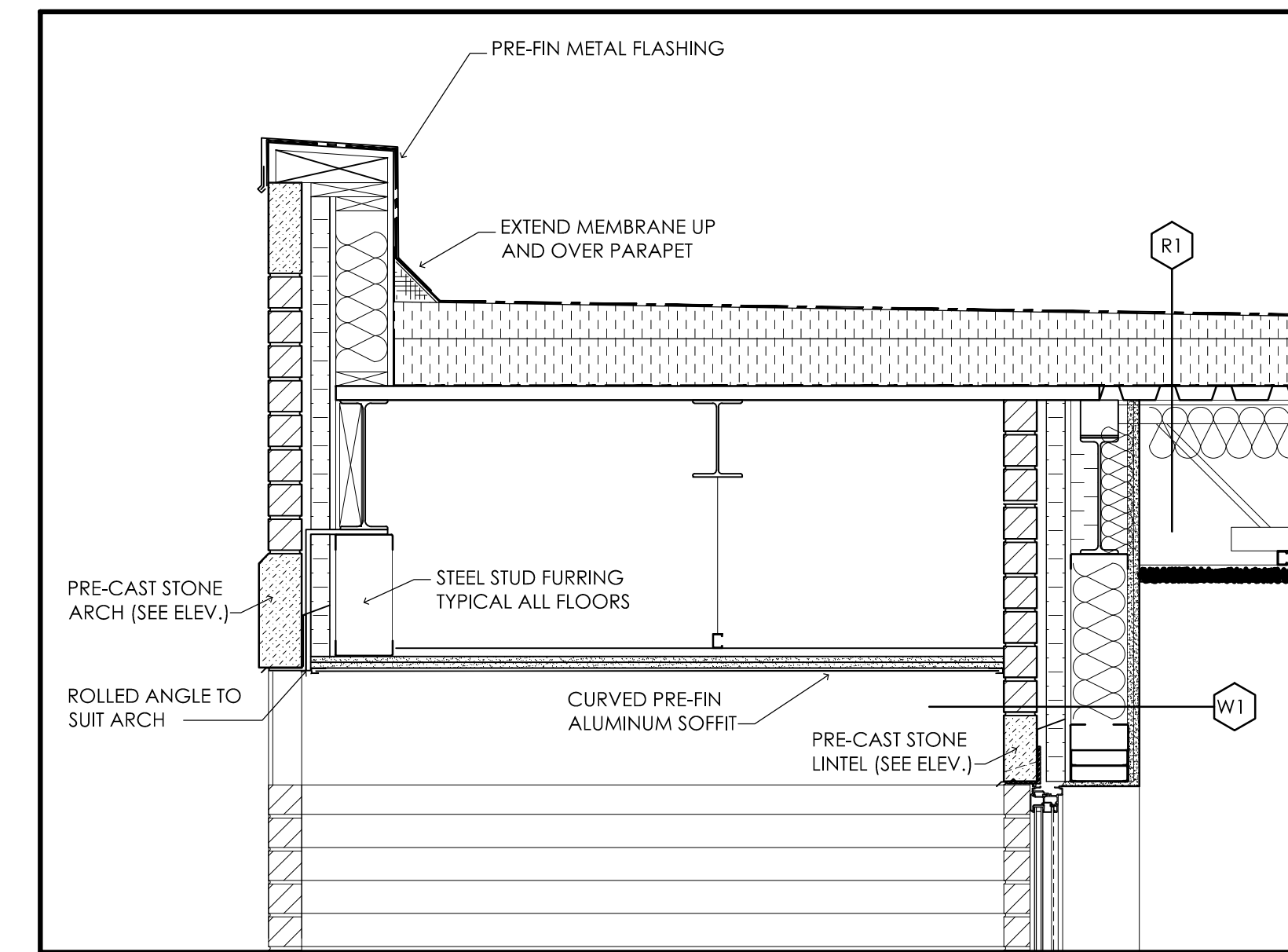
**7**  
**A6.1** ROOF DRAIN DETAIL (TYPICAL)  
SCALE: 1"=1'-0"



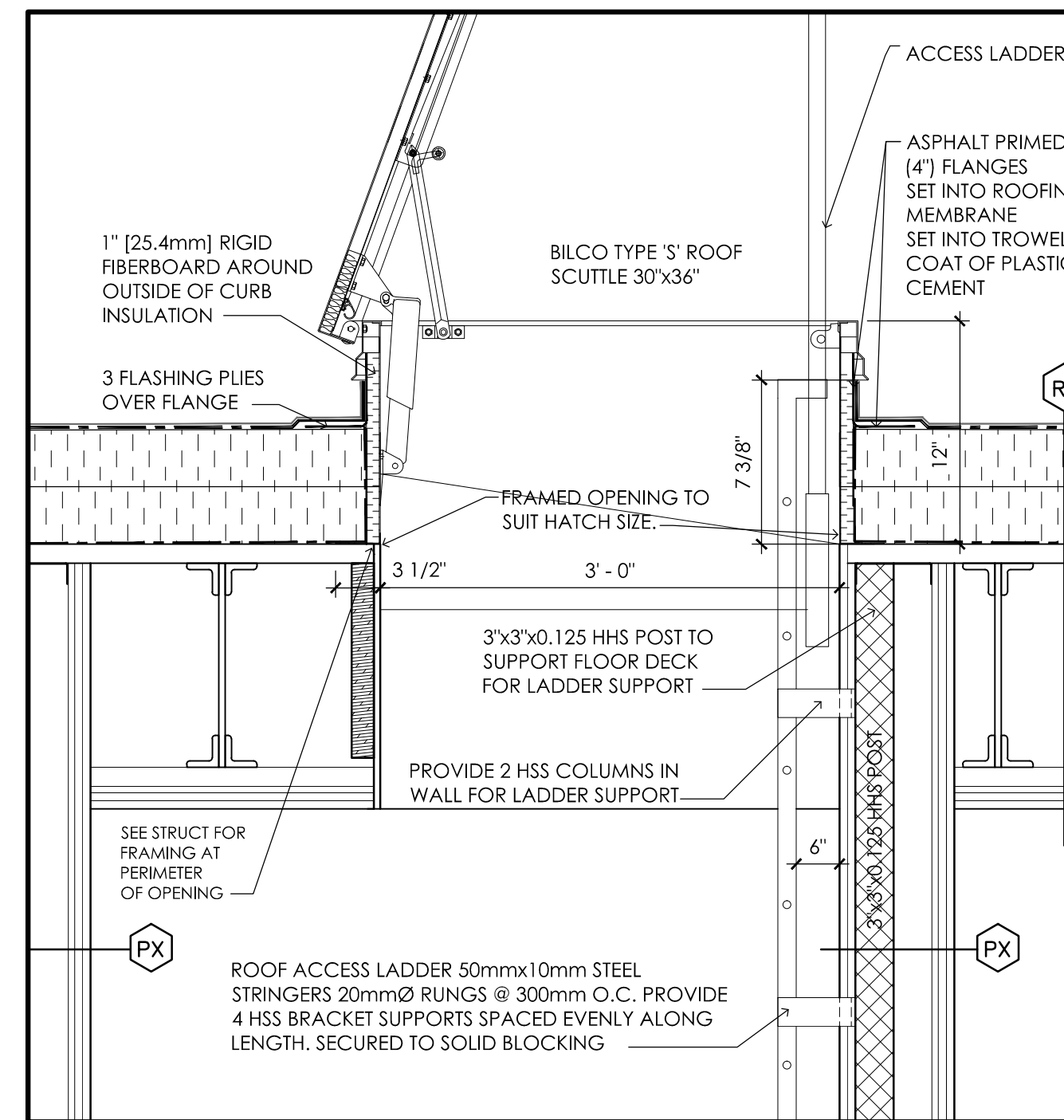
**6**  
**A6.1** ROOF VENT DETAIL  
SCALE: 1"=1'-0"



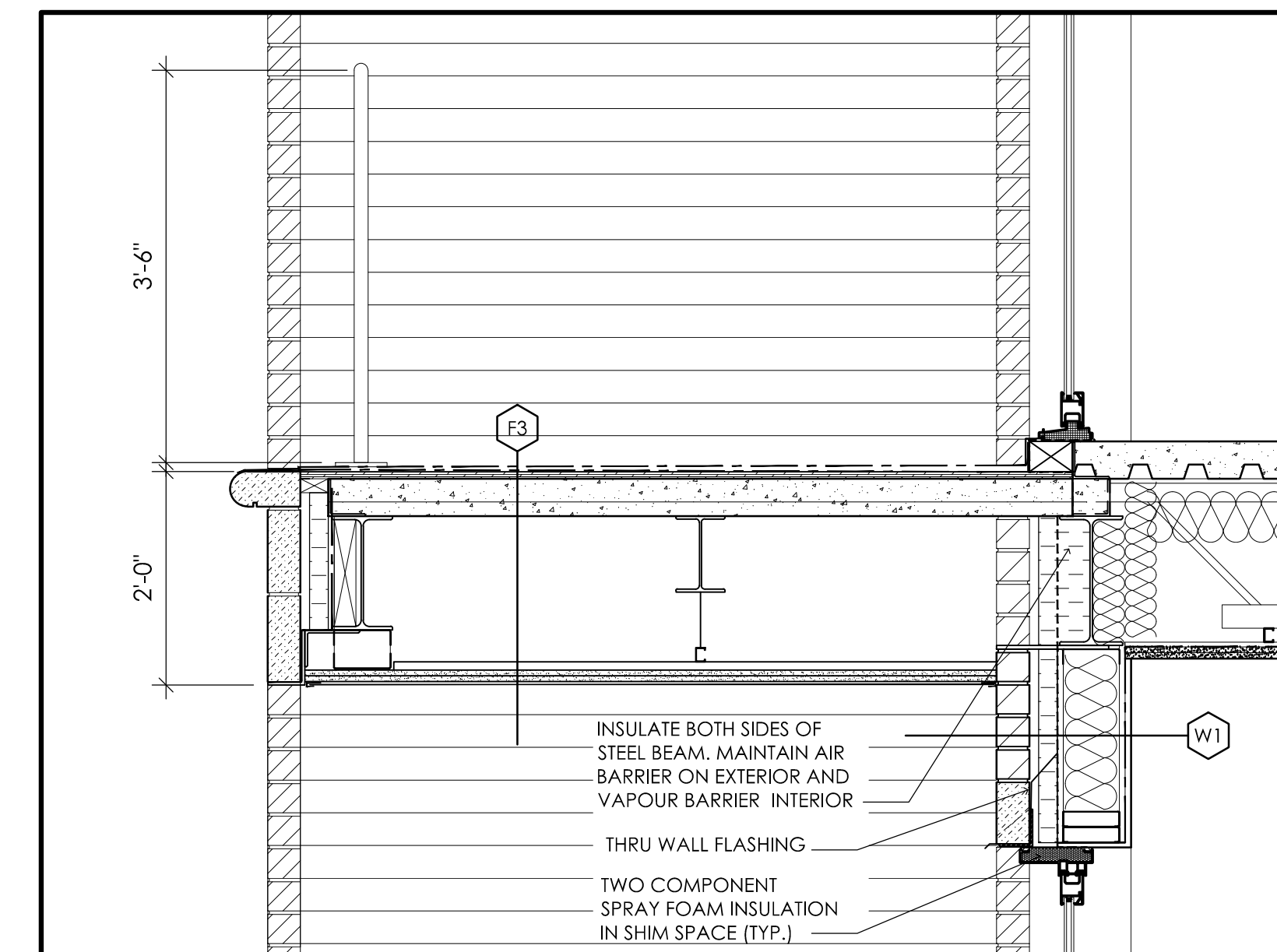
**5**  
**A6.1** MECHANICAL CURB DETAIL  
SCALE: 1"=1'-0"



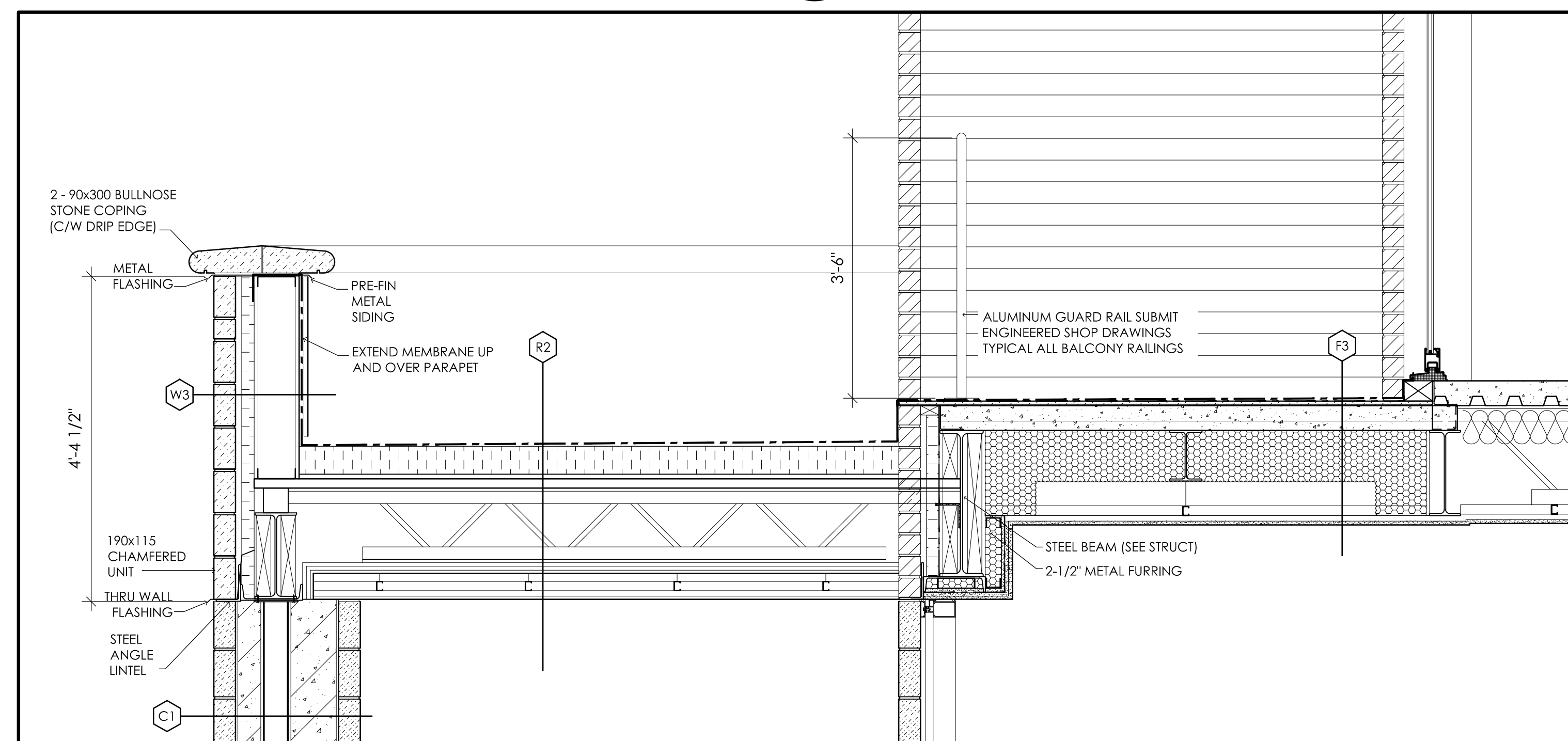
**3**  
**A6.1** 4TH FLOOR BALCONY ROOF @ SOUTH ELEVATION  
SCALE: 3/4" = 1'-0"



**4**  
**A6.1** ROOF ACCESS HATCH  
SCALE: 1" = 1'-0"



**2**  
**A6.1** 3RD & 4TH FLOOR BALCONY @ NORTH ELEVATION  
SCALE: 3/4" = 1'-0"



**1**  
**A6.1** 2ND FLOOR BALCONY & CANOPY @ SOUTH ELEVATION  
SCALE: 1 1/2" = 1'-0"

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No. Date Description

Revisions  
REVISED AS PER CITY COMMENTS #3 JUNE/28/17



Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

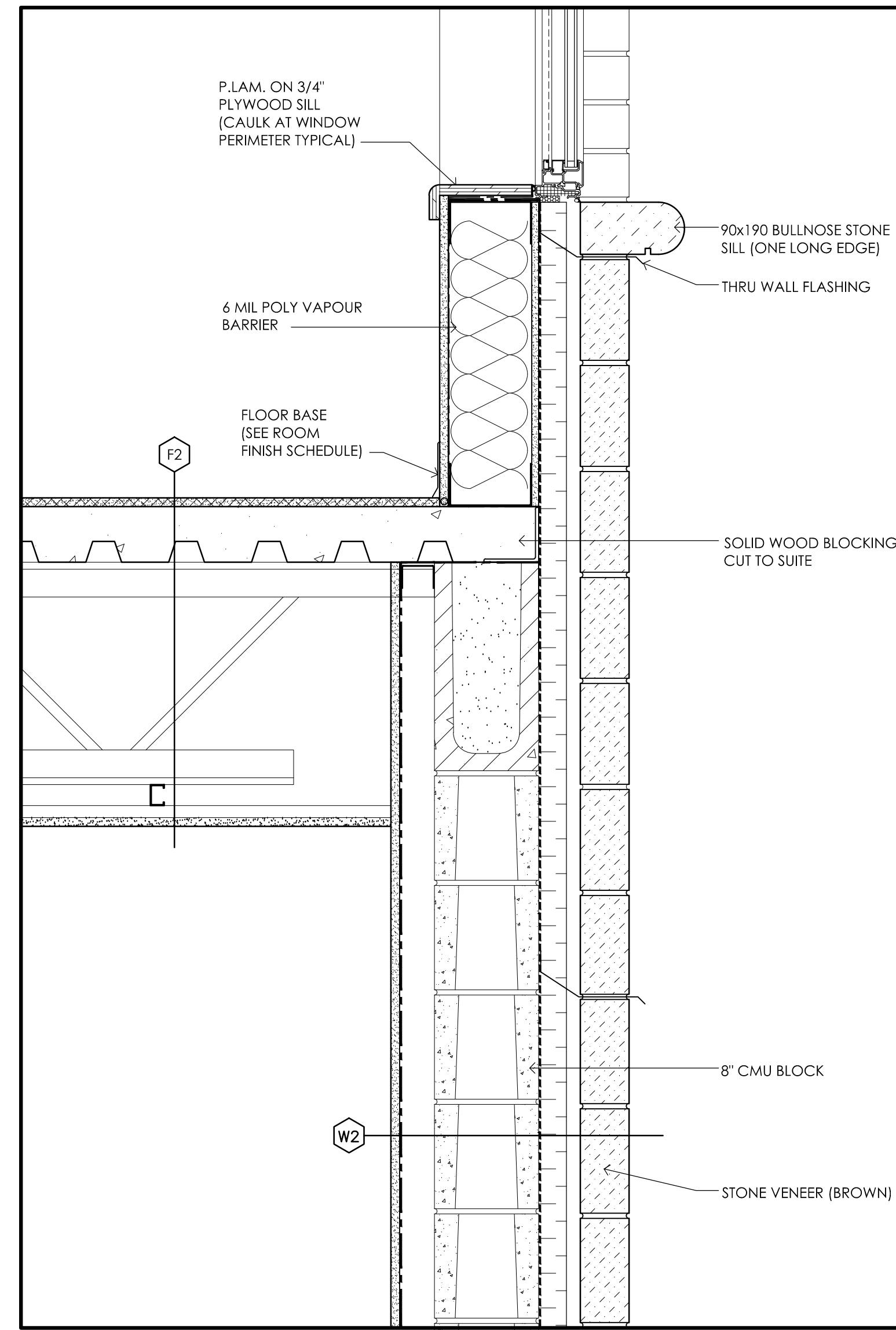
Design: A.R.C. Project No.: -  
Drawn: I.A.M. Scale: 3/8" = 1'-0"  
Checked: A.R.C. Printed: 06/30/2017

Drawing No.:  
**A6.1**

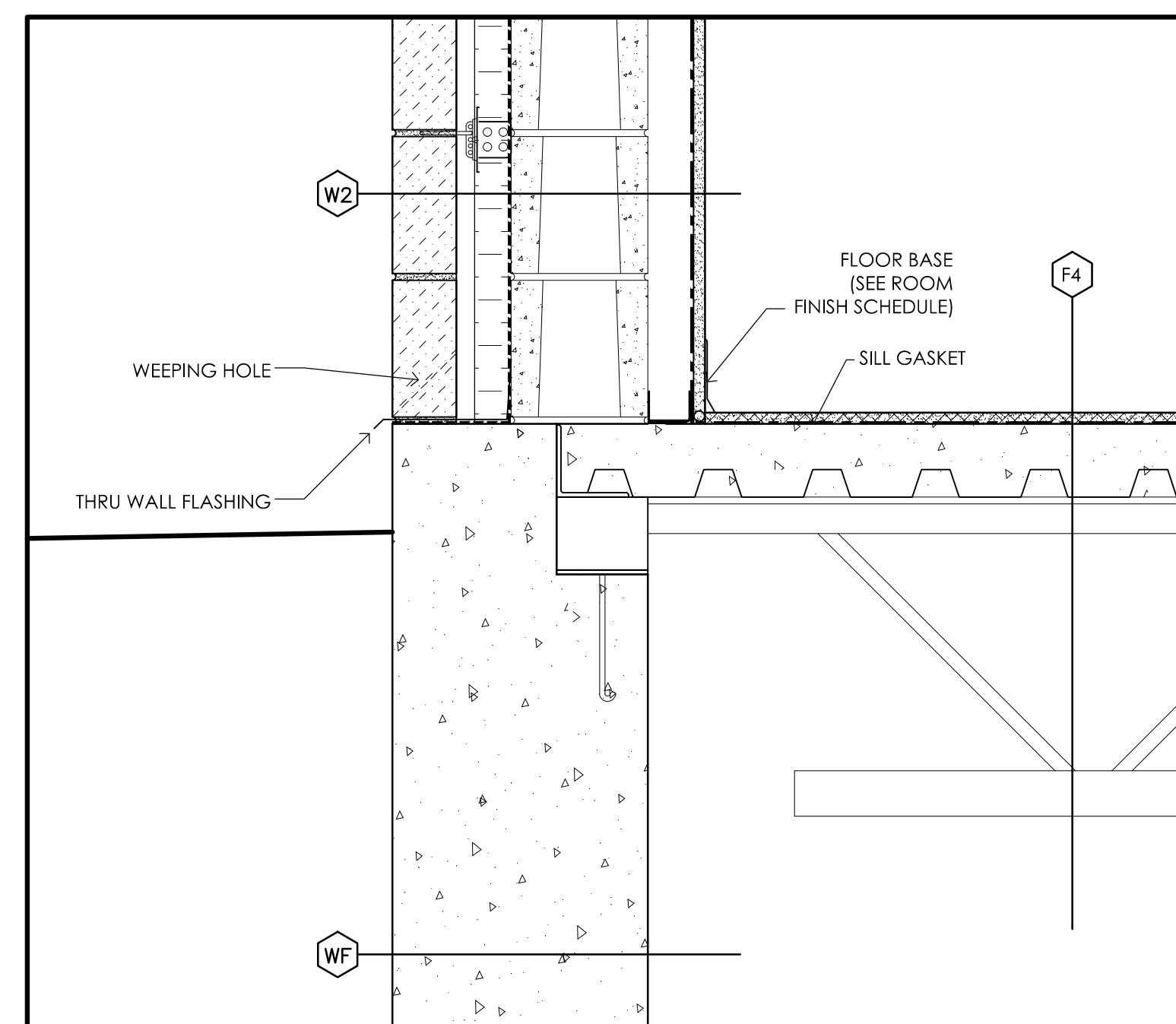
Revision: 14

DETAILS

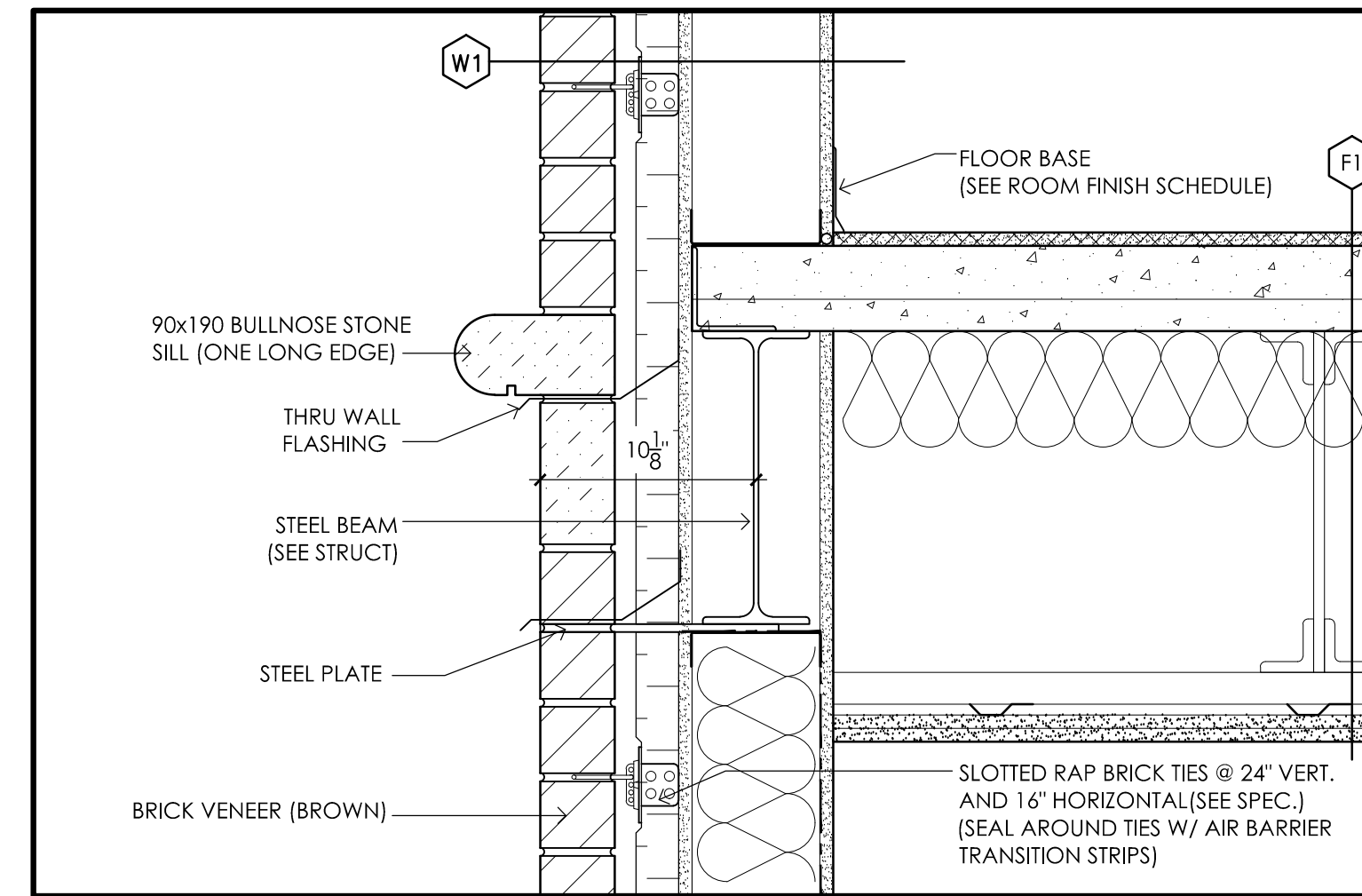




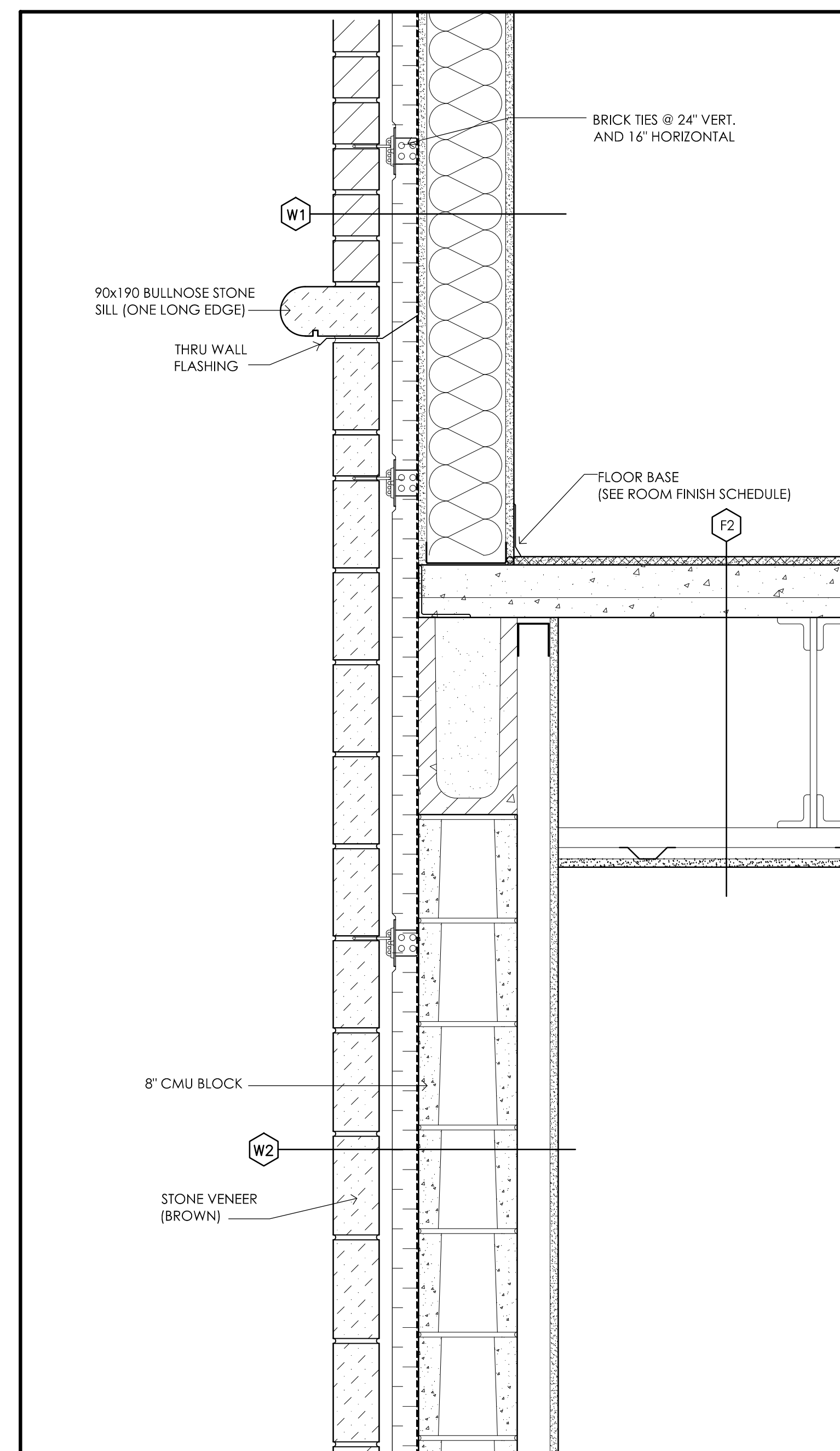
**6 WINDOW SILL AT 2nd FLOOR STONE BAND**  
A6.2 SCALE: 1-1/2" = 1'-0"



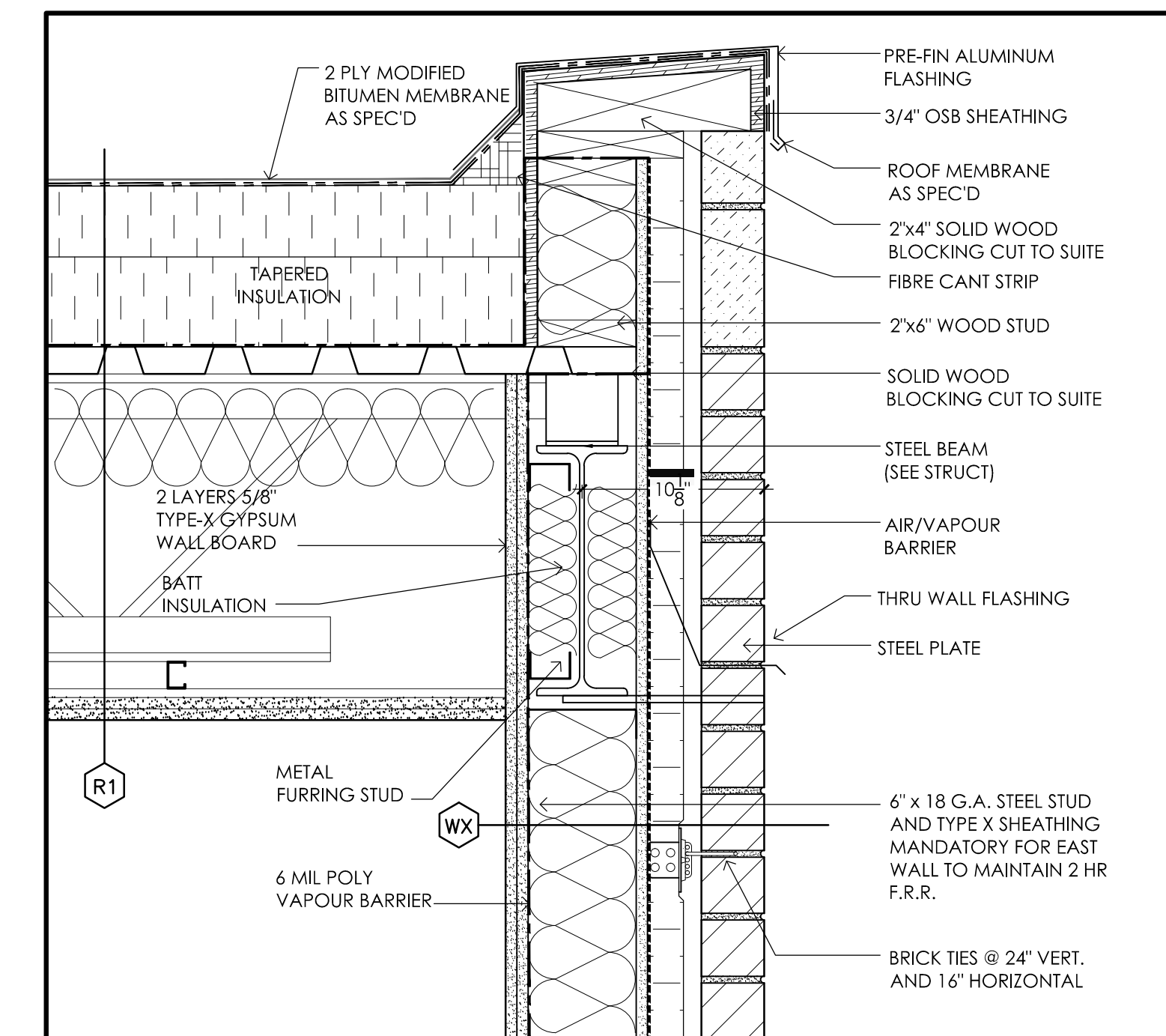
**5 GROUND FLOOR**  
A6.2 SCALE: 1-1/2" = 1'-0"



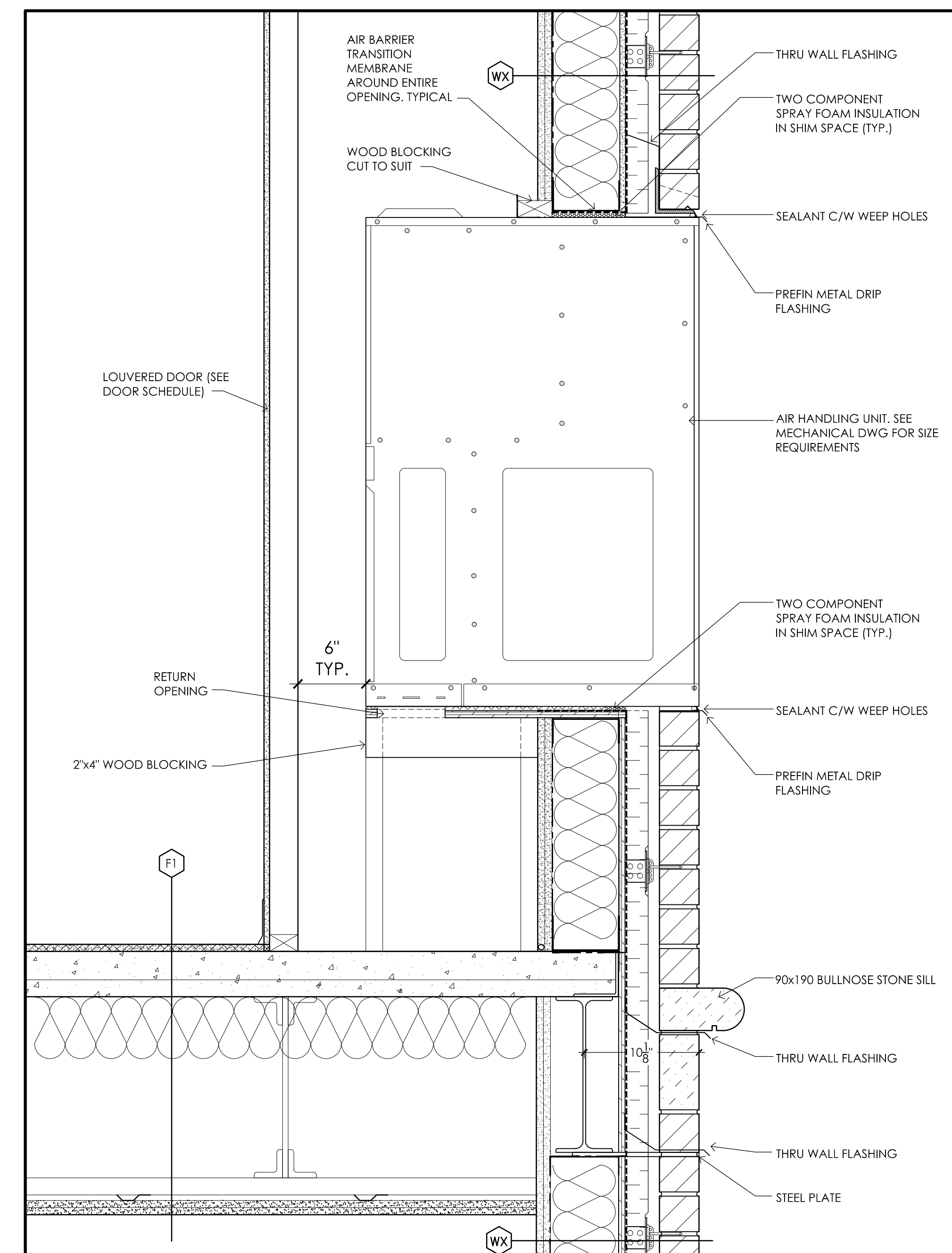
**4 TYPICAL STONE BAND @ BRICK**  
A6.2 SCALE: 1-1/2" = 1'-0"



**3 TYPICAL WINDOW SILL AT 2nd FLOOR STONE BAND**  
A6.2 SCALE: 1-1/2" = 1'-0"



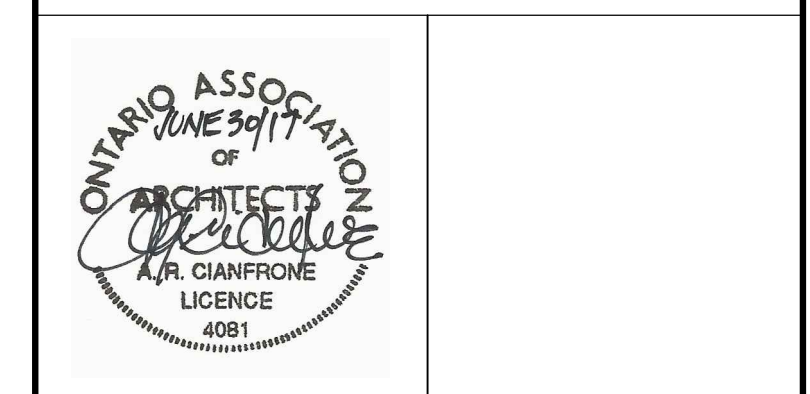
**2 TYPICAL PARAPET @ WALL**  
A6.2 SCALE: 1-1/2" = 1'-0"



**1 TYPICAL AIR HANDLING UNIT @ WALL**  
A6.2 SCALE: 1-1/2" = 1'-0"

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Revisions  
REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17



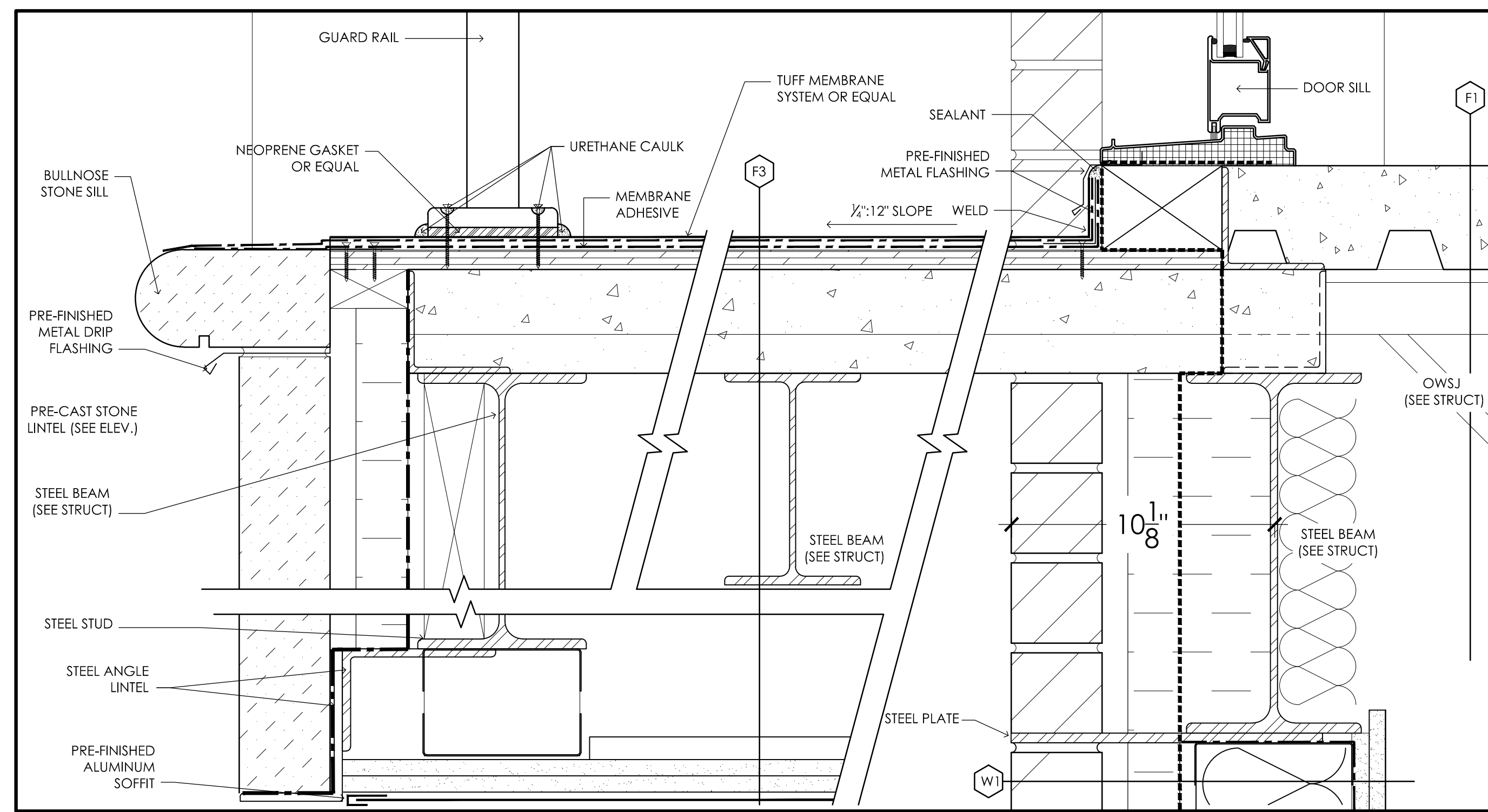
Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

Design: A.R.C. Project No.: -  
Drawn: I.A.M. Scale: 3/8" = 1'-0"  
Checked: A.R.C. Printed: 06/30/2017

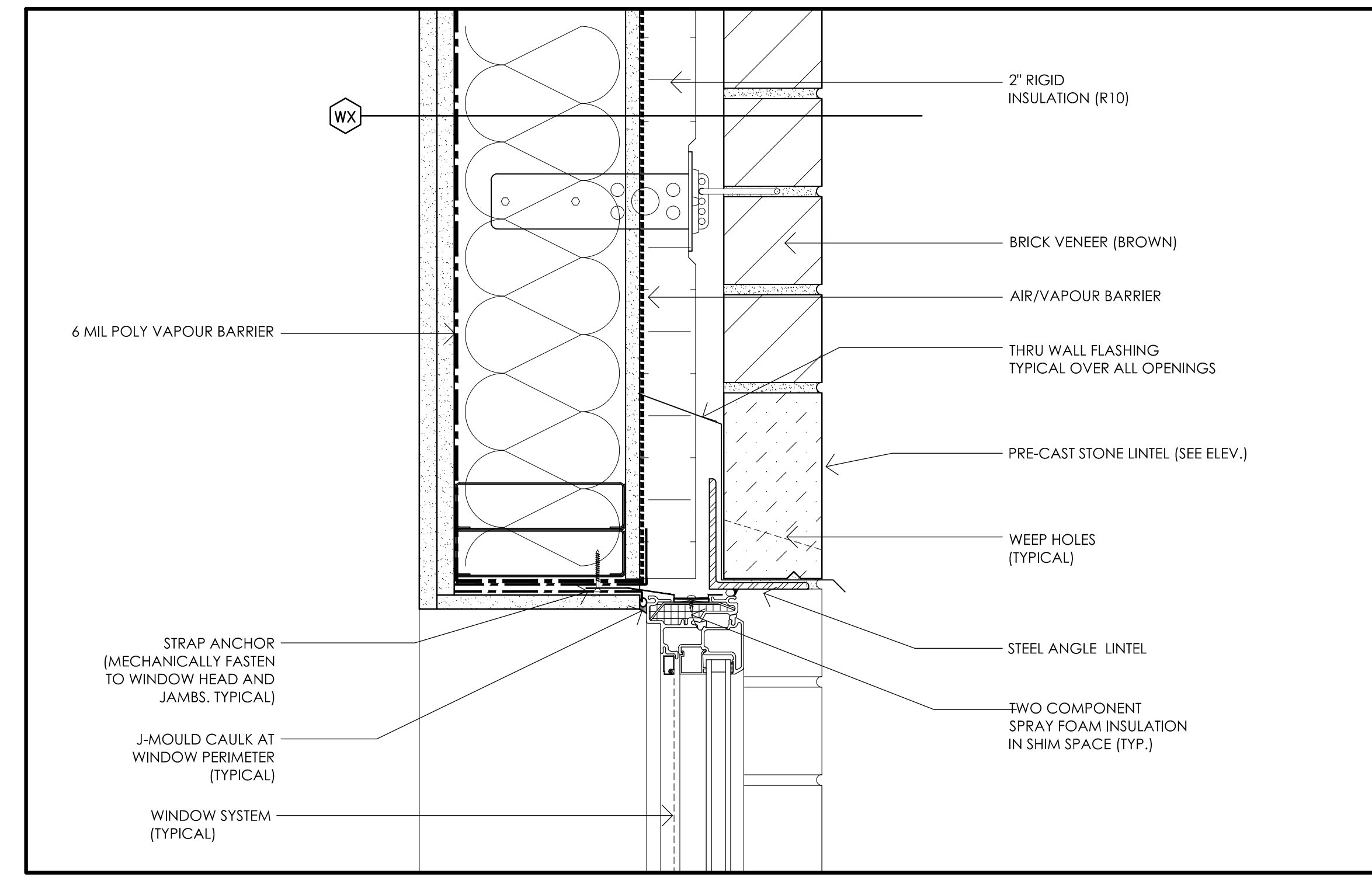
Drawing No.:  
**A6.2**  
Revision: 14

DETAILS

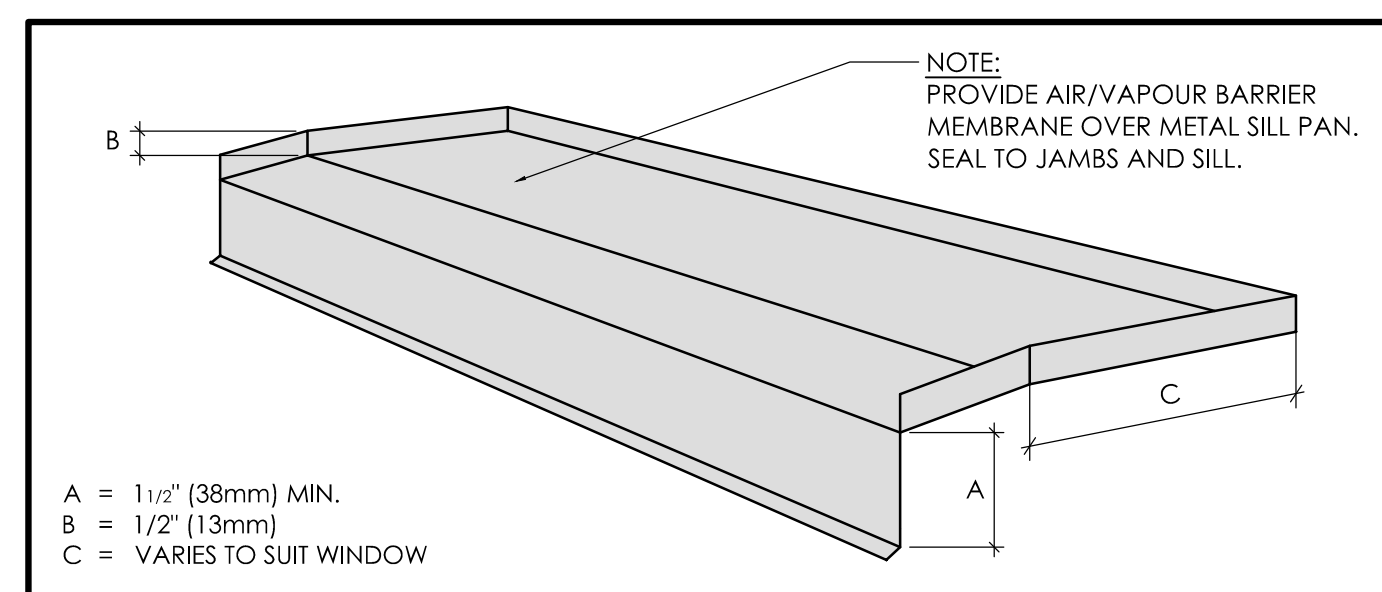




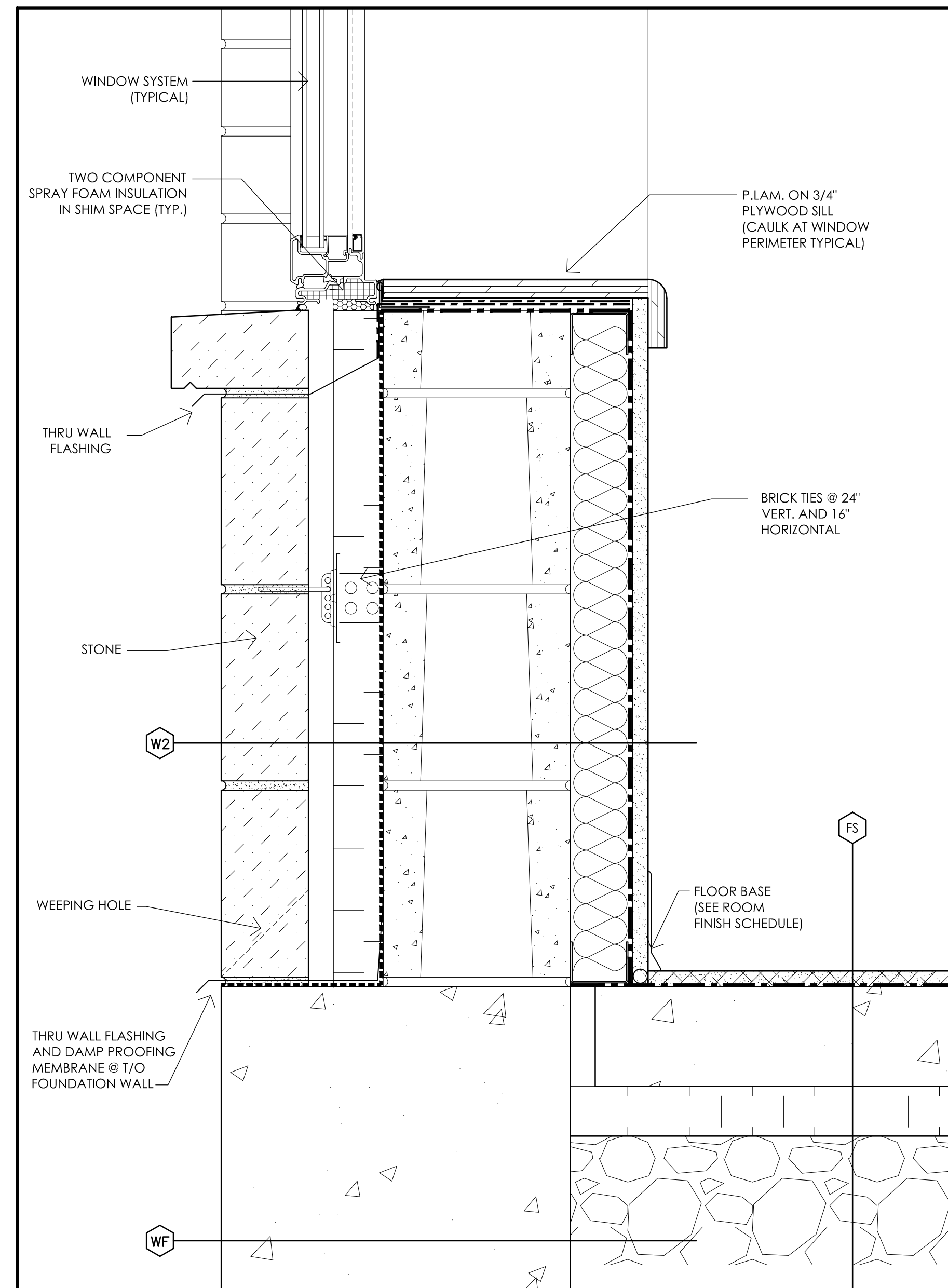
4 3RD & 4TH FLOOR BALCONY  
A6.3 SCALE: 3" = 1'-0"



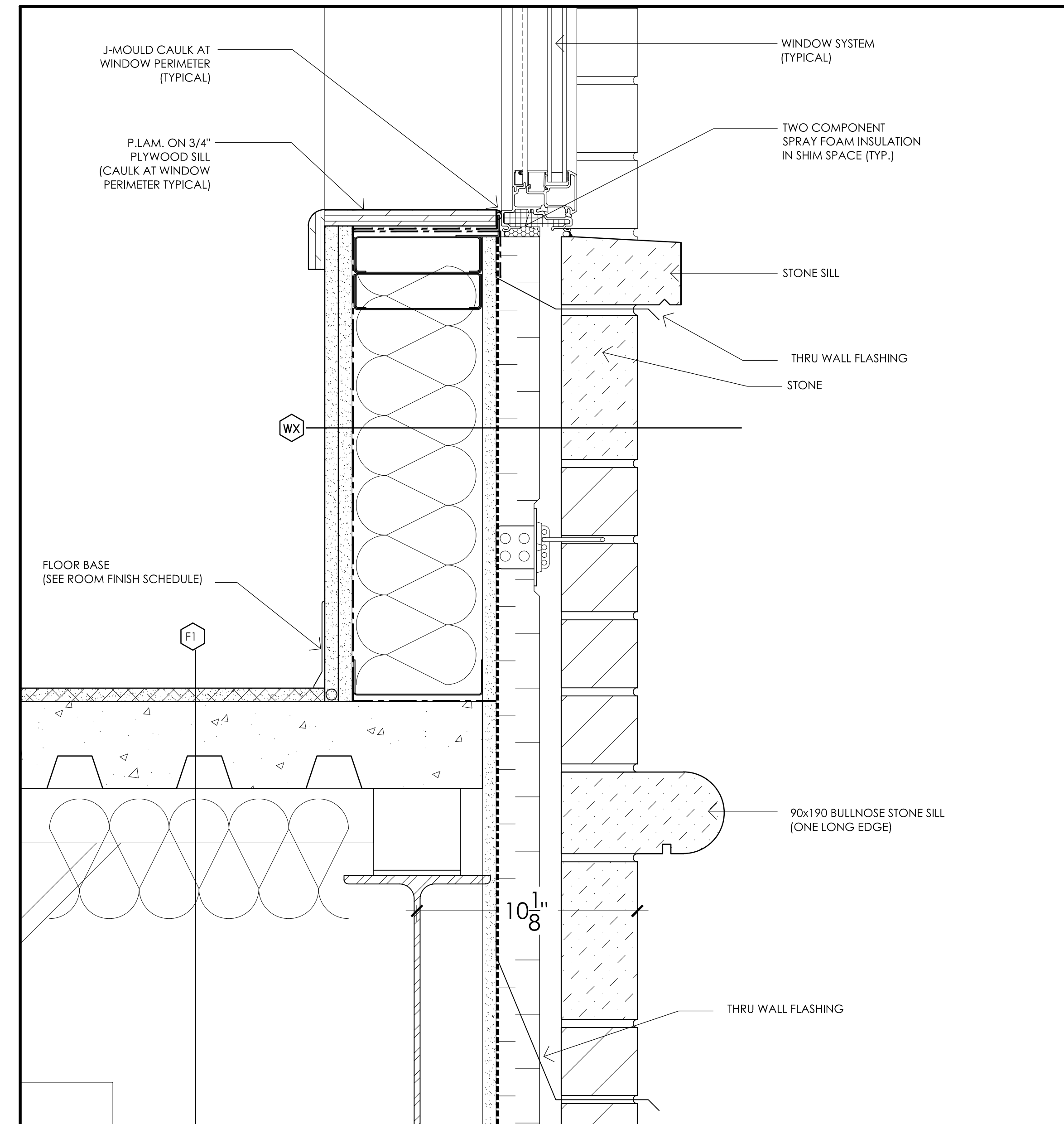
2 TYPICAL WINDOW HEAD  
A6.3 SCALE: 3" = 1'-0"



5 SILL PAN FLASHING DETAIL  
A6.3 SCALE: N.T.S. (TYPICAL AT ALL WINDOW SILLS)



3 TYPICAL STORE FRONT WINDOW SILL  
A6.3 SCALE: 3" = 1'-0"



1 TYPICAL WINDOW SILL  
A6.3 SCALE: 3" = 1'-0"

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Revisions  
REVISED AS PER CITY COMMENTS #3 JUNE/28/17

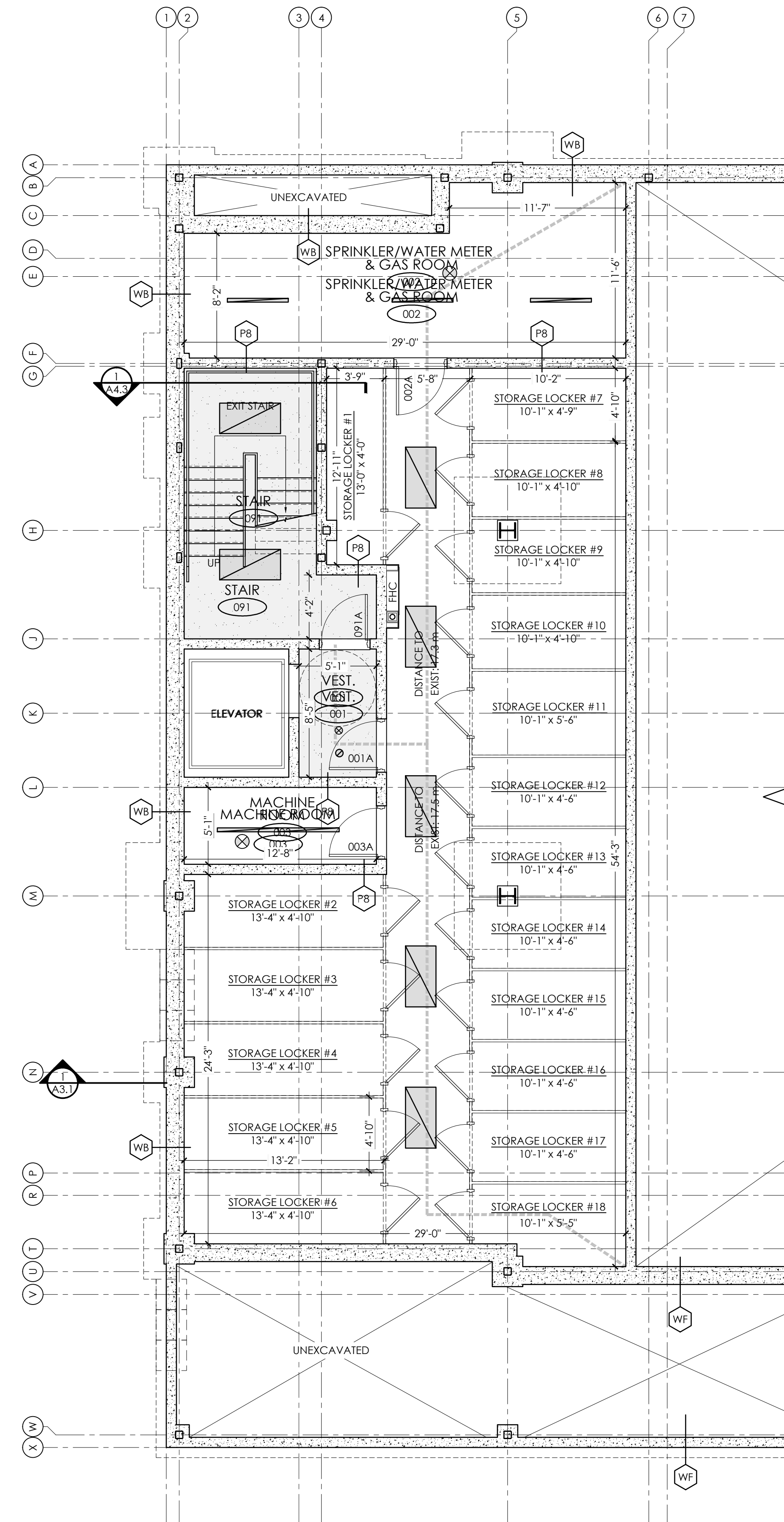


Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

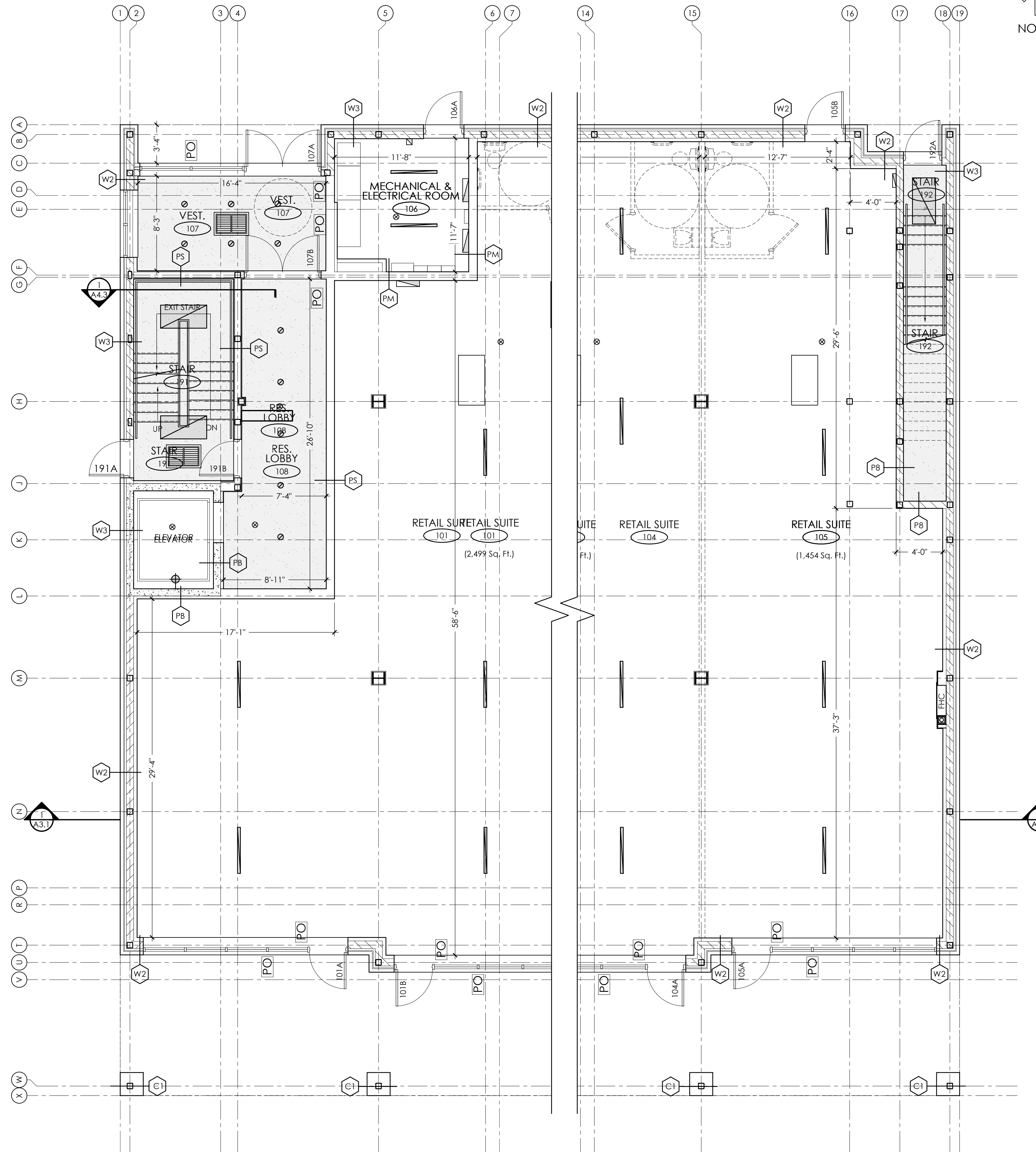
Design:	A.R.C.	Project No.:	-
Drawn:	I.A.M.	Scale:	3/8" = 1'-0"
Checked:	A.R.C.	Printed:	06/30/2017
Drawing No.:	A6.3		

DETAILS

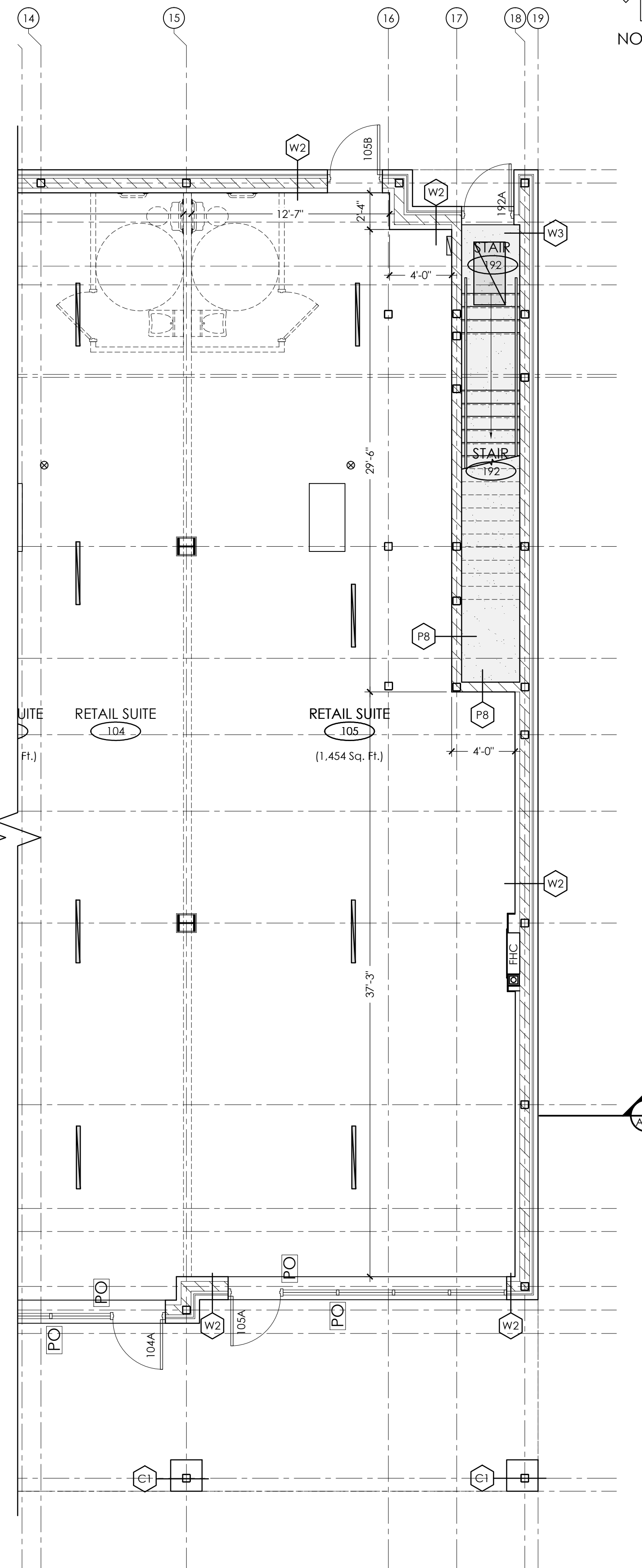




↑ NORTH  
**BASEMENT PLAN**  
 SCALE: 3/16" = 1'-0"  
 BASEMENT CEILING PLAN  
 SCALE: 3/16" = 1'-0"



↑ NORTH  
**FIRST FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"  
 FIRST FLOOR WEST CEILING PLAN  
 SCALE: 3/16" = 1'-0"



↑ NORTH  
**FIRST FLOOR EAST CEILING PLAN**  
 SCALE: 3/16" = 1'-0"

**CEILING PLAN LEGEND**

- DRYWALL CEILING  
HEIGHT: U/S OF JOISTS
- DRYWALL CEILING  
HEIGHT: 8'-0"
- SURFACE MOUNTED  
24" x 48" LIGHT FIXTURE
- SUSPENDED STRIP  
LIGHT FIXTURE
- VANITY  
LIGHT FIXTURE
- RECESSED LED  
DOWNLIGHT
- CEILING MOUNTED  
LIGHT FIXTURE
- LED WALL SCONCE
- WATER RESISTANT  
LIGHT FIXTURE
- 3-LIGHT TRACK  
LIGHTING FIXTURE
- SMOKE DETECTOR

No.	Date	Description
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Revisions  
 REVISED AS PER CITY COMMENTS  
 #3 JUNE/28/17

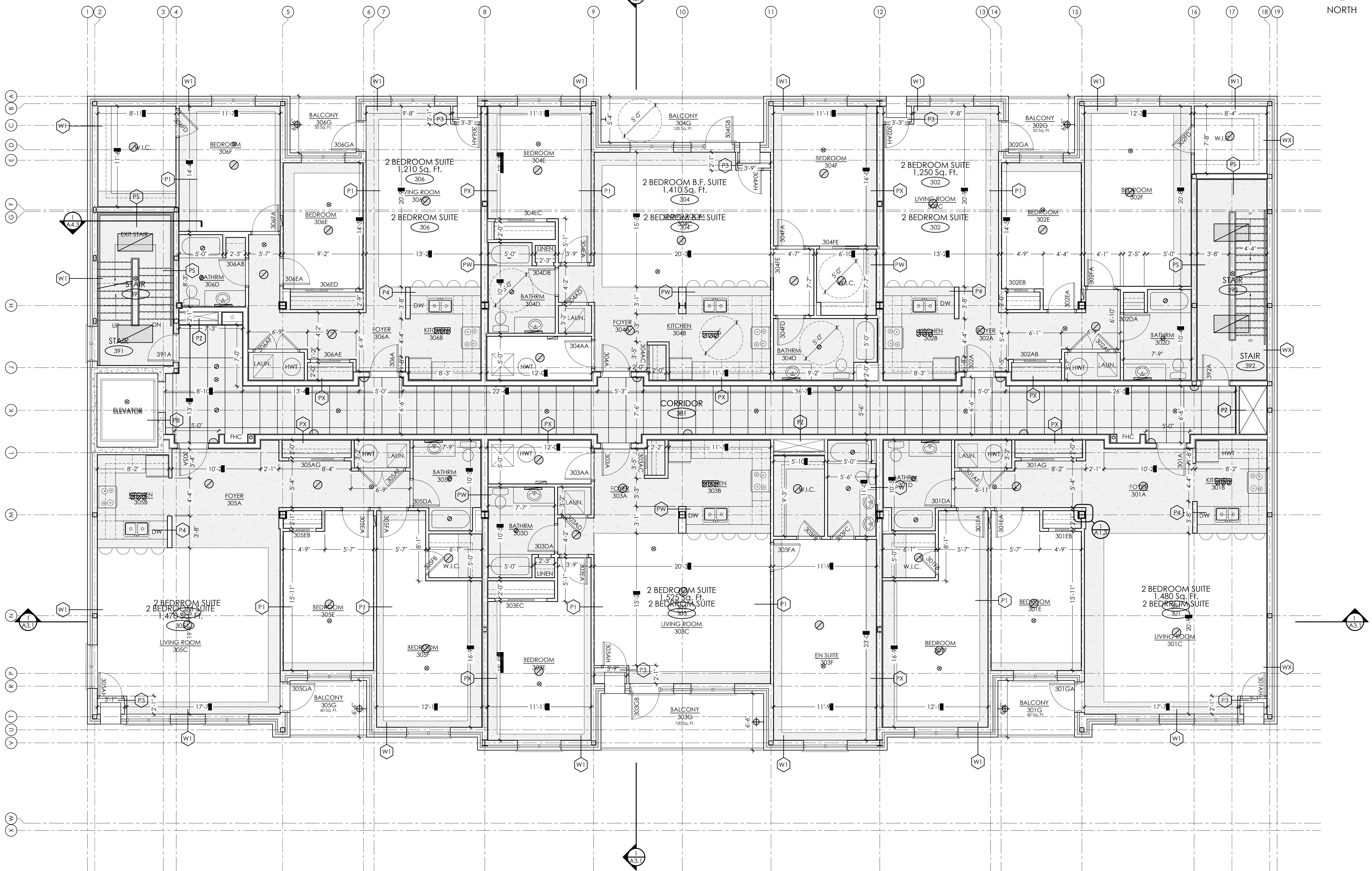


Project:  
**PROPOSED DEVELOPMENT**  
 490 TAUNTON ROAD EAST  
 OSHAWA, ONTARIO



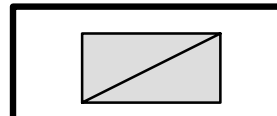

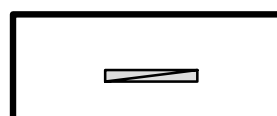
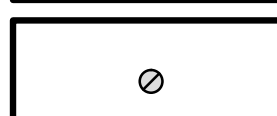
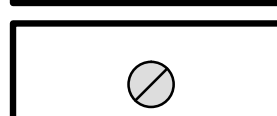
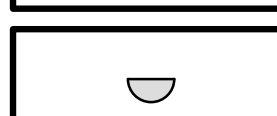
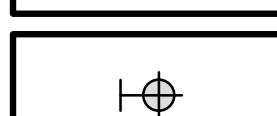
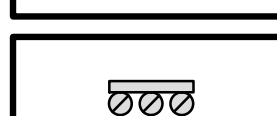
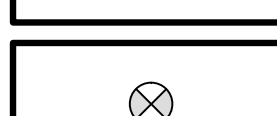
Design: A.R.C. Project No.: -  
 Drawn: I.A.M. Scale: 3/16" = 1'-0"  
 Checked: A.R.C. Printed: 06/30/2017

Drawing No.:  
**A7.1**





**CEILING PLAN LEGEND**

-  DRYWALL CEILING  
HEIGHT: U/S OF JOISTS
-  DRYWALL CEILING  
HEIGHT: 8'-0"
-  SURFACE MOUNTED  
24" x 48" LIGHT FIXTURE
-  SUSPENDED STRIP  
LIGHT FIXTURE
-  VANITY  
LIGHT FIXTURE
-  RECESSED LED  
DOWNLIGHT
-  CEILING MOUNTED  
LIGHT FIXTURE
-  LED WALL SCONCE
-  WATER RESISTANT  
LIGHT FIXTURE
-  3-LIGHT TRACK  
LIGHTING FIXTURE
-  SMOKE DETECTOR

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Revisions

**REVISED AS PER CITY COMMENTS  
#3 JUNE/28/17**



Project:

**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

Design: A.R.C.	Project No.: -
Drawn: I.A.M.	Scale: 3/16" = 1'-0"
Checked: A.R.C.	Printed: 06/30/2017

Drawing No.: **A7.2**

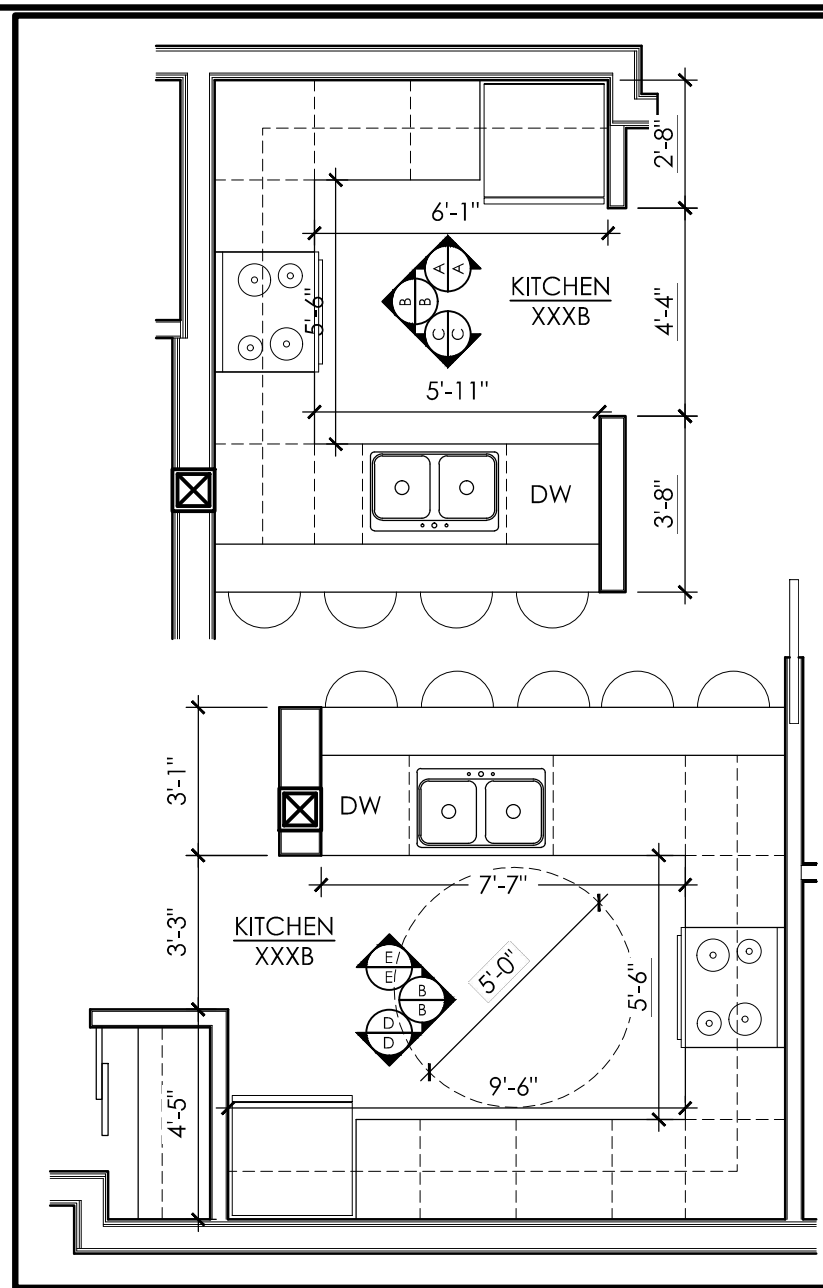
Revision: 14

↑  
NORTH

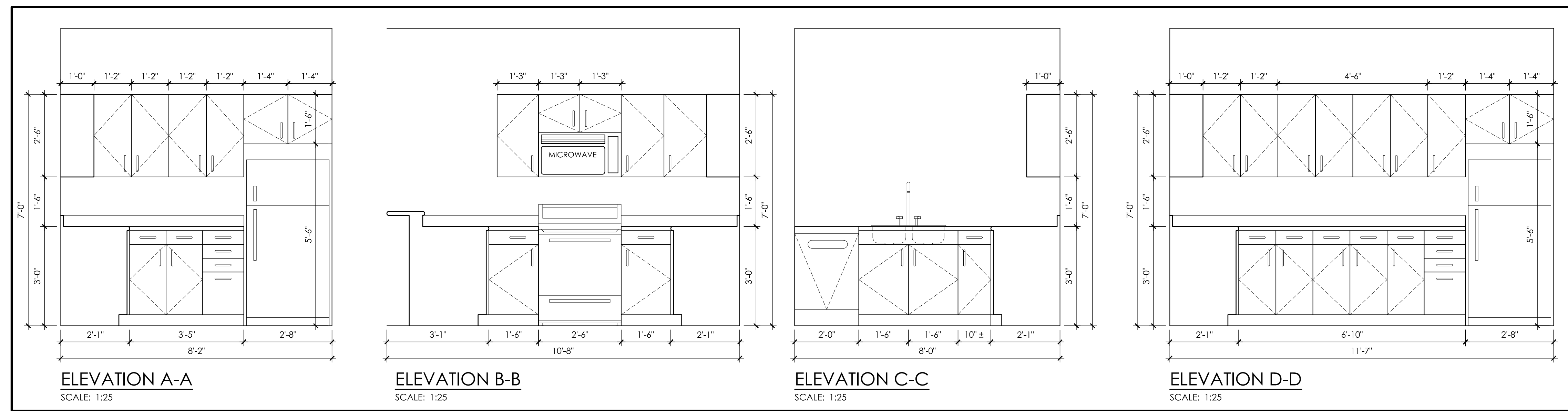
**THIRD FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

TYPICAL FLOOR  
CEILING PLAN

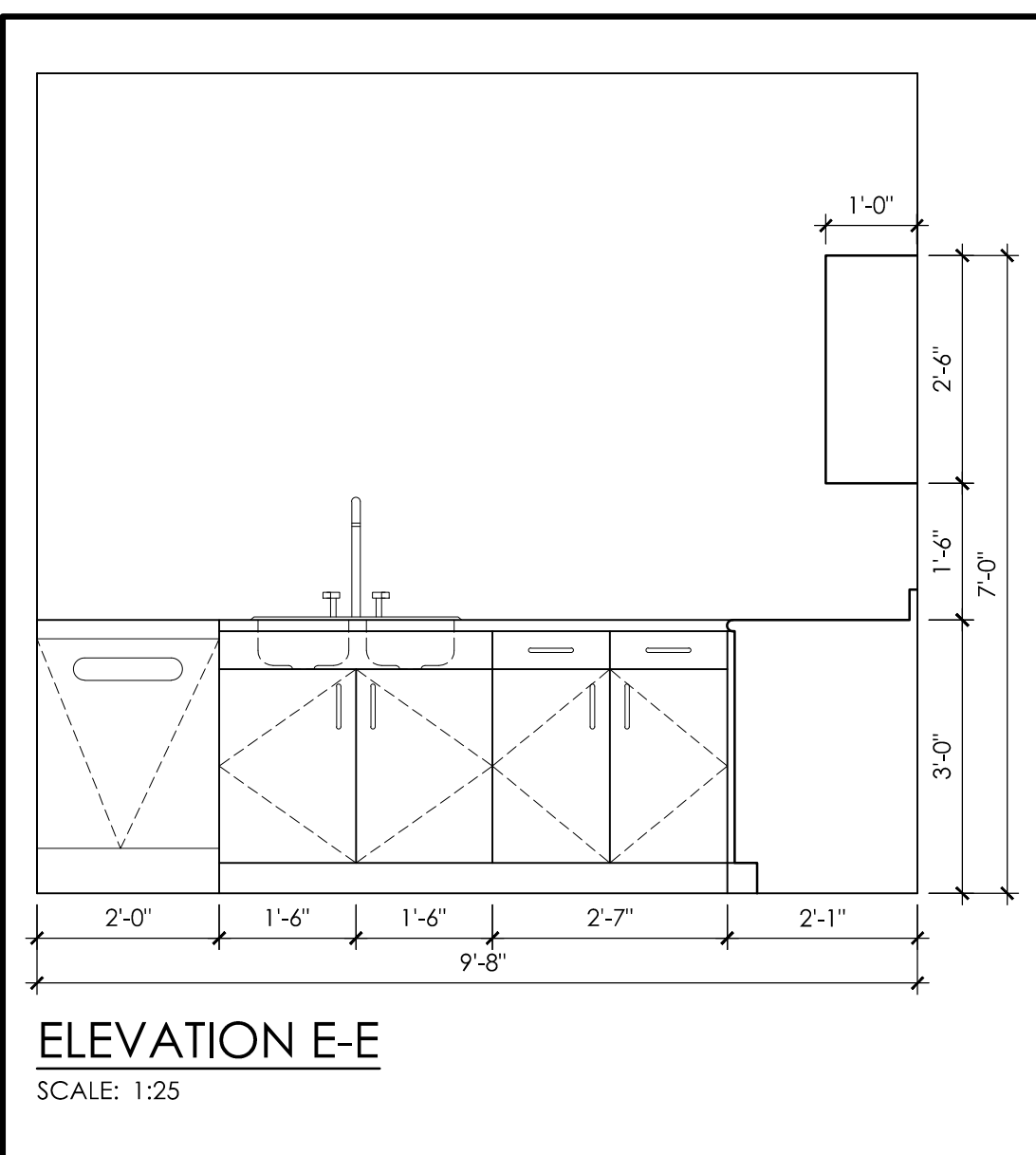




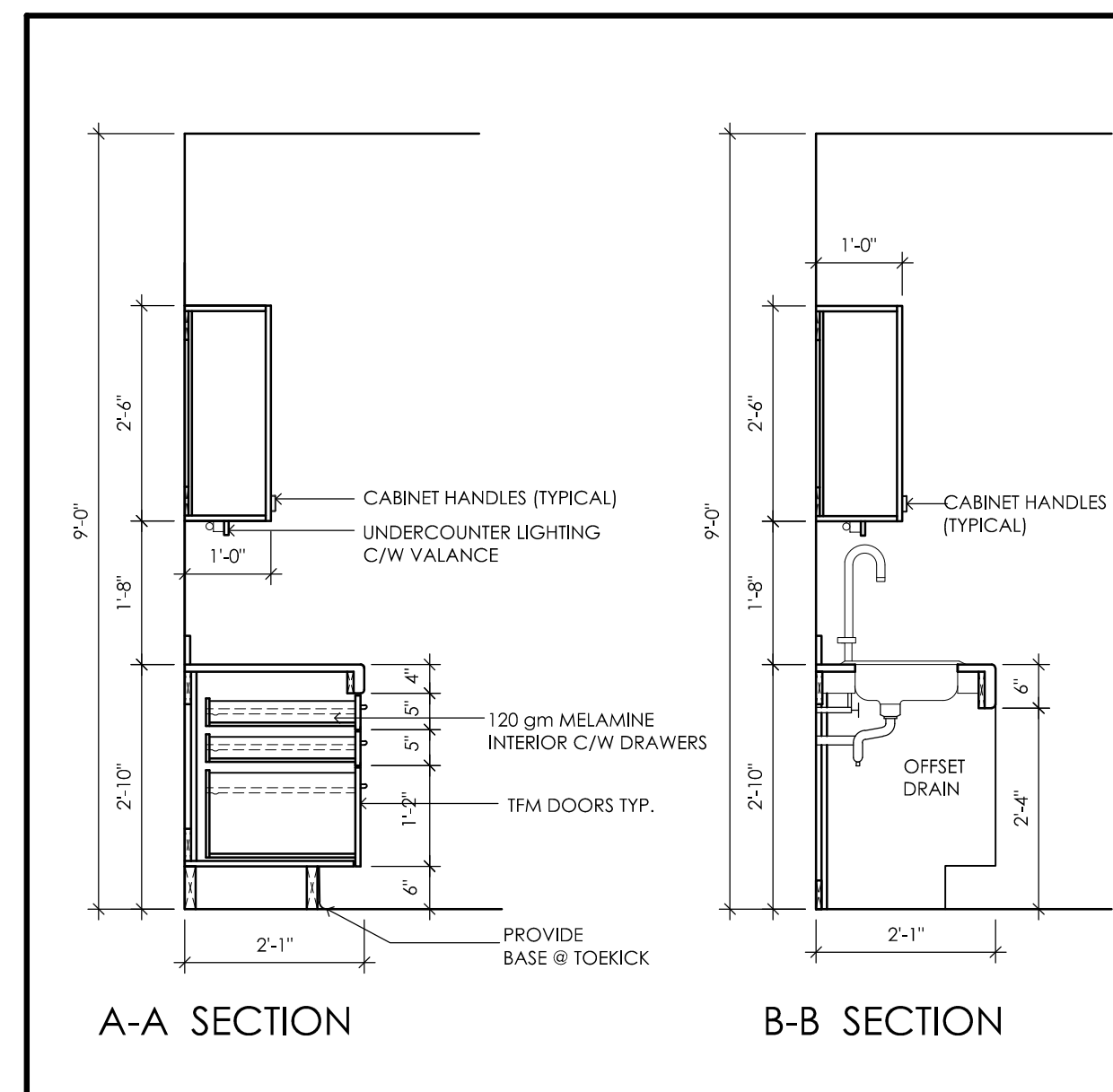
1 TYP. KITCHEN PLANS  
A8.1 SCALE: 1/4" = 1'-0"



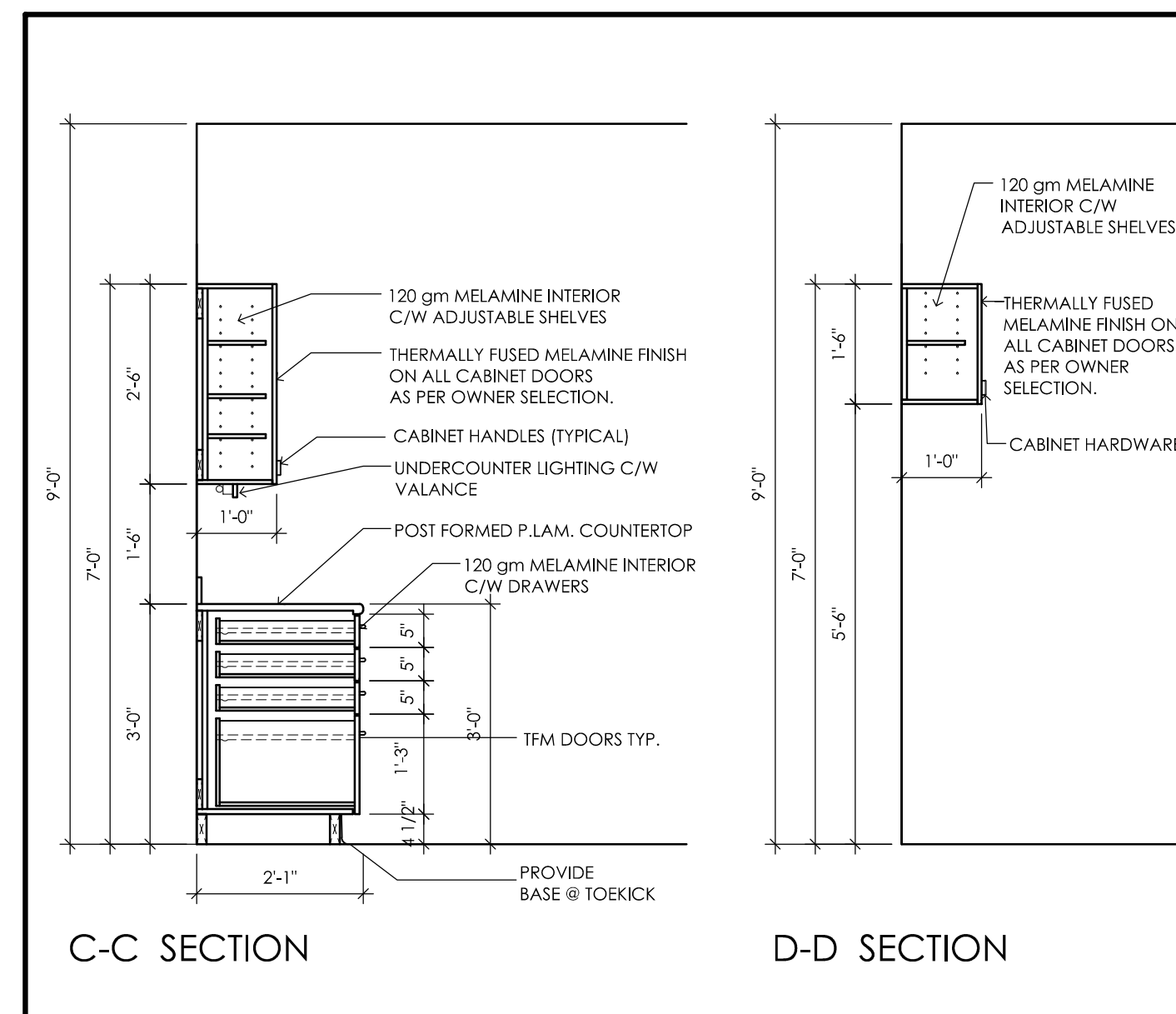
2 TYPICAL KITCHEN ELEVATIONS  
A8.1 SCALE: 1/2" = 1'-0"



2 TYPICAL KITCHEN ELEVATIONS  
A8.1 SCALE: 1/2" = 1'-0"

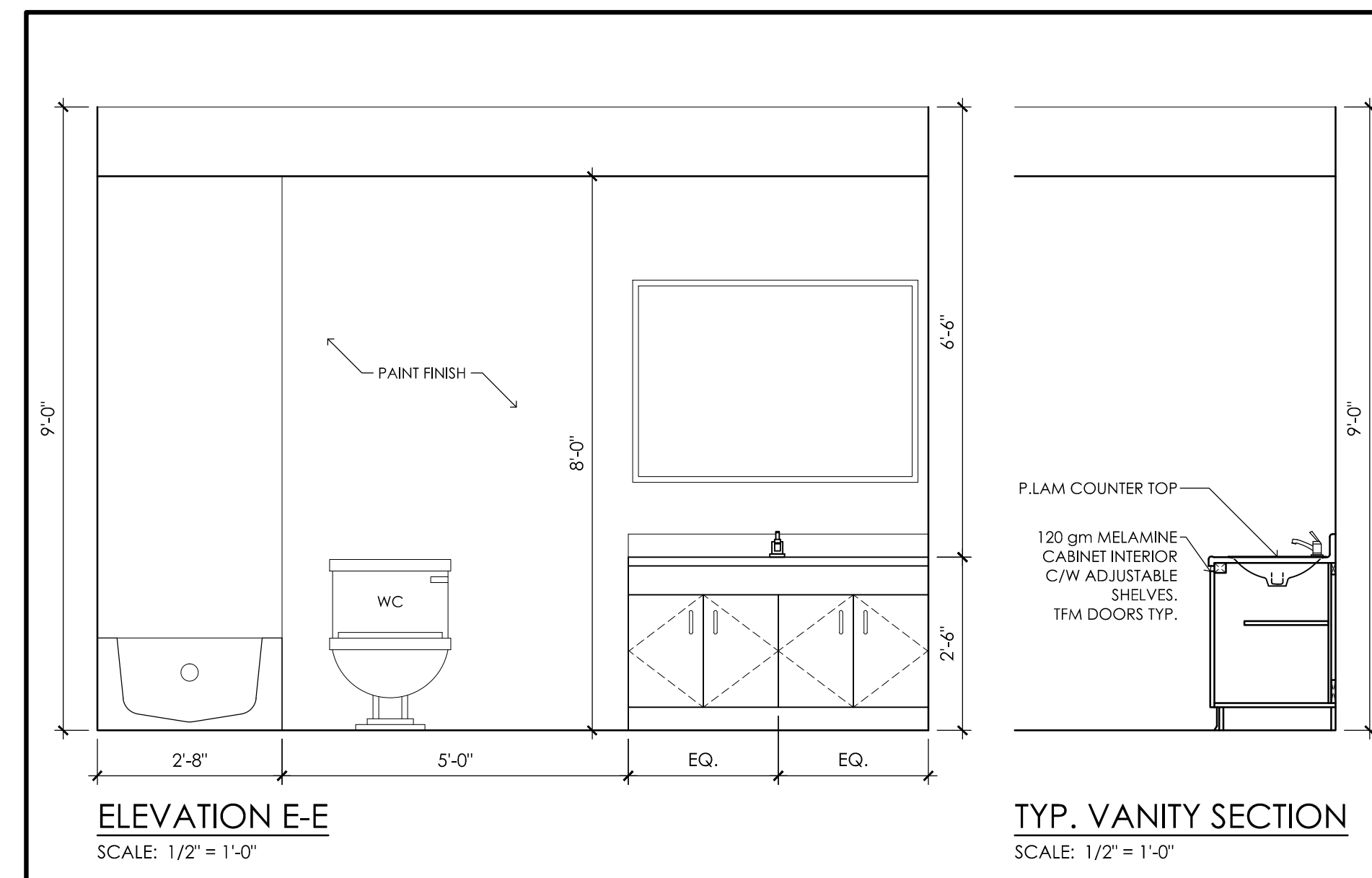


3 TYPICAL B.F. KITCHEN SECTIONS  
A8.1 SCALE: 1/2" = 1'-0"



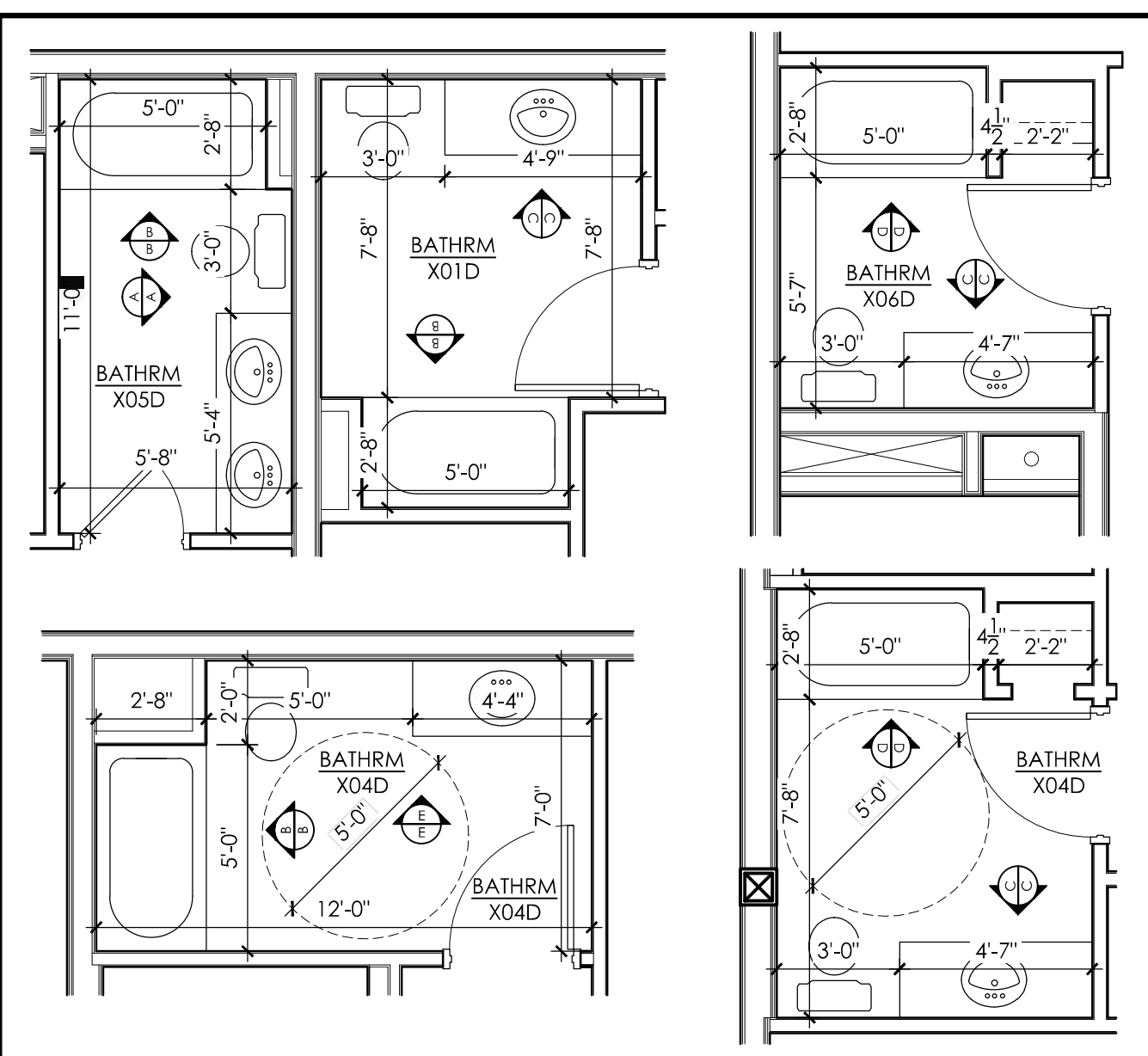
4 TYPICAL KITCHEN SECTIONS  
A8.1 SCALE: 1/2" = 1'-0"

SUBMIT MILLWORK SHOP DRAWINGS PRIOR TO MANUFACTURING.

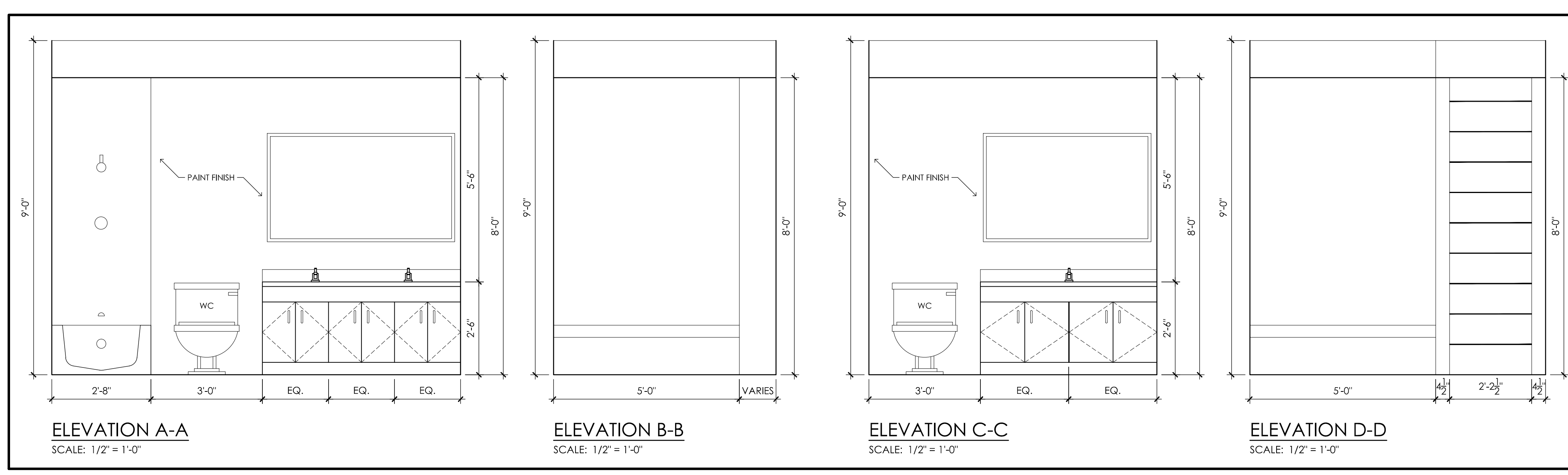


6 TYPICAL WASHROOM ELEVATIONS  
A8.1 SCALE: 1/2" = 1'-0"

PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS FOR ALL GRAB BAR SECUREMENT ADJACENT TO ALL WATER CLOSETS AND SHOWERS.



5 TYP. WASHROOM PLANS & ELEVATIONS  
A8.1 SCALE: 1/4" = 1'-0"



6 TYPICAL WASHROOM ELEVATIONS  
A8.1 SCALE: 1/2" = 1'-0"

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REVISED AS PER CITY COMMENTS #3 JUNE/28/17



**cianfrone architect**  
HAMILTON ON I N C. (905) 570 1656

Project:  
**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHAWA, ONTARIO

Design: A.R.C. Project No.: -  
Drawn: I.A.M. Scale: AS NOTED  
Checked: A.R.C. Printed: 06/30/2017

Drawing No.:

**A8.1**

Revision:

14

KITCHEN/WASHROOM ELEVATIONS & DETAILS